

PROPERTY DESCRIPTION:

SITUATED IN THE VIRGINIA MILITARY SURVEY NO. 6420, TOWNSHIP OF JEROME, COUNTY OF UNION AND STATE OF OHIO; AND KNOWN AS BEING A PORTION OF THE LANDS CONVEYED TO LAWRENCE HALL BY DEED OF RECORD IN DEED BOOK 166, PAGE 263, RECORDER'S OFFICE, UNION COUNTY, OHIO, AND BOUNDED AND DESCRIBED AS FOLLOWS: BEGINNING, FOR REFERENCE, AT A RAILROAD SPIKE SET AT THE INTERSECTION OF THE CENTERLINE OF HYLAND AND CROY ROAD-COUNTY ROAD NO. 2-B (50 FEET WIDE) WITH THE CENTERLINE OF WELDON ROAD-TOWNSHIP ROAD NO. 4-9 (30 FEET WIDE BY HIGHWAY PLAN) AND AT THE NORTHEAST CORNER OF SAID HALL LANDS, SAID RAILROAD SPIKE BEING IN THE EAST LINE OF SAID VIRGINIA MILITARY SURVEY NO. 6420 AND IN THE WEST LINE OF VIRGINIA MILITARY SURVEY NO. 3452;

EXCEPTING THEREFROM THE FOLLOWING CONVEYED IN OR BOOK 951, PAGE 470: SITUATED IN THE VIRGINIA MILITARY SURVEY NO. 6420, TOWNSHIP OF JEROME, COUNTY OF UNION AND STATE OF OHIO; AND KNOWN AS BEING A PART OF THE ORIGINAL 21.887 ACRE TRACT (TRACT I) AND THE 32.623 (TRACT II) ACRE TRACT CONVEYED TO JOHN L. WIRCHANSKI BY DEEDS OF RECORD IN DEED BOOK 298, PAGE 339, RECORDS OF THE RECORDER'S OFFICE, UNION COUNTY, OHIO, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEING A PARCEL OF LAND LYING ON THE LEFT SIDE OF THE CENTERLINE OF RIGHT-OF-WAY AND CONSTRUCTION OF U.S. ROUTE 33, AS ESTABLISHED BY A SURVEY MADE BY R.D. ZANDE & ASSOCIATES, INC., FOR THE CITY OF DUBLIN, AND BEING LOCATED WITHIN THE FOLLOWING DESCRIBED BOUNDARY POINTS OF PARCEL 92-WL:

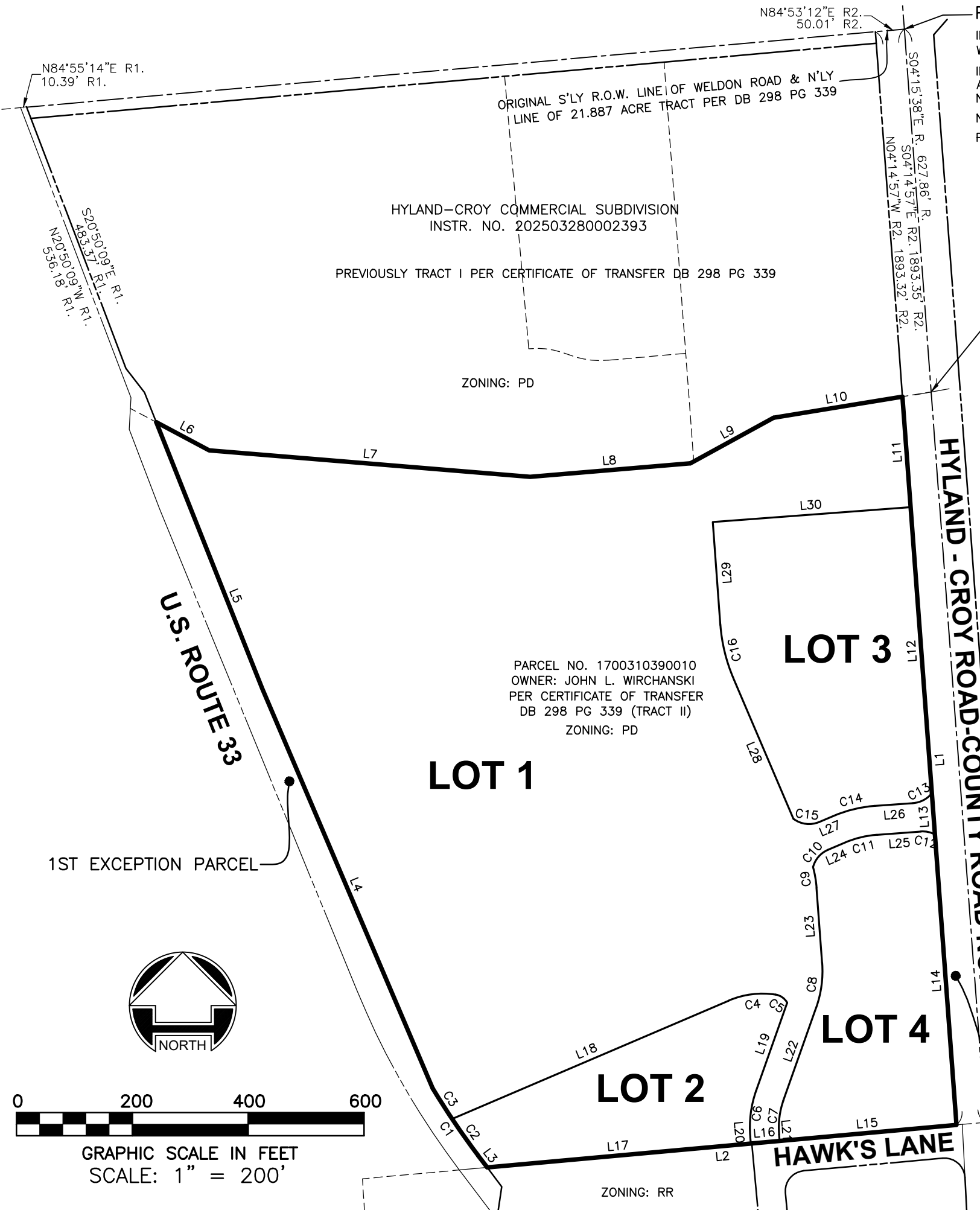
THESE ARE THE FOLLOWING FIVE (5) COURSES AND DISTANCES ALONG SAID EXISTING NORTHEASTERLY LIMITED ACCESS RIGHT-OF-WAY LINE OF U.S. ROUTE 33, AND THE SOUTHWESTERLY LINES OF SAID 32.623 AND 21.887 ACRE TRACTS: 1. THENCE ALONG A CURVE TO THE RIGHT, HAVING A RADIUS OF 1380.39 FEET, A CENTRAL ANGLE OF 14 DEG. 50' 22", AN ARC LENGTH OF 357.52 FEET, THE CHORD TO WHICH BEARS NORTH 29 DEG. 41' 16" WEST, A CHORD DISTANCE OF 356.52 FEET, TO A POINT OF TANGENCY; SAID POINT BEING 130.98 FEET LEFT OF CENTERLINE STATION 1318+94.64;

BEFORE ME, A NOTARY PUBLIC IN AND FOR SAID COUNTY, PERSONALLY APPEARED JOHN L. WIRCHANSKI, OWNER, WHO ACKNOWLEDGED THE SIGNING OF THE FOREGOING INSTRUMENT TO BE HIS VOLUNTARY ACT AND DEED FOR THE USES AND PURPOSES THEREIN EXPRESSED. IN WITNESS WHEREOF, I HAVE HEREUNTO SET MY HAND AND AFFIXED MY OFFICIAL SEAL THIS ____ DAY OF _____, 20____.

STANDARD DEED RESTRICTIONS FOR UNION COUNTY 1. THERE SHALL BE NO DISCHARGE INTO ANY STREAMS OR STORM WATER OUTLETS OF ANY WASTE MATERIALS IN VIOLATION OF APPLICABLE LOCAL, STATE, OR FEDERAL REGULATIONS. 2. NO BUILDINGS SHALL BE PERMITTED IN EASEMENT AREAS.

OWNER/SUBDIVIDER: JOHN L. WIRCHANSKI 260 N COLUMBIA AVENUE COLUMBUS, OH 43209 DEVELOPER: MEIJER STORES LIMITED PARTNERSHIP 2929 WALKER AVE NW GRAND RAPIDS, MI 49544 SURVEYOR: MICHAEL J. WILSON, PS.8281 WOOLPERT, INC. 4454 IDEA CENTER BOULEVARD DAYTON, OH 45430 937.461.5660

MEIJER JEROME TOWNSHIP A PART OF VIRGINIA MILITARY SURVEY NO. 6420, TOWNSHIP OF JEROME, COUNTY OF UNION, STATE OF OHIO



P.O.B. PARENT TRACT INTERSECTION OF THE CENTERLINE OF HYLAND AND CROY ROAD-C.R. NO. 2-B (50' WIDE) WITH THE CENTERLINE OF WELDON ROAD -TOWNSHIP ROAD NO. 4-B (30' WIDE); INTERSECTION OF CENTERLINE OF HYLAND CROY ROAD AND THE N'LY LINE OF 21.887 ACRE TRACT PER DB 298 PG 339, ALSO WEST LINE OF 2.919 ACRE TRACT PER INSTR. NO. 201903280002067

Table with 5 columns: CURVE, DELTA, LENGTH, RADIUS, CHORD, CH LENGTH. Lists curves C1 through C16 with their respective measurements.

2ND EXCEPTION PARCEL PARCEL PER INSTRUMENT NO. 20231160009425 PARCEL 14-W

UTILITY EASEMENTS WE THE UNDERSIGNED OWNERS OF THE WITHIN PLATTED LAND, DO HEREBY GRANT UNTO ALL PRESENT AND FUTURE UTILITY PROVIDERS INCLUDING BUT NOT LIMITED TO THE CITY OF MARYSVILLE, UNION COUNTY, AMERICAN ELECTRIC POWER, FRONTIER COMMUNICATIONS, SPECTRUM, TIME WARNER, COLUMBIA GAS, AND THEIR SUCCESSORS AND AGENTS (HEREINAFTER REFERRED TO AS GRANTEEES) A PERMANENT RIGHT-OF-WAY AND EASEMENT UNDER, OVER, AND THROUGH ALL SUBLOTS AND ALL LANDS OWNED BY THE GRANTOR SHOWN HEREON AND PARALLEL WITH AND CONTIGUOUS TO HYLAND-CROY ROAD (CR. 2), WELDON ROAD (T.R. 4) AND U.S. ROUTE 33, AND ALSO UPON LAND AS DEPICTED HEREON TO CONSTRUCT, PLACE, OPERATE, MAINTAIN, REPAIR, RECONSTRUCT OR RELOCATE SUCH WATERLINES, SEWER LINES, UNDERGROUND ELECTRIC, GAS AND COMMUNICATION CABLE, DUCTS, CONDUITS, PIPES, GAS PIPE LINES, SURFACE OR BELOW GROUND MOUNTED TRANSFORMERS AND PEDESTALS, CONCRETE PADS AND OTHER FACILITIES AS DEEMED NECESSARY OR CONVENIENT BY THE GRANTEEES FOR DISTRIBUTING, TRANSPORTING, AND TRANSMITTING ELECTRICITY, GAS AND COMMUNICATION SIGNALS FOR PUBLIC AND PRIVATE USE AT SUCH LOCATIONS AS THE GRANTEEES MAY DETERMINE UPON, WITHIN, AND ACROSS SAID EASEMENT PREMISES. NO PERMANENT BUILDINGS SHALL BE PERMITTED IN THE EASEMENT AREAS. SAID EASEMENT RIGHTS SHALL INCLUDE THE RIGHT, WITHOUT LIABILITY THEREFORE TO REMOVE TREES AND LANDSCAPING, INCLUDING LAWNS WITHIN AND WITHOUT SAID EASEMENT PREMISES WHICH MAY INTERFERE WITH THE INSTALLATION AND MAINTENANCE, RIGHT TO INSTALL, REPAIR, AUGMENT, AND MAINTAIN SERVICE CABLES, AND PIPE LINES OUTSIDE THE ABOVE DESCRIBED EASEMENT PREMISES OR THE RIGHT OF ACCESS, EGRESS AND EGRESS TO AND FROM ANY OF THE WITHIN DESCRIBED PREMISES FOR EXERCISING ANY OF THE PURPOSES OF THIS RIGHT-OF-WAY AND EASEMENT GRANT.

DRAINAGE EASEMENTS WE THE UNDERSIGNED OWNERS OF THE PLATTED LAND, DO HEREBY GRANT UNTO UNION COUNTY AND THEIR SUCCESSORS AND ASSIGNS (HEREINAFTER REFERRED TO AS GRANTEEES), A PERMANENT EASEMENT WITHIN AREAS DESIGNATED "DRAINAGE EASEMENT," "UTILITY EASEMENT" AND "ORANGE AND UTILITY EASEMENT" TO CONSTRUCT, OPERATE, MAINTAIN, REPAIR, RECONSTRUCT OR RELOCATE DRAINAGE FACILITIES SUCH AS STORM SEWERS, DRAINAGE SWALES OR COURSES AND OTHER FACILITIES AS DEEMED NECESSARY OR CONVENIENT BY THE GRANTEEES FOR DRAINAGE REQUIRED FOR PUBLIC AND PRIVATE USE AT SUCH LOCATIONS AS THE GRANTEEES MAY DETERMINE UPON, WITHIN AND ACROSS SAID EASEMENT PREMISES. NO PERMANENT BUILDINGS SHALL BE PERMITTED IN THE EASEMENT AREAS. SAID EASEMENT RIGHTS SHALL INCLUDE THE RIGHT, WITHOUT LIABILITY THEREFORE TO REMOVE TREES AND LANDSCAPING, INCLUDING LAWNS OR ANY OTHER STRUCTURE WITHIN SAID EASEMENT PREMISES WHICH MAY INTERFERE WITH THE INSTALLATION AND MAINTENANCE OF DRAINAGE FACILITIES.

ACCESS EASEMENTS THE PRIVATE RIGHT-OF-WAY ACCESS EASEMENT DEPICTED ON LOT 1 IS PROVIDED FOR THE BENEFIT OF ALL LOTS WITHIN THE SUBDIVISION. THE USE AND MAINTENANCE OF THE ACCESS EASEMENT SHALL BE GOVERNED BY THE TERMS AND CONDITIONS ADDRESSED IN DOCUMENT(S) TO BE RECORDED SEPARATELY.

ZONING NOTE THE SITE IS ZONED PLANNED DEVELOPMENT DISTRICT (PD) IN ACCORDANCE WITH THE PROVISIONS OF CASE #PD23-005. AT THE DISCRETION OF THE ZONING AUTHORITY, THE BOUNDARY OF THE PLATTED LAND IS SUBJECT TO THE APPLICABLE PROVISIONS OF THE JEROME TOWNSHIP ZONING RESOLUTION, AND THE TOWNSHIP IS THE ZONING AUTHORITY. AT THE REQUEST OF THE ZONING AUTHORITY AND IN COMPLIANCE WITH THE SUBDIVISION REGULATIONS, THIS PLAT SHOWS SOME OF THE APPLICABLE ZONING REGULATIONS THAT APPLY TO THE PLATTED LAND. THE ZONING REGULATIONS ARE SHOWN FOR REFERENCE ONLY AND SHOULD NOT BE CONSTRUED AS CREATING PLAT OR SUBDIVISION RESTRICTIONS, PRIVATE USE RESTRICTIONS, COVENANTS RUNNING WITH THE LANDS OR TITLE ENCUMBRANCES OF ANY NATURE EXCEPT TO THE EXTENT SPECIFICALLY IDENTIFIED AS SUCH. THE APPLICABLE ZONING REGULATIONS MAY CHANGE FROM TIME TO TIME AND SHOULD BE REVIEWED WITH THE ZONING AUTHORITY PRIOR TO THE CONSTRUCTION OF IMPROVEMENTS TO DETERMINE THE CURRENT APPLICABLE ZONING REGULATIONS.

FLOOD ZONE INFORMATION: I, FURTHER CERTIFY THAT ACCORDING TO THE FLOOD INSURANCE RATE MAP INDEX - MAP NUMBER 39159CNDIB, PUBLISHED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY WITH AN EFFECTIVE DATE OF SEPTEMBER 21, 2023, WHICH IS THE MOST CURRENT FLOOD INSURANCE RATE MAP AVAILABLE ON FEMA'S WEBSITE, PER GRAPHIC PLOTTING METHODS, THIS SITE IS TO BE LOCATED IN WITHIN PANEL 39159C5000D, SAID PANEL WAS NOT PRINTED. PER THE NOTE CONTAINED THEREIN THERE ARE NO SPECIAL FLOOD HAZARD AREAS WITHIN NOT PRINTED PANELS, TO THE BEST OF MY KNOWLEDGE AND BELIEF. THE SURVEYOR HAS ABOVE REFERENCED FLOODPLAIN MAP FOR THIS DETERMINATION; FURTHERMORE, THE SURVEYOR DOES NOT CERTIFY THAT REVISED FLOODPLAIN INFORMATION HAS NOT BEEN PUBLISHED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY OR SOME OTHER SOURCE.

NOTES: 1. "M." DESIGNATES MEASURED DIMENSION/BEARING, "R." DESIGNATES RECORD DIMENSION /BEARING PER THE PARENT TRACT LEGAL DESCRIPTION, "R1." DESIGNATES RECORD DIMENSION/BEARING PER THE 1ST EXCEPTION PARCEL LEGAL DESCRIPTION, "R2." DESIGNATES RECORD DIMENSION/BEARING PER THE 2ND EXCEPTION PARCEL LEGAL DESCRIPTION. DISTANCES SHOWN HEREON ARE GRID DISTANCES IN FEET AND DECIMAL PARTS THEREOF. IN ORDER TO CALCULATE A GRID DISTANCE, GRID DISTANCE SHALL BE MULTIPLIED BY 0.999963. 3. NO DIMENSION SHALL BE ASSUMED BY SCALE MEASUREMENT METHOD. 4. PROPERTY CORNERS FOUND IN GOOD CONDITION UNLESS OTHERWISE NOTED. PROPERTY CORNERS SET ARE 5/8" REBAR, 30" IN LENGTH WITH A PLASTIC PLUG PLACED ON TOP INSCRIBED "WOOLPERT" UNLESS OTHERWISE NOTED HEREON. 5. OWNERSHIP INFORMATION, ADDRESSES AND PARCEL NUMBERS ARE SHOWN PER THE UNION COUNTY GIS WEBSITE. 6. PER THE ZONING MAP OF JEROME TOWNSHIP, UNION COUNTY, OHIO, GENERATED JULY 2004 AND UPDATED JANUARY 2025, THE SUBJECT PROPERTY IS LOCATED IN ZONE PD - PLANNED DEVELOPMENT DISTRICT.

LINE TABLE

Table with 3 columns: LINE #, LENGTH, DIRECTION. Lists lines L1 through L30 with their respective lengths and bearings.

CURVE TABLE

Table with 5 columns: CURVE, DELTA, LENGTH, RADIUS, CHORD, CH LENGTH. Lists curves C1 through C16 with their respective measurements.

LUC. R.P.C. File #



SITE MAP NOT TO SCALE

SETBACKS

Table with 2 columns: HYLAND-CROY ROAD, PARKING. Lists setbacks for building, parking, and pavement.

SITE DATA (AREA SUMMARY)

TOTAL AREA (BY RECENT SURVEY): 29.570 ACRES TOTAL R.O.W. AREA: 29.570 ACRES LOTS (4) AREA: 29.570 ACRES

REVIEWED THIS ____ DAY OF _____, 20____, CHAIRMAN, JEROME TWP TRUSTEES APPROVED THIS ____ DAY OF _____, 20____, UNION COUNTY ENGINEER APPROVED THIS ____ DAY OF _____, 20____, UNION COUNTY HEALTH DEPARTMENT APPROVED THIS ____ DAY OF _____, 20____, LUC REGIONAL PLANNING COMMISSION

RIGHTS-OF-WAY FOR PUBLIC STREETS AND ROADS HEREIN DEDICATED TO PUBLIC USE ARE HEREBY APPROVED THIS ____ DAY OF _____, 20____, FOR THE COUNTY OF UNION, STATE OF OHIO. STREET IMPROVEMENTS WITHIN SAID DEDICATED RIGHTS-OF-WAY SHALL NOT BE ACCEPTED FOR PUBLIC USE UNLESS AND UNTIL CONSTRUCTION IS COMPLETED AND ACCEPTED AS SUCH BY UNION COUNTY. IN ADDITION, STREET IMPROVEMENTS WITHIN SAID DEDICATED RIGHTS-OF-WAY SHALL NOT BE ACCEPTED FOR PUBLIC MAINTENANCE UNTIL THE MAINTENANCE PERIOD TRANSPIRES AND THE STREET IMPROVEMENTS ARE ACCEPTED FOR PUBLIC MAINTENANCE BY UNION COUNTY.

UNION COUNTY COMMISSIONER UNION COUNTY COMMISSIONER UNION COUNTY COMMISSIONER

TRANSFERRED THIS ____ DAY OF _____, 20____, UNION COUNTY AUDITOR FILLED FOR RECORD THIS ____ DAY OF _____, 20____, AT ____ AM/PM. RECORDED THIS ____ DAY OF _____, 20____, AT ____ AM/PM IN PLAT BOOK ____ PAGE ____ SLIDE ____

VARIANCES

- 1. VARIANCE FROM SECTION 406 OF THE UNION COUNTY SUBDIVISION REGULATIONS TO REDUCE THE MINIMUM PAVED WIDTH FOR A LOCAL STREET WITH CURB AND GUTTER FROM 28 FEET TO 24 FEET. RESOLUTION NUMBER 26-177 DATED 4/15/2026. 2. VARIANCE FROM SECTION 408.3 OF THE UNION COUNTY SUBDIVISION REGULATIONS TO APPROVAL TO PERMIT A DEAD-END STREET CONFIGURATION ALONG THE NORTH LOT LINE OF LOT 2 IN LIEU OF EXTENDING A PUBLIC STREET OR CONSTRUCTING A CUL-DE-SAC. RESOLUTION NUMBER 26-177 DATED 4/15/2026. 3. VARIANCE FROM SECTION 406 OF THE UNION COUNTY SUBDIVISION REGULATIONS TO REDUCE THE MINIMUM RIGHT-OF-WAY WIDTH FOR A LOCAL STREET FROM 60 FEET TO 50 FEET. RESOLUTION NUMBER 26-177 DATED 4/15/2026. 4. VARIANCE FROM SECTION 413.4 OF THE UNION COUNTY SUBDIVISION REGULATIONS TO ALLOW THROUGH LOTS FRONTING HYLAND-CROY ROAD AND ADJACENT TO U.S. ROUTE 33. RESOLUTION NUMBER 26-177 DATED 4/15/2026.

SURVEYOR'S CERTIFICATE:

THE ACCOMPANYING PLAT REPRESENTS A SUBDIVISION OF LAND IN VMS 6420, JEROME TOWNSHIP, UNION COUNTY, OHIO. THE TRACT HAS AN AREA OF 0 ACRES IN STREETS, 29.570 ACRES IN LOTS AND 0 ACRES IN RESERVES MAKING A TOTAL OF 29.570 ACRES. WE DO HEREBY CERTIFY THAT WE HAVE SURVEYED THE ABOVE PREMISES, PREPARED THE ATTACHED PLAT, AND THAT SAID PLAT IS CORRECT. ALL DIMENSIONS ARE IN FEET AND DECIMAL PARTS THEREOF. BOTH CHORD AND ARC DISTANCES ARE SHOWN ON ALL CURVE MEASUREMENTS, MONUMENTATION, TO BE SET, WILL BE SET WHEN THE SUBDIVISION IS COMPLETED AND PRIOR TO THE SALE OF ITS LOTS. WE FURTHER CERTIFY THAT THE ACCOMPANYING PLAT IS CORRECT REPRESENTATION OF MEIJER SUBDIVISION, AS SURVEYED IN JULY 2025.

MICHAEL J. WILSON, PS OHIO REGISTERED SURVEYOR NO. PS.8281 LICENSE EXPIRES 12/31/27 DATE: WOOLPERT, INC.

Table with 2 columns: REVISION, DATE. Shows revision history.

Table with 2 columns: PROJECT NO., DATE. Shows project and date information.

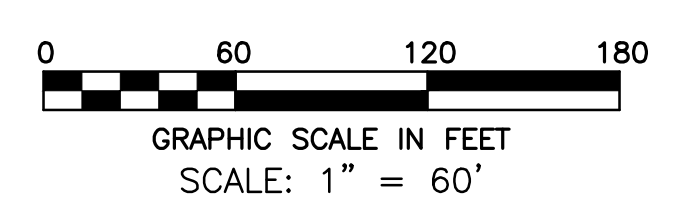
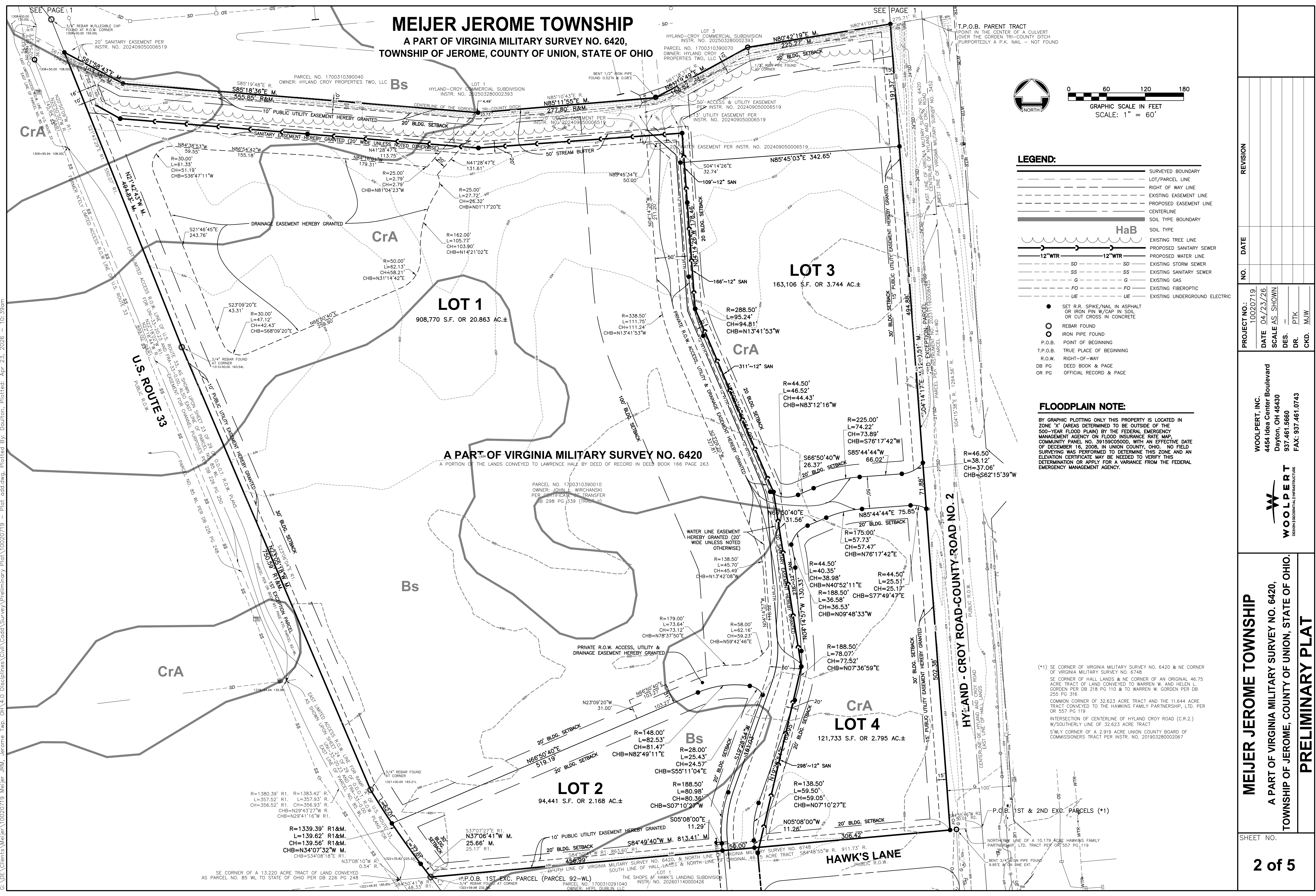
WOOLPERT, INC. 4454 Idea Center Boulevard Dayton, OH 45430 937.461.5660 FAX: 937.461.0743

WOOLPERT DESIGN/CONSTRUCTION

MEIJER JEROME TOWNSHIP A PART OF VIRGINIA MILITARY SURVEY NO. 6420, TOWNSHIP OF JEROME, COUNTY OF UNION, STATE OF OHIO. PRELIMINARY PLAT SHEET NO.

MEIJER JEROME TOWNSHIP

A PART OF VIRGINIA MILITARY SURVEY NO. 6420,
TOWNSHIP OF JEROME, COUNTY OF UNION, STATE OF OHIO



LEGEND:

- SURVEYED BOUNDARY
 - LOT/PARCEL LINE
 - RIGHT OF WAY LINE
 - EXISTING EASEMENT LINE
 - PROPOSED EASEMENT LINE
 - CENTERLINE
 - SOIL TYPE BOUNDARY
 - SOIL TYPE
 - EXISTING TREE LINE
 - PROPOSED SANITARY SEWER
 - PROPOSED WATER LINE
 - EXISTING STORM SEWER
 - EXISTING SANITARY SEWER
 - EXISTING GAS
 - EXISTING FIBEROPTIC
 - EXISTING UNDERGROUND ELECTRIC
- SET R.R. SPIKE/NAIL IN ASPHALT OR IRON PIN W/CAP IN SOIL OR CUT CROSS IN CONCRETE
- REBAR FOUND
- IRON PIPE FOUND
- P.O.B. POINT OF BEGINNING
- T.P.O.B. TRUE PLACE OF BEGINNING
- R.O.W. RIGHT-OF-WAY
- DB PG DEED BOOK & PAGE
- OR PG OFFICIAL RECORD & PAGE

FLOODPLAIN NOTE:

BY GRAPHIC PLOTTING ONLY THIS PROPERTY IS LOCATED IN ZONE "X" (AREAS DETERMINED TO BE OUTSIDE OF THE 500-YEAR FLOOD PLAIN) BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY ON FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 39159005000, WITH AN EFFECTIVE DATE OF DECEMBER 16, 2008, IN UNION COUNTY, OHIO. NO FIELD SURVEYING WAS PERFORMED TO DETERMINE THIS ZONE AND AN ELEVATION CERTIFICATE MAY BE NEEDED TO VERIFY THIS DETERMINATION OR APPLY FOR A VARIANCE FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY.

(*1) SE CORNER OF VIRGINIA MILITARY SURVEY NO. 6748 & NE CORNER OF VIRGINIA MILITARY SURVEY NO. 6748
SE CORNER OF HALL LANDS & NE CORNER OF AN ORIGINAL 46.75 ACRE TRACT OF LAND CONVEYED TO WARREN W. AND HELEN L. GORDEN PER DB 218 PG 110 & TO WARREN W. GORDEN PER DB 255 PG 316
COMMON CORNER OF 32.623 ACRE TRACT AND THE 11.644 ACRE TRACT CONVEYED TO THE HAWKINS FAMILY PARTNERSHIP, LTD. PER OR 557 PG 119
INTERSECTION OF CENTERLINE OF HYLAND CROY ROAD (C.R.2) W/SOUTHERLY LINE OF 32.623 ACRE TRACT
S/WLY CORNER OF A 2.919 ACRE UNION COUNTY BOARD OF COMMISSIONERS TRACT PER INSTR. NO. 201903280002067

REVISION	DATE	NO.	PROJECT NO.:
			10020719

DATE	SCALE AS SHOWN	DES.	DR.	CKD.
04/23/26			PTK	MJW

WOOLPERT, INC.
4454 Idea Center Boulevard
Dayton, OH 45430
937.461.5660
FAX: 937.461.0743

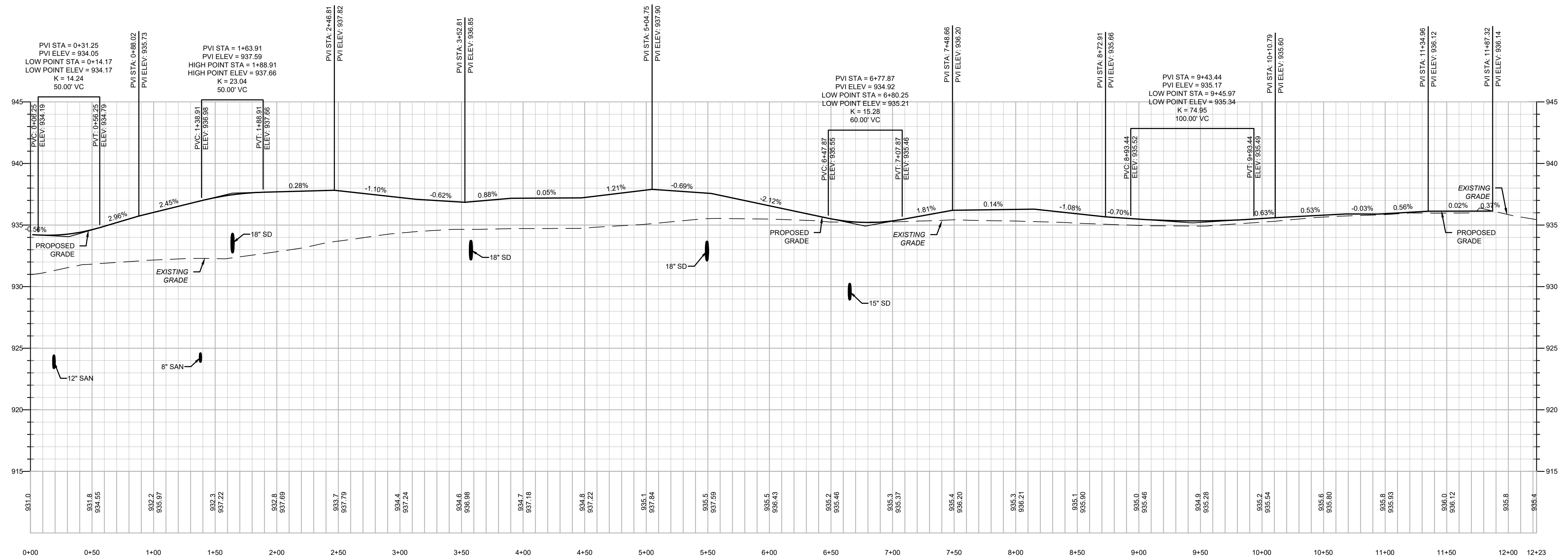
WOOLPERT
DESIGN (CORPORATE) ENGINEERS/ARCHITECTS

MEIJER JEROME TOWNSHIP
A PART OF VIRGINIA MILITARY SURVEY NO. 6420,
TOWNSHIP OF JEROME, COUNTY OF UNION, STATE OF OHIO.
PRELIMINARY PLAT

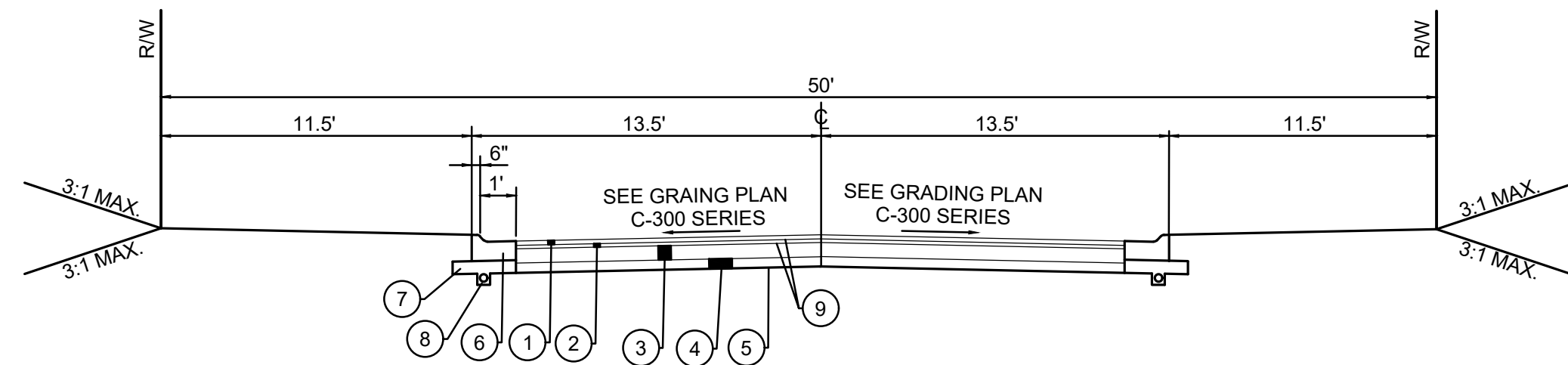
SHEET NO.
2 of 5

G:\NDE\Clients\Meijer\10020719_Meijer_JRM_Jerome_Twp_OH\4.0_Disciplines\Civil\Cadd\Survey\Preliminary\Plot\10020719 - Plot.dwg, Plotted By: Dauton, Plotted: Apr 23, 2026 - 10:39pm

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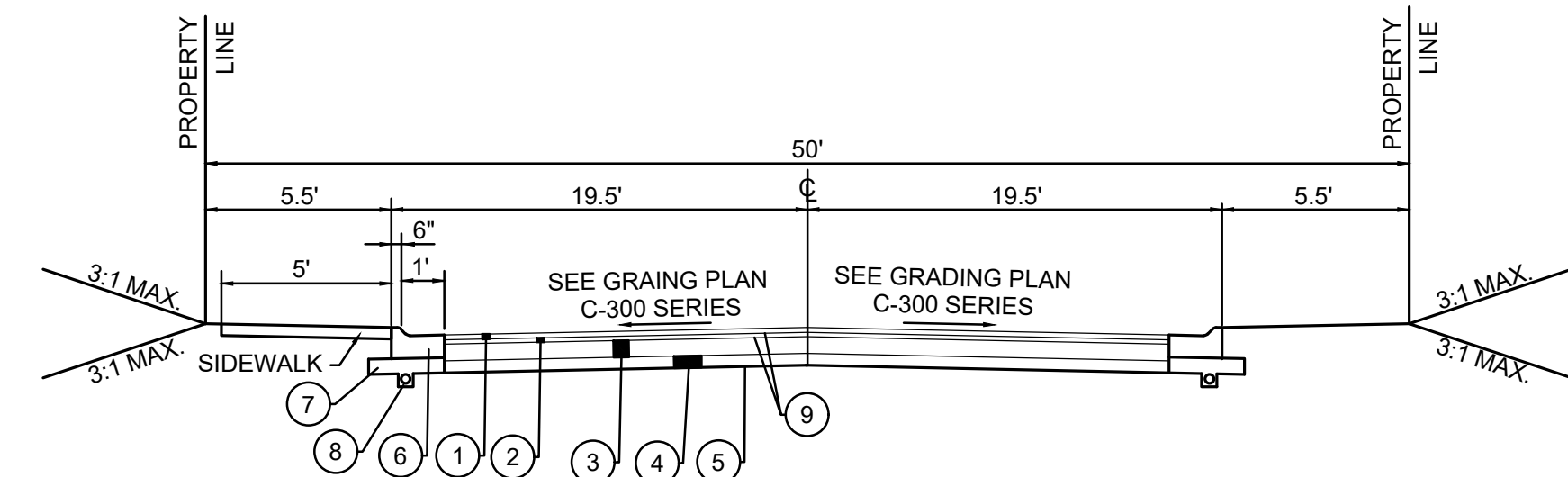


C2 PROPOSED STREET A (PRIVATE) - PROFILE
HORIZ: 1"=50' ; VERT 1"=5'



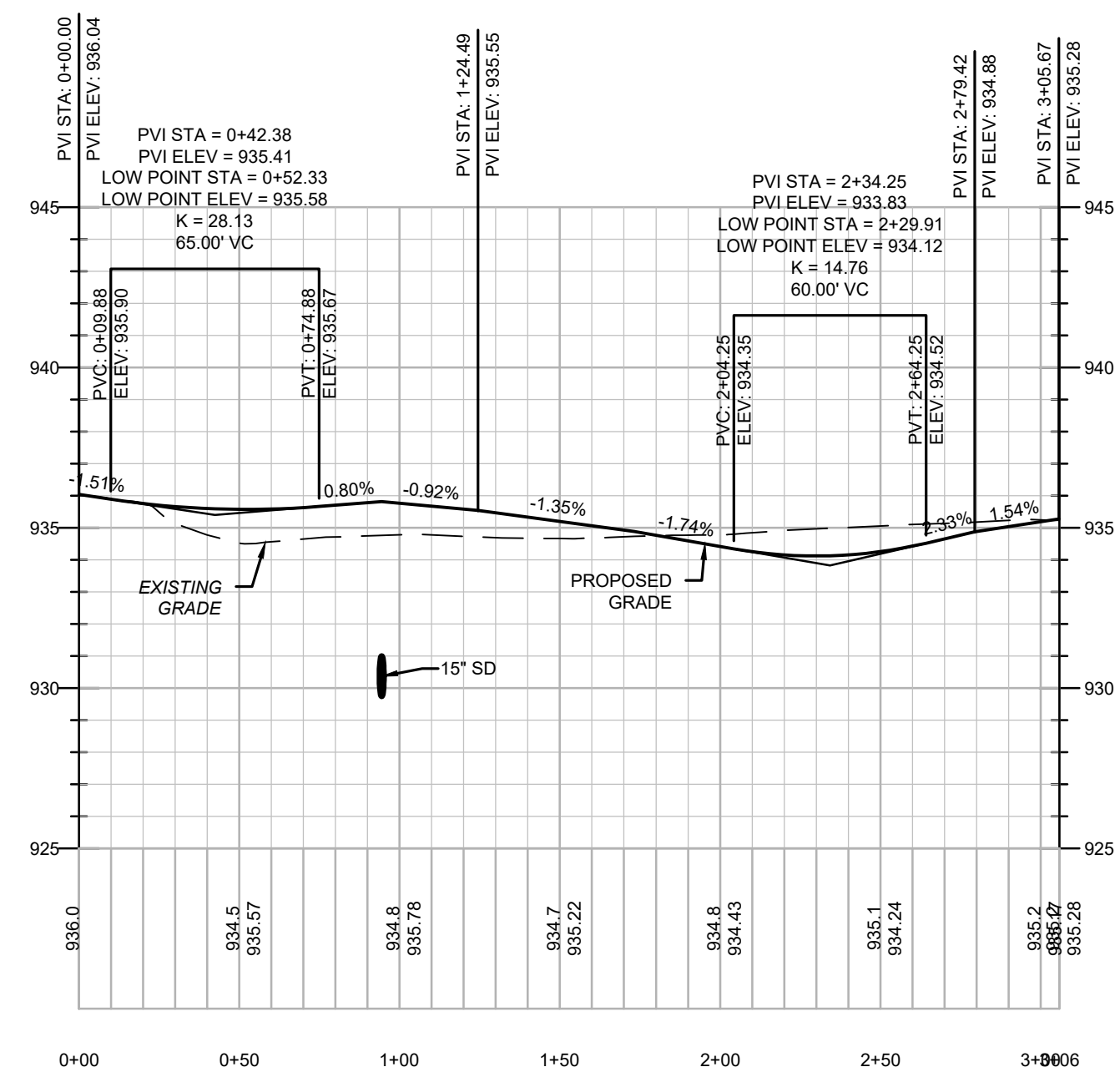
B2 STREET A TYPICAL STREET SECTION
N.T.S.

- 1-1/2" HOT-MIXED, HOT-LAID ASPHALT CONCRETE, ITEM 448 TYPE 1 SURFACE COURSE
- 1-3/4" HOT MIXED, HOT-LAID ASPHALT CONCRETE, ITEM 448 TYPE 1 INTERMEDIATE COURSE
- 6" ASPHALT CONCRETE BASE, ITEM 301
- 4" COMPACTED AGGREGATE BASE, ITEM 304
- SUBGRADE PREPARATION PER O.D.O.T., ITEM 203
- COMBINATION CONCRETE CURB AND GUTTER, PER STANDARD DETAIL
- NO. 8 OR NO. 57 AGGREGATE
- 4" UNDERDRAIN, ITEM 407
- TACK COAT, ITEM 407



B5 STREET B TYPICAL STREET SECTION
N.T.S.

- 1-1/2" HOT-MIXED, HOT-LAID ASPHALT CONCRETE, ITEM 448 TYPE 1 SURFACE COURSE
- 1-3/4" HOT MIXED, HOT-LAID ASPHALT CONCRETE, ITEM 448 TYPE 1 INTERMEDIATE COURSE
- 6" ASPHALT CONCRETE BASE, ITEM 301
- 4" COMPACTED AGGREGATE BASE, ITEM 304
- SUBGRADE PREPARATION PER O.D.O.T., ITEM 203
- COMBINATION CONCRETE CURB AND GUTTER, PER STANDARD DETAIL
- NO. 8 OR NO. 57 AGGREGATE
- 4" UNDERDRAIN, ITEM 407
- TACK COAT, ITEM 407



A2 PROPOSED STREET B (PRIVATE) - PROFILE
HORIZ: 1"=50' ; VERT 1"=5'

BENCHMARK:

THE BASIS OF ELEVATIONS HEREON IS NAVD 88 PER OBSERVATIONS OF SELECTED STATIONS IN THE NATIONAL GEODETTIC SURVEY CONTINUOUSLY OPERATING REFERENCE STATION (NGS CORS) NETWORK. SURVEY MAG SPIKE SET IN THE TOP OF WOOD GUARD RAIL POST - SEE DRAWING FOR LOCATION.
ELEVATION = 932.02'



NO.	DATE	REVISION

PROJECT NO.: 10020719
DATE: 04/16/26
SCALE: AS SHOWN
DES.:
DR.: AB
CKD.: MRS

WOOLPERT, INC.
4454 Idea Center Boulevard
Dayton, OH 45430
937.461.5660
FAX: 937.461.0743

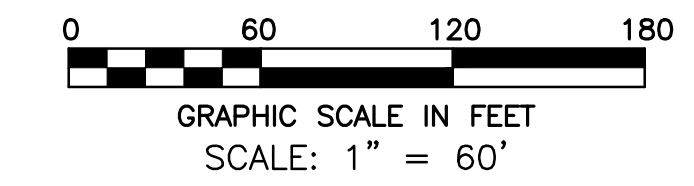
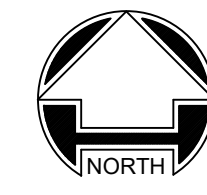
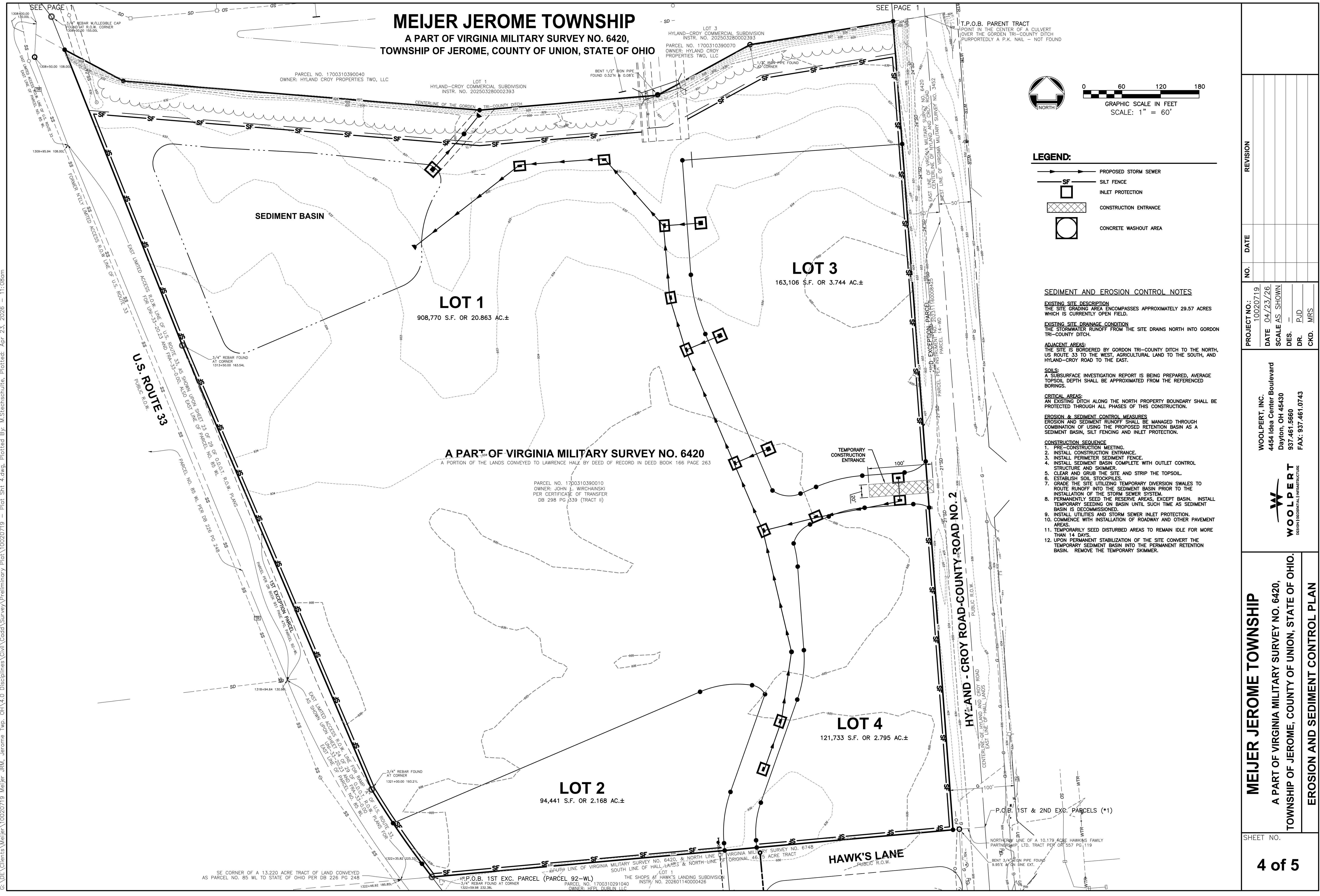


MEIJER JEROME TOWNSHIP
A PART OF VIRGINIA MILITARY SURVEY NO. 6420,
TOWNSHIP OF JEROME, COUNTY OF UNION, STATE OF OHIO.
TYPICAL SECTION AND PROFILES

SHEET NO.

MEIJER JEROME TOWNSHIP

A PART OF VIRGINIA MILITARY SURVEY NO. 6420, TOWNSHIP OF JEROME, COUNTY OF UNION, STATE OF OHIO



LEGEND:

- PROPOSED STORM SEWER
- SILT FENCE
- INLET PROTECTION
- CONSTRUCTION ENTRANCE
- CONCRETE WASHOUT AREA

SEDIMENT AND EROSION CONTROL NOTES

- EXISTING SITE DESCRIPTION:**
THE SITE GRADING AREA ENCOMPASSES APPROXIMATELY 29.57 ACRES WHICH IS CURRENTLY OPEN FIELD.
- EXISTING SITE DRAINAGE CONDITION:**
THE STORMWATER RUNOFF FROM THE SITE DRAINS NORTH INTO GORDON TRI-COUNTY DITCH.
- ADJACENT AREAS:**
THE SITE IS BORDERED BY GORDON TRI-COUNTY DITCH TO THE NORTH, US ROUTE 33 TO THE WEST, AGRICULTURAL LAND TO THE SOUTH, AND HYLAND-CROY ROAD TO THE EAST.
- SOILS:**
A SUBSURFACE INVESTIGATION REPORT IS BEING PREPARED, AVERAGE TOPSOIL DEPTH SHALL BE APPROXIMATED FROM THE REFERENCED BORINGS.
- CRITICAL AREAS:**
AN EXISTING DITCH ALONG THE NORTH PROPERTY BOUNDARY SHALL BE PROTECTED THROUGH ALL PHASES OF THIS CONSTRUCTION.
- EROSION & SEDIMENT CONTROL MEASURES:**
EROSION AND SEDIMENT RUNOFF SHALL BE MANAGED THROUGH COMBINATION OF USING THE PROPOSED RETENTION BASIN AS A SEDIMENT BASIN, SILT FENCING AND INLET PROTECTION.
- CONSTRUCTION SEQUENCE:**
1. PRE-CONSTRUCTION MEETING.
 2. INSTALL CONSTRUCTION ENTRANCE.
 3. INSTALL PERIMETER SEDIMENT FENCE.
 4. INSTALL SEDIMENT BASIN COMPLETE WITH OUTLET CONTROL STRUCTURE AND SKIMMER.
 5. CLEAR AND GRUB THE SITE AND STRIP THE TOPSOIL.
 6. ESTABLISH SOIL STOCKPILES.
 7. GRADE THE SITE UTILIZING TEMPORARY DIVERSION SWALES TO ROUTE RUNOFF INTO THE SEDIMENT BASIN PRIOR TO THE INSTALLATION OF THE STORM SEWER SYSTEM.
 8. PERMANENTLY SEED THE RESERVE AREAS, EXCEPT BASIN. INSTALL TEMPORARY SEEDING ON BASIN UNTIL SUCH TIME AS SEDIMENT BASIN IS DECOMMISSIONED.
 9. INSTALL UTILITIES AND STORM SEWER INLET PROTECTION.
 10. COMMENCE WITH INSTALLATION OF ROADWAY AND OTHER PAVEMENT AREAS.
 11. TEMPORARILY SEED DISTURBED AREAS TO REMAIN IDLE FOR MORE THAN 14 DAYS.
 12. UPON PERMANENT STABILIZATION OF THE SITE CONVERT THE TEMPORARY SEDIMENT BASIN INTO THE PERMANENT RETENTION BASIN. REMOVE THE TEMPORARY SKIMMER.

NO.	DATE	REVISION

PROJECT NO.:	10020719
DATE:	04/23/26
SCALE AS SHOWN	
DES.:	PJD
DR.:	MRS
CKD.:	MRS

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MEIJER JEROME TOWNSHIP
A PART OF VIRGINIA MILITARY SURVEY NO. 6420,
TOWNSHIP OF JEROME, COUNTY OF UNION, STATE OF OHIO.
EROSION AND SEDIMENT CONTROL PLAN

G:\DE\Clients\Meijer\10020719 - Meijer JRM - Jerome Twp. OH\4.0 Disciplines\Civil\Cadd\Survey\Preliminary Plot\10020719 - Plot_Sht_4.dwg, Plotted By: M.Steichschulte, Plotted: Apr. 23, 2026 - 11:08am

G:\D\Clients\Meijer\10020719 - Meijer JRM - Jerome Twp. OH\4.0 Disciplines\Civil\Cadd\Survey\Preliminary\Plot\10020719 - Plot_Sht_5.dwg, Plotted By: Daulton, Plotted: Apr. 23, 2026 - 10:50am

DESCRIPTION

FOR ALL DISTURBED AREAS THAT WILL REMAIN TEMPORARILY IDLE, IMPLEMENTATION OF TEMPORARILY STABILIZATION MEASURES MUST BE INITIATED AND COMPLETED IN ACCORDANCE WITH THE TABLE BELOW WITH THE USE OF FAST-GERMINATING ANNUAL GRASS/GRAIN VARIETIES APPROPRIATE FOR SITE SOIL AND CLIMATE CONDITIONS. STRAW/HAY MULCH, WOOD CELLULOSE FIBERS, TACKIFIERS, NETTING AND/OR BLANKETS. THE FOLLOWING REQUIREMENTS ALSO APPLY:

TEMPORARY STABILIZATION MEASURES SHALL BE IMPLEMENTED IMMEDIATELY WHENEVER EARTH-DISTURBING ACTIVITIES HAVE TEMPORARILY CEASED ON ANY PORTION OF THE SITE. EARTH-DISTURBING ACTIVITIES HAVE TEMPORARILY CEASED WHEN CLEARING, GRADING, AND EXCAVATION WITHIN ANY AREA OF THE SITE THAT WILL NOT INCLUDE PERMANENT STRUCTURES WILL NOT RESUME (I.E., THE LAND WILL BE IDLE) FOR A PERIOD OF 14 OR MORE CALENDAR DAYS, BUT SUCH ACTIVITIES WILL RESUME IN THE FUTURE. THE TERM "IMMEDIATELY" IS USED TO DEFINE THE DEADLINE FOR INITIATING STABILIZATION MEASURES. IN THE CONTEXT OF THIS REQUIREMENT, "IMMEDIATELY" MEANS AS SOON AS PRACTICABLE, BUT NO LATER THAN THE END OF THE NEXT WORK DAY FOLLOWING THE DAY WHEN THE EARTH-DISTURBING ACTIVITIES HAVE TEMPORARILY CEASED. IMPLEMENTATION OF TEMPORARY STABILIZATION MEASURES ARE TO BE COMPLETED NO LATER THAN 14 CALENDAR DAYS AFTER THE INITIATION OF SOIL STABILIZATION MEASURES.

TEMPORARY STABILIZATION IS NOT ACHIEVED SIMPLY THROUGH SEEDING. IN ORDER FOR AN AREA OR CONSOLIDATION AREA TO BE SUFFICIENTLY STABILIZED VIA TEMPORARY STABILIZATION, SEED MUST GERMINATE, GROW AND PROVIDE ADEQUATE VEGETATIVE DENSITY.

ALL DISTURBED AREAS ON SLOPES SHALL BE LEFT IN A ROUGHENED CONDITION (I.E., WITH VEHICLE CLEAT MARKS RUNNING PERPENDICULAR TO THE FALL LINE OF THE SLOPE) WHEN TEMPORARY STABILIZATION IS NOT ATTAINABLE TO HELP REDUCE POTENTIAL FOR EROSION.

INSTALLATION

- REVIEW CONSTRUCTION PHASING AND SOIL EROSION CONTROL PLAN TO IDENTIFY AREAS REQUIRING TEMPORARY SEEDING.
- SELECT ANNUAL GRASS SEED FOR TEMPORARY COVER AREAS.
- SEED MIXES MAY VARY, SHOULD ONLY CONTAIN ANNUAL, NON-AGGRESSIVE SPECIES, AND GENERALLY INCLUDE RYE, WHEAT, OR OAT SPECIES. SEED MIXES SHOULD BE OBTAINED FROM A SEED SUPPLIER AS SEED MIXES ARE DEPENDENT ON SOIL TYPE, LIGHT, MOISTURE, AND USE APPLICATION.
- PREPARE SEEDBED BY REMOVAL OF CONSTRUCTION/WOODY DEBRIS. THEN SCARIFY OR RAKE SEEDBED.
- SLOPES STEEPER THAN 1:3 SHOULD BE ROUGHENED.
- APPLY SEED AS SOON AS POSSIBLE AFTER SEEDBED PREPARATION. MULCH IMMEDIATELY AFTER SEEDING.
- THE TIME TO SEED IS DEPENDENT ON THE CLIMATE OF THE AREA.
- PROTECT SEEDED AREAS FROM PEDESTRIAN/VEHICULAR TRAFFIC.
- DIVERT CONCENTRATED FLOWS AWAY FROM SEEDED AREA UNTIL VEGETATION IS ESTABLISHED.
- INSPECT TEMPORARY SEEDED AREAS WEEKLY AND FOLLOWING EACH RAIN EVENT UNTIL FINAL GRADING AND STABILIZATION ACTIVITIES ARE COMPLETED.
- MUST BE FOLLOWED BY PERMANENT SEEDING.

MAINTENANCE

- SEEDS NEED ADEQUATE TIME TO ESTABLISH.
- MAY NOT BE APPROPRIATE IN AREAS WITH FREQUENT TRAFFIC.
- SEEDED AREA MAY REQUIRE IRRIGATION IN DRY PERIODS.

STABILIZATION REQUIREMENTS (BASED ON OEPA 2023 CGP)

Temporary Stabilization	
Area requiring temporary stabilization	Time frame to apply erosion controls
Any disturbed areas within 50 feet of a surface water of the state and not at final grade	Within two days of the most recent disturbance if the area will remain idle for more than 14 days
Any disturbed areas that will be dormant for more than 14 days but less than one year, and not within 50 feet of a surface water of the state	Within seven days of the most recent disturbance within the area
Disturbed areas that will be idle over winter	Prior to the onset of winter weather

DESCRIPTION

FINAL STABILIZATION OF DISTURBED AREAS MUST BE INITIATED AND COMPLETED IN ACCORDANCE WITH THE TABLE BELOW WHENEVER EARTH-DISTURBING ACTIVITIES HAVE CEASED ON ANY PORTION OF THE SITE. AT THE COMPLETION OF GROUND-DISTURBING ACTIVITIES THE ENTIRE SITE MUST HAVE PERMANENT VEGETATIVE COVER, MEETING VEGETATIVE DENSITY REQUIREMENTS IN ALL AREAS NOT COVERED BY HARDCAPE.

IN AREAS WHERE FINAL STABILIZATION WILL OCCUR, VEHICLE AND EQUIPMENT ACCESS WILL BE RESTRICTED IN ORDER TO MINIMIZE COMPACTION. IN ADDITION, THE SOIL MAY NEED TO BE CONDITIONED FOR SEEDING OR PLANTING. SEEDED AREAS SHALL BE PROTECTED WITH STRAW MULCH, HYDRAULIC MULCH OR A ROLLED EROSION CONTROL PRODUCT.

FINAL SITE STABILIZATION IS ACHIEVED WHEN PERMANENT STABILIZATION MEASURES SHALL BE IMPLEMENTED IMMEDIATELY WHENEVER EARTH-DISTURBING ACTIVITIES HAVE TEMPORARILY CEASED ON ANY PORTION OF THE SITE. EARTH-DISTURBING ACTIVITIES HAVE TEMPORARILY CEASED WHEN CLEARING AND EXCAVATION WITHIN ANY AREA OF THE SITE THAT WILL NOT INCLUDE PERMANENT STRUCTURES HAVE BEEN COMPLETED. THE TERM "IMMEDIATELY" IS USED TO DEFINE THE DEADLINE FOR INITIATING STABILIZATION MEASURES. IN THE CONTEXT OF THIS REQUIREMENT, "IMMEDIATELY" MEANS AS SOON AS PRACTICABLE, BUT NO LATER THAN THE END OF THE NEXT WORK DAY FOLLOWING THE DAY WHEN THE EARTH-DISTURBING ACTIVITIES HAVE TEMPORARILY CEASED. IMPLEMENTATION OF PERMANENT STABILIZATION MEASURES ARE TO BE COMPLETED NO LATER THAN 14 CALENDAR DAYS AFTER THE INITIATION OF SOIL STABILIZATION MEASURES. THIS AREA IS EXCLUSIVE OF AREAS THAT ARE COVERED WITH ROCK (CRUSHED GRANITE, GRAVEL, ETC.) OR LANDSCAPE MULCH, PAVED OR HAVE A BUILDING OR OTHER PERMANENT STRUCTURE ON THEM.

INSTALLATION

- REVIEW SEED PLAN AND CONSTRUCTION PHASING TO IDENTIFY AREAS IN NEED OF PERMANENT VEGETATIVE STABILIZATION.
- SELECT PERENNIAL GRASS AND GROUND COVER FOR PERMANENT COVER.
- SEED MIXES VARY. HOWEVER, THEY SHOULD CONTAIN NATIVE SPECIES.
- SEED MIXES SHOULD BE SELECTED THROUGH CONSULTATION WITH A CERTIFIED SEED PROVIDER AND WITH CONSIDERATION OF SOIL TYPE, LIGHT, MOISTURE, USE APPLICATIONS, AND NATIVE SPECIES CONTENT.
- SOIL TESTS SHOULD BE PERFORMED TO DETERMINE THE NUTRIENT AND PH LEVELS IN THE SOIL. THE PH MAY NEED TO BE ADJUSTED TO BETWEEN 6.5 AND 7.0.
- PREPARE A 3-6" DEEP SEEDBED, WITH THE TOP 3-4" CONSISTING OF TOPSOIL.
- SLOPES STEEPER THAN 1:3 SHOULD BE ROUGHENED.
- APPLY SEED AS SOON AS POSSIBLE AFTER SEEDBED PREPARATION. SEED MAY BE BROADCAST BY HAND, HYDROSEEDING, OR BY USING MECHANICAL DRILLS.
- MULCH IMMEDIATELY AFTER SEEDING.
- DORMANT SEED MIXES ARE FOR USE AFTER THE GROWING SEASON, USING SEED WHICH LIES DORMANT IN THE WINTER AND BEGINS GROWING AS SOON AS SITE CONDITIONS BECOME FAVORABLE.
- PROTECT SEEDED AREAS FROM PEDESTRIAN OR VEHICULAR TRAFFIC.
- DIVERT CONCENTRATED FLOWS AWAY FROM THE SEEDED AREA UNTIL VEGETATION IS ESTABLISHED.

MAINTENANCE

- INSPECT WEEKLY AND WITHIN 24 HOURS FOLLOWING EACH RAIN EVENT IN THE FIRST FEW MONTHS FOLLOWING INSTALLATION TO BE SURE SEED HAS ESTABLISHED.
- ADD SUPPLEMENTAL SEED AS NECESSARY.
- SEEDS NEED ADEQUATE TIME TO ESTABLISH.
- SEEDS NEED APPROPRIATE TIME TO ESTABLISH.
- MAY NOT BE APPROPRIATE IN AREAS WITH FREQUENT TRAFFIC.
- SEEDED AREAS MAY REQUIRE IRRIGATION DURING DRY PERIODS.
- SEEDING SUCCESS IS SITE SPECIFIC, CONSIDER MULCHING OR SODDING WHEN NECESSARY.

STABILIZATION REQUIREMENTS (BASED ON OEPA 2023 CGP)

Permanent Stabilization	
Area requiring permanent stabilization	Time frame to apply erosion controls
Any more areas that will lie dormant for one year or more	Within seven days of the most recent disturbance
Any areas within 50 feet of a surface water of the state and at final grade	Within two days of reaching final grade
Other areas at final grade	Within seven days of reaching final grade within that area

INSTALLATION DETAIL

DESCRIPTION

VARIOUS TYPES OF STORM SEWER INLET PROTECTION MEASURES ARE AVAILABLE DEPENDING ON THE TYPE OF INLET STRUCTURE (E.G., CURB OR AREA) AND THE STAGE OF CONSTRUCTION. IN GENERAL, INLET PROTECTION MEASURES ARE TEMPORARY SEDIMENT CONTROL BARRIERS FORMED AROUND OR IN A STORM SEWER INLET TO HELP PREVENT SEDIMENT FROM ENTERING STORM DRAINS DURING CONSTRUCTION. INLET PROTECTION MEASURES ARE TO BE INSTALLED AS EACH INLET STRUCTURE IS CONSTRUCTED.

INSTALLATION

- A FILTER FABRIC BAG IS HUNG INSIDE THE INLET, BENEATH THE GRATE.
- REPLACE GRATE, WHICH WILL HOLD BAG IN PLACE.
- ANCHOR FILTER BAG WITH 1" REBAR FOR REMOVAL FROM INLET.
- FLAPS OF BAG THAT EXTEND BEYOND THE BAG CAN BE BURIED IN SOIL IN EARTH AREAS.

MAINTENANCE

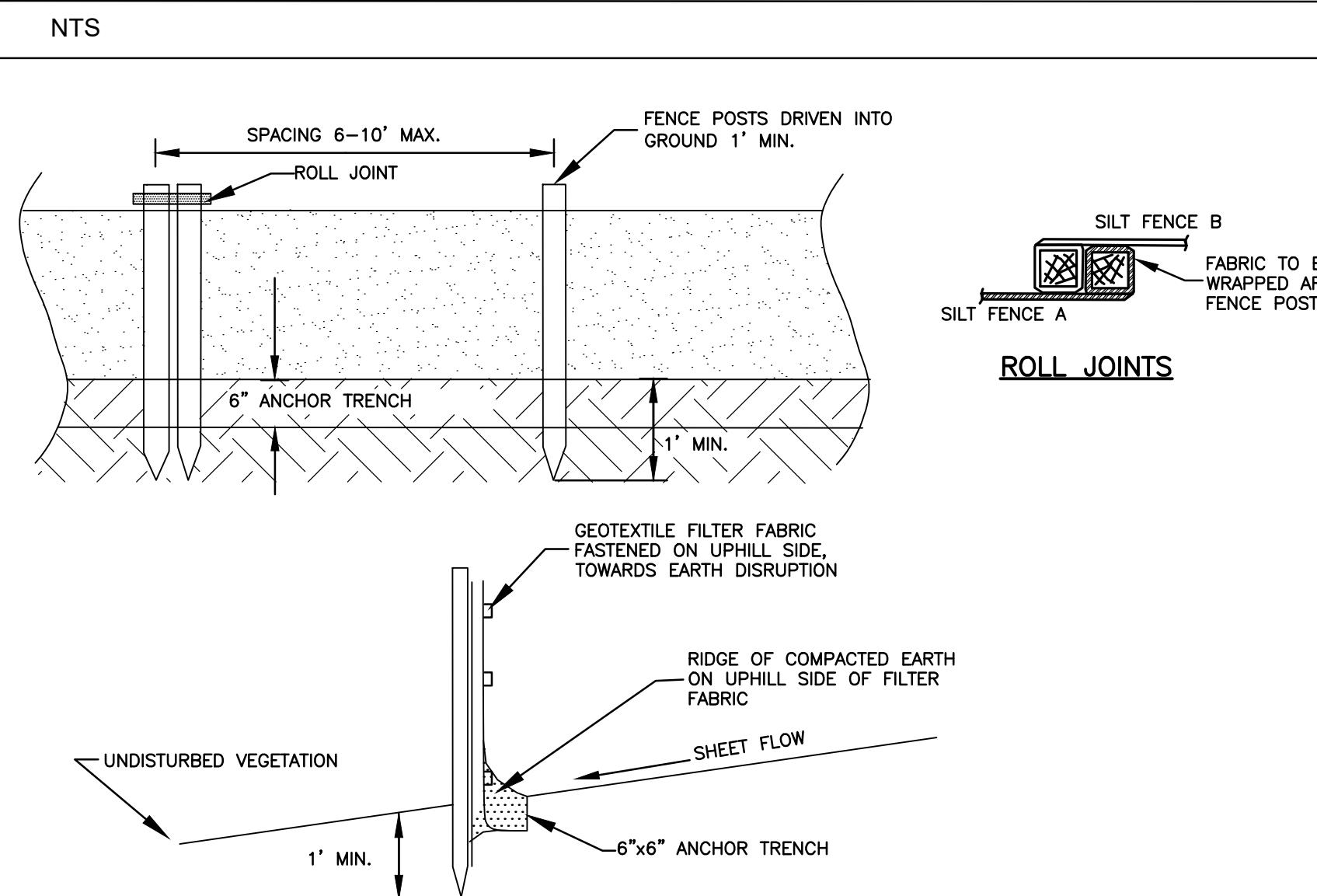
- DROP INLET FILTERS SHOULD BE INSPECTED ROUTINELY AND AFTER EACH MAJOR RAIN EVENT.
- DAMAGED FILTER BAGS SHOULD BE REPLACED.
- CLEAN AND/OR REPLACE FILTER BAG WITH 1/2 FULL. REPLACE CLOGGED FABRIC IMMEDIATELY.
- IF NEEDED, INITIATE REPAIRS IMMEDIATELY UPON INSPECTION.
- REMOVE ENTIRE PROTECTIVE MECHANISM WHEN UPGRADING AREAS ARE STABILIZED AND STREETS HAVE BEEN SWEEP.
- CAN ONLY ACCOMMODATE SMALL FLOW QUANTITIES.
- REQUIRES FREQUENT MAINTENANCE.
- PONDING MAY OCCUR AROUND STORM DRAINS IF FILTER IS CLOGGED.

ISOMETRIC VIEW

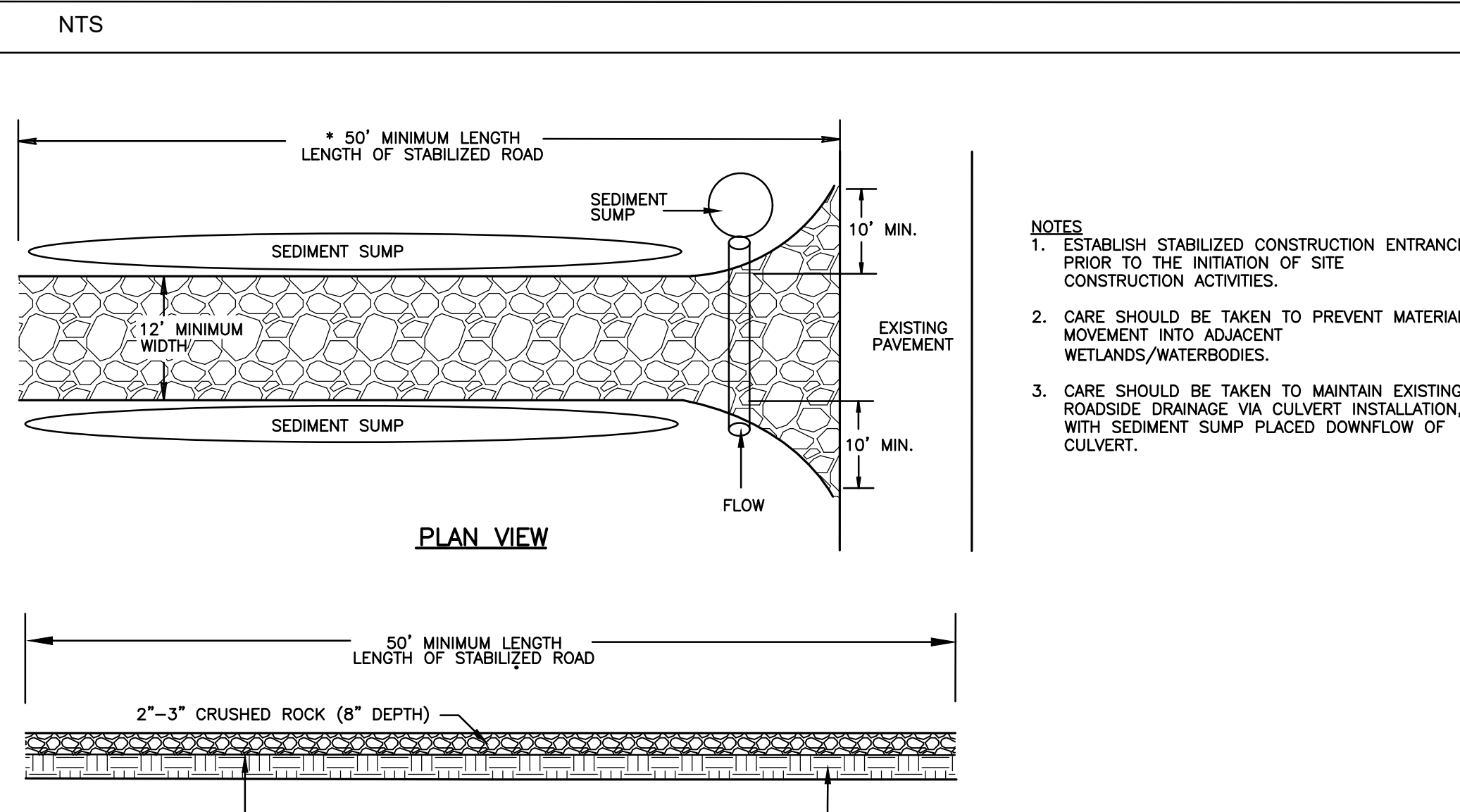
REVISION	DATE	NO.

PROJECT NO.: 10020719
 DATE: 04/23/26
 SCALE: AS SHOWN
 DES.: PJD
 DR.: MRS
 CKD.: MRS

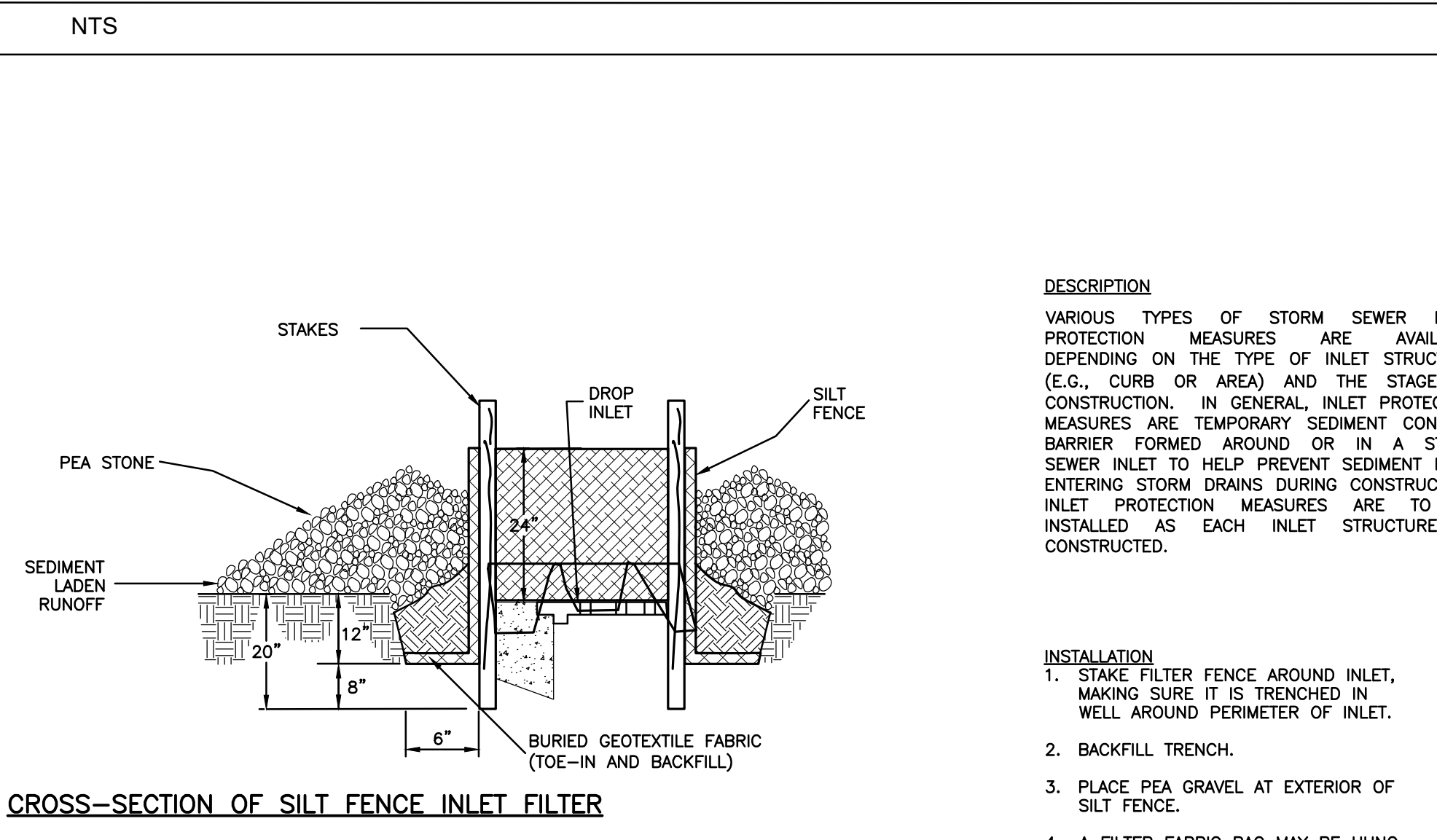
TEMPORARY STABILIZATION/SEEDING



PERMANENT STABILIZATION/SEEDING



INLET PROTECTION - TYPE 1 (PAVED AREAS)



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WOOLPERT
 DESIGN | CONSTRUCTION | INFRASTRUCTURE

SILT FENCE

NTS

STABILIZED CONSTRUCTION ENTRANCE

NTS

INLET PROTECTION - TYPE 2 (LAWN AREAS)

NTS

MEIJER JEROME TOWNSHIP
 A PART OF VIRGINIA MILITARY SURVEY NO. 6420,
 TOWNSHIP OF JEROME, COUNTY OF UNION, STATE OF OHIO.

EROSION AND SEDIMENT CONTROL DETAILS