

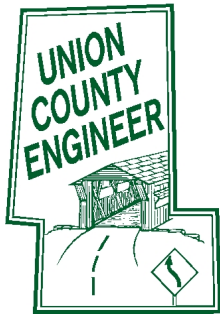


Zoning & Subdivision Committee
Thursday, February 8, 2018
12:45 pm

- Minutes from last meeting of January 11, 2018
- 1. Review of Jerome Village Preliminary Plat Extension (Union County) – Staff Report by Brad Bodenmiller
- 2. Review of Jerome Village VN-3 Preliminary Plat (Union County) – Staff Report by Brad Bodenmiller

Members:

Tyler Bumbalough – City of Urbana Engineer
Scott Coleman – Logan County Engineer
Weston R. Dodds – City of Bellefontaine Code Enforcement
Chad Flowers – City of Marysville Planning
Charles Hall – Union County Commissioner
Steve McCall – Champaign County Engineer
Bill Narducci – Union County Engineer's Office
Vince Papsidero – City of Dublin Planning Director
Tom Scheiderer – Jefferson & Zane Township Zoning Inspector
Jeff Stauch – Union County Engineer
Robert A. Yoder – North Lewisburg Administrator
Dave Gulden – LUC
Heather Martin – LUC
Brad Bodenmiller – LUC



**County Engineer
Environmental Engineer
Building Department**

233 W. Sixth Street
Marysville, Ohio 43040
P 937. 645. 3018
F 937. 645. 3161
www.co.union.oh.us/engineer

Marysville Operations Facility

16400 County Home Road
Marysville, Ohio 43040
P 937. 645. 3017
F 937. 645. 3111

Richwood Outpost

190 Beatty Avenue
Richwood, Ohio 43344

January 31, 2018

Public Service with integrity

Bradley Bodenmiller
LUC Regional Planning Commission
Box 219
East Liberty, Ohio 43319

Re: Jerome Village – Village Neighborhood Section 3
Preliminary Plat Extension

Brad,

We have completed our review for the above preliminary plat extension request, received by our office on January 23, 2018. If you recall, the variances to the Subdivision Regulations were not approved by the Union County Commissioners. The developer is in the process of considering alternative designs to present to our office and the Commissioners in response to their concerns of the variances. We recommend the developer request an additional tabling for this preliminary plat to provide them time to generate these alternative design options.

In accordance with the Subdivision Regulations of Union County, additional information is required from the developer prior to final plat approvals. It is the responsibility of the developer to become familiar with the regulations and file requisite information within the time frames outlined in the regulations. Should you have any questions or concerns, feel free to contact me at (937) 645-3165.

Bill Narducci

Bill Narducci, P.E.
Assistant County Engineer
Union County Engineer



Staff Report – Jerome Village Preliminary Plat Extension

Applicant:	<p>Jerome Village Company, LLC c/o Gary Nuss 375 North Front Street, Suite 200 Columbus, OH 43215 nussg@nationwide.com</p> <p>Terrain Evolution, Inc. c/o Justin Wollenberg, PE 720 East Broad Street, Suite 203 Columbus, OH 43215 jwollenberg@terrainevolution.com</p>
Request:	Approval of the Jerome Village Preliminary Plat Extension for a period of two (2) years.
Location:	Located on the east side of US Route 42 in Jerome Township, Union County.

Staff Analysis:	<p>This Preliminary Plat Extension is for the Jerome Village Development in its entirety. The applicant is requesting another two year extension. The Jerome Village Preliminary Plat was originally approved in February 2008, and then extended in 2010, 2012, and 2014.</p> <p>Proposed utilities:</p> <ul style="list-style-type: none">○ City of Marysville public water system○ Method of sanitary waste disposal is the Jerome Village collection system and City of Marysville treatment <p>• Union County Engineer's Office</p> <ul style="list-style-type: none">○ In a letter dated 01-31-2018, the Engineer's Office recommended the Preliminary Plat be extended pursuant to the original comments from the Engineer's Office of 02-11-2008. <p>• Union County Soil & Water Conservation District</p> <ul style="list-style-type: none">○ No comments as of 01-31-2018. <p>• Union County Health Department</p> <ul style="list-style-type: none">○ No comments as of 01-31-2018.
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Staff Report – Jerome Village Preliminary Plat Extension

	<ul style="list-style-type: none">• City of Marysville<ul style="list-style-type: none">○ No comments as of 01-31-2018.• Jerome Township<ul style="list-style-type: none">○ No comments as of 01-31-2018.• ODOT District 6<ul style="list-style-type: none">○ No comments as of 01-31-2018.• Ohio Edison<ul style="list-style-type: none">○ No comments as of 01-31-2018.• Ohio Edison<ul style="list-style-type: none">○ No comments as of 01-31-2018.• LUC Regional Planning Commission<ul style="list-style-type: none">○ All comments from reviewing agencies, including those from past review periods dating back to 2008, should be incorporated into platting of upcoming pods and phases.
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Staff Recommendations:	LUC Staff recommends APPROVAL of the Jerome Village Preliminary Plat Extension with the condition that all comments from LUC and reviewing agencies, including those from past review periods dating back to 2008, should be incorporated into future platting of phases and pods. The developer shall ensure that prior to plat submittals, all requirements and items outlined in the Union County Subdivision Regulations are incorporated <i>prior</i> to submittal.
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Z&S Committee Recommendations:	
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January 17, 2018

Mr. Dave Gulden, Director
LUC Regional Planning Commission
9676 E. Foundry Street
East Liberty, Ohio 43319

Re: Jerome Village
Preliminary Plat Extension Request

Dear Mr. Gulden:

Jerome Village Preliminary Plat was approved by the LUC Executive Committee February 14, 2008, 2-year extensions were granted February 19, 2010, February 9, 2012, February 13, 2014 and February 11, 2016. Per current regulations, it is our understanding that approval of the Preliminary Plat is valid for a period of two (2) years, at which time request for extension is required.

Please accept this letter as our formal request for an extension of the Jerome Village Preliminary Plat for the maximum duration available. Please contact me if we are required to provide additional submittals, i.e. plans, electronic files, etc. to complete the extension approval process.

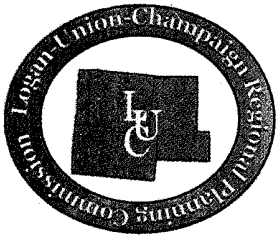
Should you have any questions, please contact me to discuss.

Respectfully Submitted,
Terrain Evolution, Inc.



Justin Wollenberg, PE, CPESC
Project Manager

CC: File
Nationwide Realty Investors



Logan-Union-Champaign regional planning commission

Director: Dave Gulden, AICP

February 16, 2016

Jerome Village Company, LLC
c/o Gary Nuss
375 North Front Street, Suite 200
Columbus, OH 43215

RE: **Jerome Village Preliminary Plat Extension**, Jerome Township, Union County

Dear Mr. Gary Nuss:

The Executive Committee of the Logan-Union-Champaign Regional Planning Commission met in formal session on February 11, 2016, and reviewed the Preliminary Plat Extension for Jerome Village, Jerome Township, Union County.

The LUC Executive Committee **APPROVED** the Jerome Village Preliminary Plat Extension with the **CONDITION** that all comments from reviewing agencies, including those from all past review periods dating back to 2008, be incorporated into future platting of phases and pods. The developer shall ensure that prior to plat submittals, all requirements and items outlined in the Union County Subdivision Regulations are incorporated prior to submittal.

As noted in the original Preliminary Plat Approval of February 2008, each pod shall be required to have its own Preliminary Plat, with subsequent Construction Drawings, and Final Plat. In addition, each of these development pods will be required to proceed according to the Union County Subdivision Regulations and follow such Subdivision Regulations and Technical Design Standards.

You will find the LUC Staff Report and reviewing agency comments received attached. Please call me if you have any additional questions or concerns. Thank you for your time.

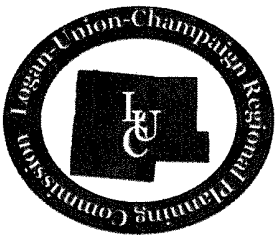
Note: Approval of this Preliminary Plat Extension expires in February of 2018. Therefore, it is necessary for you to apply in January 2018 to be placed on the February 2018 LUC meeting agendas.

Sincerely,


Dave Gulden
Secretary | LUC Executive Committee
Executive Director | LUC Regional Planning Commission

cc: File
• Terrain Evolution, Inc. – c/o Justin Wollenberg
• Jerome Township Trustees – c/o Robert Caldwell
• Jerome Township Zoning Commission – c/o Anita Nicol
• Jerome Township Zoning Officer – Gary Smith
• Union County Engineer's Office – c/o Bill Narducci
• City of Marysville Engineering – Jeremy Hoyt

• Mailed 1st Class 02-16-16 9676 E. Foundry St, PO Box 219
• Emailed 02-16-16 East Liberty, Ohio 43319
• Phone: 937-666-3431 • Fax: 937-666-6203
• Email: luc-rpc@lucplanning.com • Web: www.lucplanning.com

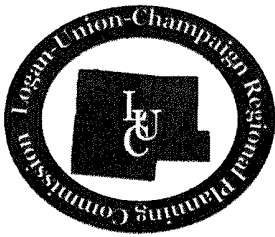


Logan-Union-Champaign
regional planning commission

Staff Report – Jerome Village Original Preliminary Plat

Applicant:	<p>Jerome Village Company, LLC c/o Gary Nuss 375 North Front Street, Suite 200 Columbus, OH 43215 nussg@nationwide.com</p> <p>Terrain Evolution, Inc. c/o Justin Wollenberg 720 East Broad Street, Suite 203 Columbus, OH 43215 jwollenberg@terrainevolution.com</p>
Request:	<p>Approval of the Jerome Village Preliminary Plat Extension for a period of two (2) years.</p>
Location:	<p>Located on the east side of US Route 42 in Jerome Township, Union County.</p>

Staff Analysis:	<p>This Preliminary Plat Extension is for the Jerome Village Development in its entirety. The applicant has requested an additional two-year extension.</p> <p>The proposed method of supplying water service is through the City of Marysville Public Water System.</p> <p>The proposed method of sanitary waste collection is the Jerome Village Community Authority and the proposed method of sanitary waste disposal is the City of Marysville Treatment System.</p> <p>Preliminary Plat:</p> <ul style="list-style-type: none">○ The Jerome Village Preliminary Plat was originally approved in February of 2008. Preliminary Plat Extensions were granted in February 2010, 2012, and 2014 <p>• Union County Engineer's Office</p> <ul style="list-style-type: none">○ Regarding the original Preliminary Plat approval and subsequent Preliminary Plat Extensions, the Engineer's Office's recommended approval with modifications, in accordance with a letter dated 02-11-08. Subsequent
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Logan-Union-Champaign regional planning commission

Staff Report – Jerome Village Original Preliminary Plat

Preliminary Plat Extensions were recommended subject to the comments in that letter.

- Regarding this 2016 Preliminary Plat Extension, the Engineer's Office submitted comments in a letter dated 02-04-16. The Engineer's Office recommended approval subject to the comments from its original review, dated 02-11-08. Additional comments from the Engineer's Office are below:

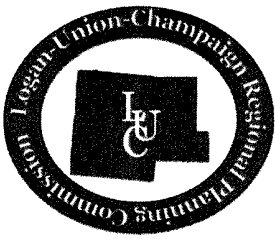
- ✓ "Due to the long term buildout of this development, this preliminary master plat will have to be renewed multiple times over the life of the project under current practice. The individual pods within this master development have their own preliminary plat that will go through the review process from the Zoning and Subdivision Committee. We recognize that through this process, there will be revisions shown on the individual pod preliminary plats when compared to this overall plat. Because the individual pods are reviewed as submitted, our office does not see a need to require the implementation of any updates to the preliminary master plat at this time."

- **Union County Soil & Water Conservation District**

- No comments as of February 4, 2016.

- **Union County Health Department**

- No comments as of February 4, 2016. Standard comments from the Health Department are below:
 - ✓ "All efforts should be made to provide a point of connection (via easements and/or service lines) to both water and sewer to any adjacent home, business, or any other facility that is serviced by a private water system (PWS) and/or sewage treatment system (SWS)."
 - ✓ Any home, business, or other structure that is currently being serviced by a private sewage treatment system (STS) and ends up being situated within 200' of a sanitary sewer easement, shall be brought to the attention of the Union County Health Department."
 - ✓ "If at any at time during development of the subdivision a private water system (PWS) (well, cistern, etc.) or sewage treatment system (STS) is found, our office shall be immediately contacted for



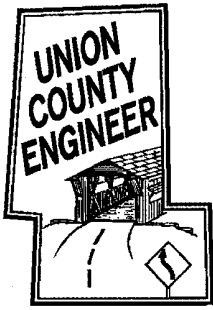
Logan-Union-Champaign
regional planning commission

Staff Report – Jerome Village Original Preliminary Plat

	<p>inspection. Proper permitting must be obtained for sealing and/or abandonment of a private water system (PWS) and sewage treatment system (STS).”</p> <ul style="list-style-type: none">• City of Marysville<ul style="list-style-type: none">○ No comments as of February 4, 2016.• Jerome Township<ul style="list-style-type: none">○ No comments as of February 4, 2016.• ODOT District 6<ul style="list-style-type: none">○ No comments as of February 4, 2016.• Union Rural Electric/URE<ul style="list-style-type: none">○ No comments as of February 4, 2016.• LUC Regional Planning Commission<ul style="list-style-type: none">○ All comments from reviewing agencies, including those from past review periods dating back to 2008, should be incorporated into platting of upcoming pods and phases (§ 318).
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Staff Recommendations:	<p>LUC Staff recommends APPROVAL of the Jerome Village Preliminary Plat Extension with the CONDITION that all comments from reviewing agencies, including those from all past review periods dating back to 2008, should be incorporated into future platting of phases and pods. The developer shall ensure that prior to plat submittals, all requirements and items outlined in the Union County Subdivision Regulations are incorporated <i>prior</i> to submittal.</p>
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Z&S Committee Recommendations:	<p>Z&S Committee recommends APPROVAL of the Jerome Village Preliminary Plat Extension with the CONDITION that all comments from reviewing agencies, including those from all past review periods dating back to 2008, should be incorporated into future platting of phases and pods. The developer shall ensure that prior to plat submittals, all requirements and items outlined in the Union County Subdivision Regulations are incorporated <i>prior</i> to submittal.</p>
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**County Engineer
Environmental Engineer
Building Department**
233 W. Sixth Street
Marysville, Ohio 43040
P 937. 645. 3018
F 937. 645. 3161
www.co.union.oh.us/engineer

Marysville Operations Facility
16400 County Home Road
Marysville, Ohio 43040
P 937. 645. 3017
F 937. 645. 3111

Richwood Outpost
190 Beatty Avenue
Richwood, Ohio 43344

Public Service with integrity

February 4, 2016

Bradley Bodenmiller
LUC Regional Planning Commission
Box 219
East Liberty, Ohio 43319

via email

Re: Preliminary Plat Extension
Jerome Village

Brad,

In response to the developer's request to extend the above preliminary plat, our office has reviewed the previous conditions for the original approval of said plat. Based on this review, we recommend that the extension be granted pursuant to the attached comments from our office, dated February 11th, 2008.

In addition, due to the long term buildout of this development, this preliminary master plat will have to be renewed multiple times over the life of the project under current practice. The individual pods within this master development have their own preliminary plat that will go through the review process from the Zoning and Subdivision Committee. We recognize that through this process, there will be revisions shown on the individual pod preliminary plats when compared to this overall plat. Because the individual pods are reviewed as submitted, our office does not see a need to require the implementation of any updates to the preliminary master plat at this time.

Should you have any questions, feel free to contact me at (937) 645-3165.

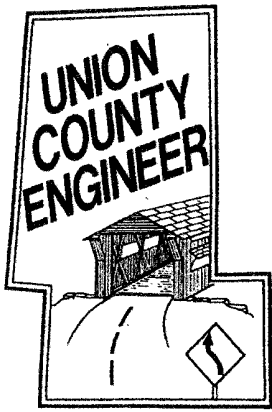
Sincerely,

Bill Narducci

Bill Narducci, P.E.
Engineering Manager
Union County Engineer

Enc: Preliminary Plat Comment Letter from 2008

Cc: Luke Sutton, Union County Engineer's Office (via email)



STEVE A. STOLTE, PE/PS

**COUNTY ENGINEER
ENVIRONMENTAL ENGINEER**

County Office Building
233 W. Sixth Street
Marysville, Ohio 43040

(937) 645-3018
*(800) 258-8278 ext. 3018
*(inside Union County)

Fax (937) 645-3161

Email
engineer@co.union.oh.us

Website
www.co.union.oh.us

OFFICE HOURS
7:30 a.m. ~ 5:00 p.m.

**MARYSVILLE
OPERATIONS FACILITY**
16400 County Home Road
Marysville, Ohio 43040
(937) 645-3017
Fax (937) 645-3111

RICHWOOD OUTPOST
190 Beatty Avenue
Richwood, Ohio 43344

JEFFREY A. STAUCH, PE/PS
Assistant County Engineer

MARY A. SAMPSEL, PE
Assistant County Engineer
Chief Building Official

February 11, 2008

Jenny Snapp, Director
LUC Regional Planning Commission
Box 219
East Liberty, Ohio 43319

Re: Jerome Village Preliminary Plat

Dear Jenny:

We have had the opportunity to review the revised Preliminary Plat for the above-referenced subdivision, dated January 3, 2008 and recommend it be **approved with modifications**. Included in the list below are a few minor technical modifications that should be made on future documents (i.e., construction drawings, final plat).

Due to the sheer size and general nature of this plat, we have also addressed issues that can be attributed to the impact this development will have on the region. These items shall be the responsibility of the developer throughout the phased development of the subdivision. In order to record these responsibilities, we ask that all of these items be made conditions of approval of the plat.

Streets & Utilities

- 1a. The west connection of Home Road (to US 42 and Harriott Road) must be constructed at the same time Home Road is constructed inside the subdivision. The developer is responsible for land acquisition on this portion of the road, outside the subdivision boundaries.
- 1b. The east connection of Home Road (east of Jerome Road to Delaware County's Home Road) shall be constructed by the developer at the same time Home Road is constructed inside the subdivision. If assistance with land acquisition for future road r/w outside the subdivision boundaries is needed, the Union County Engineer can offer support to expedite the process. Terms of assistance shall be further defined in an Infrastructure Agreement between the developer and the County, if necessary (see additional information regarding a possible Infrastructure Agreement in Item 2a below).
- 1c. Layout and design of the east and west connections of Home Road are subject to approval by the Union County Engineer. The Home Road intersection with US 42 is also subject to approval by ODOT.

Page 1 of 3

**COUNTY
ENGINEER**

**ENVIRONMENTAL
ENGINEER**

**BUILDING
REGULATIONS**

- 2a. Improvements to existing intersections in the region, not located within the subdivision, shall be constructed by the developer prior to or during construction of the associated phase (or build-out level) of the subdivision that contributes the defining amount of traffic. The required improvements are identified in the Jerome Village TIS dated: August 2006, revised Feb 2007, letter June 18, 2007 and also in the Union County Engineer/Trans Associates review letters dated March 29, 2007 and July 5, 2007. The developer may be required to enter in to an Infrastructure Agreement with Union County at a later date to further address timing of construction and/or monetary responsibility of the subject improvements.
- 2b. At any existing intersection where Jerome Village contributes 2/3 (or more) of the traffic, Jerome Village will be responsible to install 100% of the intersection improvements.
- 2c. Jerome Village is responsible to install the new roadway and intersection network, as shown on the Preliminary Plat.
- 2d. If improvements are warranted for an existing intersection, and it changes the nature of the intersection (i.e., adds a traffic signal, etc.), Jerome Village will be responsible to add turn lanes and/or provide widening at the intersection.
3. The developer will be required to have a specialized sub-consultant review all roundabout designs. Sub-consultant selection shall be submitted to and approved by the County Engineer.
4. Provisions shall be made in the Community Authority to allow for the mowing, regular maintenance, and repair of grass, trees, plants, stormwater facilities, etc. located in medians within the road r/w.
5. Road r/w width for Joshua, Ewing, and James Roads shall be shown as 100' on future documents.
6. Existing drives at the following locations may need to be moved or relocated on to proposed new roads within the subdivision:
 - a. 12359 Jerome Road
 - b. 11591 Jerome Road
 - c. 10611 Jerome Road
 - d. 7530 Brock Road
 - e. 7460 Brock Road
 - f. additional locations may be identified as local road locations are determined throughout development

The developer is responsible to contact the existing homeowners, coordinate the new drive location, and construct the driveway. Location and material type for the new drive shall be approved by the County Engineer.
7. Off-site sanitary sewer and water line connections are not shown, due to continued negotiations with the service provider (City of Marysville). When final layouts are determined, both interim and final, they shall be submitted to LUC and the County Engineer as supplemental documents for reference during construction plan review and final plat review.
8. Approval of this Preliminary Plat for the overall network does not in any way relieve Jerome Village Development of the responsibility for infrastructure improvements not shown on the plat. Items not shown on the plat at this time, such as, but not limited to, sanitary sewer connections, water line connections, and off-site traffic improvements will be addressed in subsequent Preliminary Plats for the subdivision.

General

9. Prior to approval of the Final Plat, the Developer may be required to execute a Ditch Petition Agreement with Union County, placing stormwater infrastructure and facilities, outside of the road r/w, under County Maintenance.
10. Provide date of survey.
11. Show easements on final plat for utility companies (URE, Ohio Edison, Verizon, Columbia Gas, Time Warner).
12. Label existing road r/w for Wells Road on future drawings.

Deed Restrictions to be Placed on the Final Plat

13. Sequence of subdivision construction shall be approved by the Union County Engineer.
14. Open spaces, whether existing or created during platting of a pod, or during development of a commercial, residential or other type lot, shall be connected as much as possible to the open space dedicated along Hyland-Croy Road. Connections shall be directly adjacent to the open space along Hyland-Croy or, if the open spaces do not have adjacent property lines, connection shall be made through a contiguous open space, where possible.
- 15a. The "blanket restrictions" listed on the Access Management Plan shall be restated on the Final Plat.
- 15b. Future local road locations are subject to approval by the Union County Engineer. Final location and design shall be submitted to and approved by the County Engineer prior to platting of lots, groups of lots, or pods.
16. Stormwater calculations performed for each subarea/pod shall use the watershed characteristics identified in the Preliminary Plat.
17. Add Union County Standard Deed Restrictions:
 - a. Residential & Commercial – 1 thru 5, 6a, 7, 8
 - b. Residential Only – 11
 - c. Commercial Only – 17, 19, 21 thru 23
 - d. Misc – 24, 25, 28 (insert applicable names in 25 & 28)

In accordance with Sections 317 through 326 of the Union County Subdivision Regulations, additional information is required from the developer prior to further document approvals, construction, and/or filing of the Final Plat. It is the responsibility of the developer to become familiar with the regulations and file requisite information within the time frames outlined in the regulations.

Sincerely,

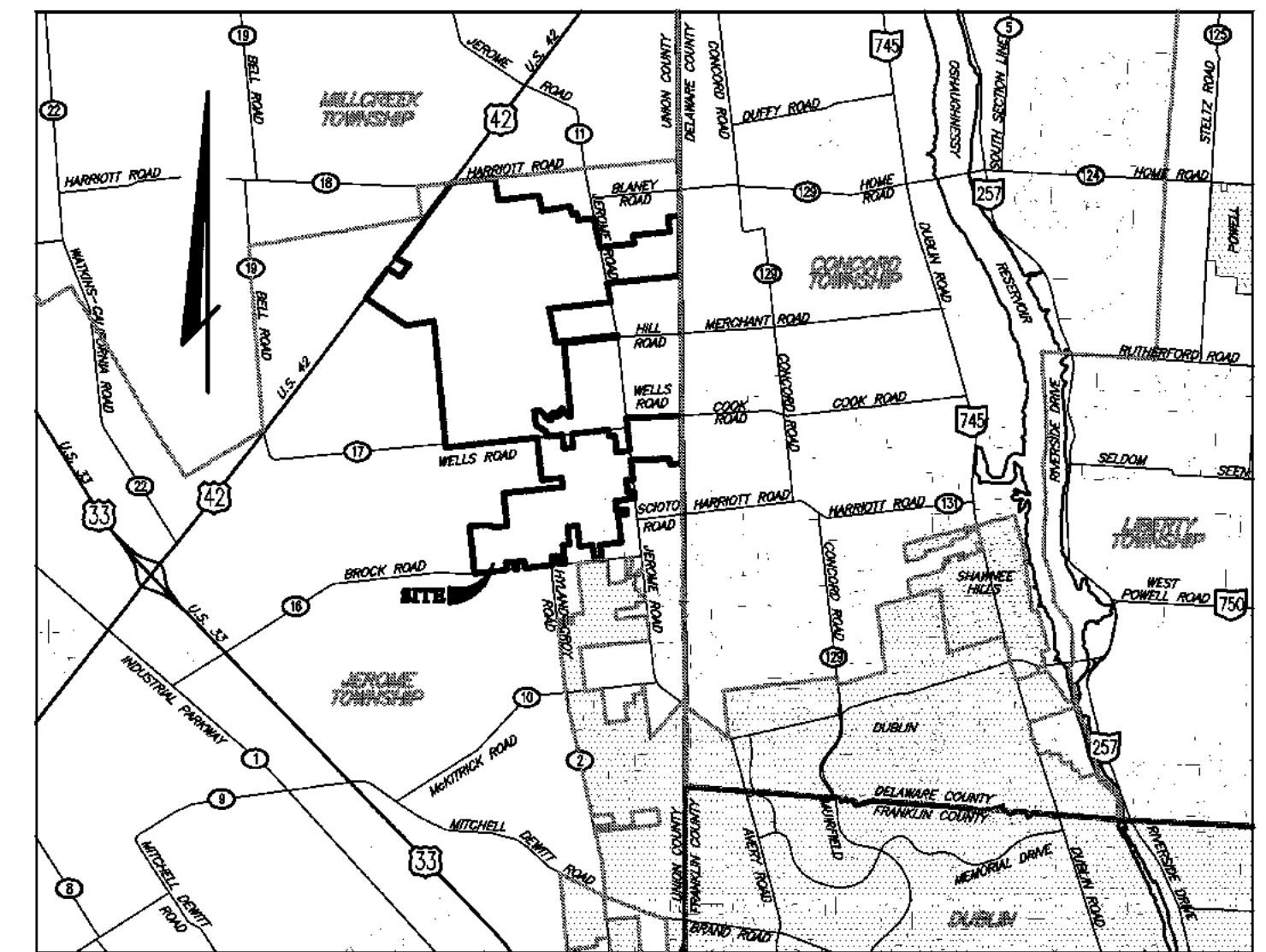


Joanna M. Pinkerton, PE
Project Engineer

xc: Steve Stolte
Jeff Stauch
Randy Loebig
Thom Ries
Bob Scheiderer

UNION COUNTY, OHIO
JEROME TOWNSHIP
PRELIMINARY PLAT
FOR
JEROME VILLAGE
2008

VIRGINIA MILITARY LANDS NOS. 2365, 2990, 2991, 3005, 3244, 5234



LOCATION MAP

SCALE: 1"=5280'

INDEX OF SHEETS

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Eversole Parkway	15-17
Ryan Parkway	18-19
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Erosion & Sedimentation Control Details	21-23
Stormwater Master Plan	24-27

OWNER/DEVELOPER

JEROME VILLAGE

Where life is in balance.

Jerome Village Company, LLC
720 E. Broad Street
Suite 200
Columbus, OH 43215
Ph:(614)242-4000
Fax:(614)242-4001

CONSULTING ENGINEER



Terrain Evolution, Inc.
720 E. Broad Street
Suite 203
Columbus, OH 43215
Ph:(614)242-4000
Fax:(614)242-4001

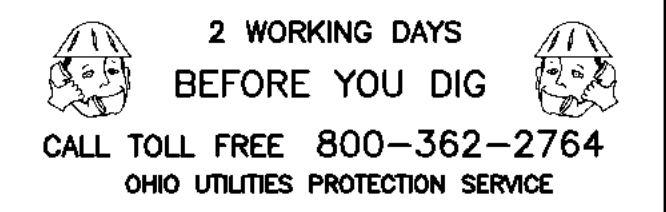
SURVEYOR

Benchmark Surveying & Mapping Company
70 South Liberty Road
Suite 102
Powell, OH 43065
Ph:(614)880-1201
Fax:(614)880-1202

PREPARED BY:



Evans, Mechwart, Hambleton & Tilton, Inc.
Engineers • Surveyors • Planners • Scientists
5500 New Albany Road, Columbus, OH 43054
Phone: 614.775.4500 Fax: 614.775.4800



UTILITY COMPANIES

Sanitary Sewer & Water

City of Marysville
Public Service Center
455 North Maple Street
Marysville, OH 43040
Ph:(937)642-0116
Fax:(937)642-0179

Union County Engineer
233 West Sixth Street
Marysville, OH 43040
Ph:(937)645-3018
Fax:(937)645-3161

Electric

Union Rural Electric
15461 U.S. Route 36E
P.O. Box 393
Marysville, OH 43040
Ph:(937)642-1826
Fax:(937)644-4239

Ohio Edison
1040 South Prospect Street
Marion, OH 43302
Ph:(800)633-4766
Fax:(740)382-7108

Gas

Clearfield Ohio Holdings Inc.
6724 Perimeter Loop Drive-Box 180
Dublin, OH 43017
Ph:(614)889-5904
Fax:(614)792-0469

Columbia Gas
920 W. Goodale Boulevard
Columbus, OH 43212
Ph:(614)460-2172
Fax:(614)989-1207

Telephone/Cable/Internet

Verizon
550 Leader Street
Marion, OH 43302
Ph:(740)383-0729
Fax:(937)382-1910

Time Warner Cable
P.O. Box 2553
Columbus, OH 43216
Ph:(614)481-5263
Fax:(614)255-6428

PROJECT SUMMARY

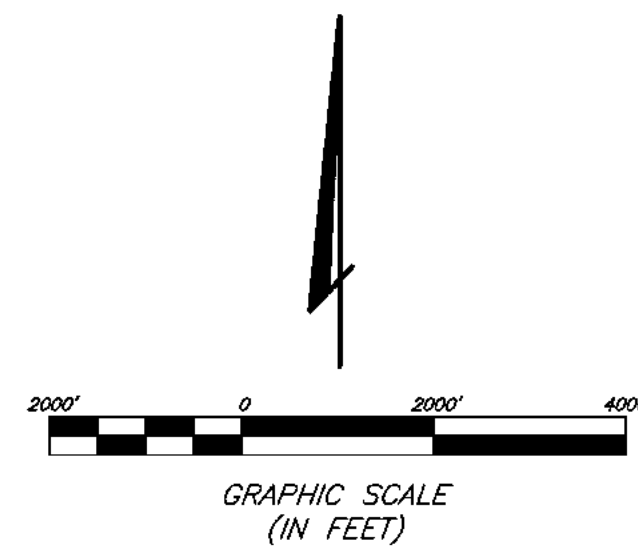
Project Area: 1394.7±Ac. (Total)
1385.0± Union County
9.7± Delaware County (Deed Restricted to Open Space)
Existing Zoning: U-1 (Rural District)
Proposed Zoning: PUD (Planned Unit Development)

NEIGHBORHOOD SUMMARY

Jerome Commercial Center 141.6± Gross Ac. 1,046,600 S.F.
Jerome Town Center 42.4± Gross Ac. 412,600 S.F. (75 Units)
Village Neighborhood 327.7± Gross Ac. 1521 # Units
Elementary School/Civic 30.3± Gross Ac.
Eversole Run Neighborhood 269.4± Gross Ac. 424 # Units
Glacier Park Neighborhood 235.0± Gross Ac. 514 # Units
Middle & Elementary School 39.8± Gross Ac.
Prop. Right-of-Way
(Home Road Ext., Hyland-Croy Ext., 69.0± Ac.
Eversole Parkway, Ryan Parkway)
Ex. Right-of-Way Dedication 24.5± Ac.

OPEN SPACE SUMMARY

Public Open Space 251.9± Ac.
Development Data Table Open Space 306.6± Ac.
Total Open Space 558.5± Ac.
Percent Open Space 40.0%±



NOTES

- Note A: All of Jerome Village is in the Flood Hazard Zone X (Areas outside the 500-year flood plain) on the Federal Emergency Management Agency Flood Insurance Rate Maps, Map Number 390808 0150 B, effective date September 27, 1991.
- Note B: Be advised; a subsurface drainage system may exist on this site. The system and/or outlet if located on this property must be maintained at all times.
- Note C: All storm water drainage including flood routing, open ditches and basins which accept public storm water, will be a part of the Union County Ditch Maintenance Program. Each Subarea will file a separate Ditch Maintenance Petition.
- Note D: All log jams, etc. shall be removed from streams that will be a part of the Union County Ditch Maintenance Program.
- Note E: All easements and setbacks for stream maintenance shall be reviewed by Union County Soil & Water Conservation District for access to said streams prior to acceptance.
- Note F: Wells Road/Jerome Road intersection to be aligned with development of GPN-3 Final Engineering Plans.
- Note G: Existing and proposed trees are allowed within right-of-way if roadway is curbed and posted speed is 35 MPH or less. County Engineer to review on case by case basis for all other conditions.
- Note H: Vegetated swales, including rain gardens & Bio-swales, are to be graded within median of road right-of-way to provide required drainage. Ponding depths within median are not to exceed 8" and are to drain within 36 hours. No permanent pools will be allowed within road right-of-way.
- Note I: Construction drawings of GPN-7 are to include detailed plans of bike path connection to Glacier Ridge Metro Park.
- Note J: Mounding, landscaping, or guardrail may be required between stormwater retention/detention facilities and road right-of-way, if the edge of water is within 100' of the edge of the pavement.

Public Utility Note:

All utilities shown herein are preliminary in nature. Final utility locations and associated easement will be determined by the County Engineer, Developer, and the utility provider(s).

REVISIONS		
MARK	DATE	DESCRIPTION



Evans, Mechwart, Hambleton & Tilton, Inc.
Engineers • Surveyors • Planners • Scientists
5500 New Albany Road, Columbus, OH 43054
Phone: 614.775.4500 Fax: 614.775.4800

M C M X X V I

PREPARED FOR:

JEROME VILLAGE
COMPANY, LLC

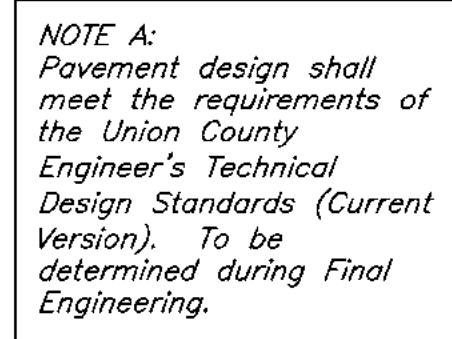
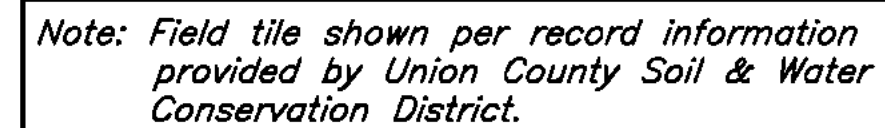
720 E. Broad Street, Suite 200
Columbus, Ohio 43215

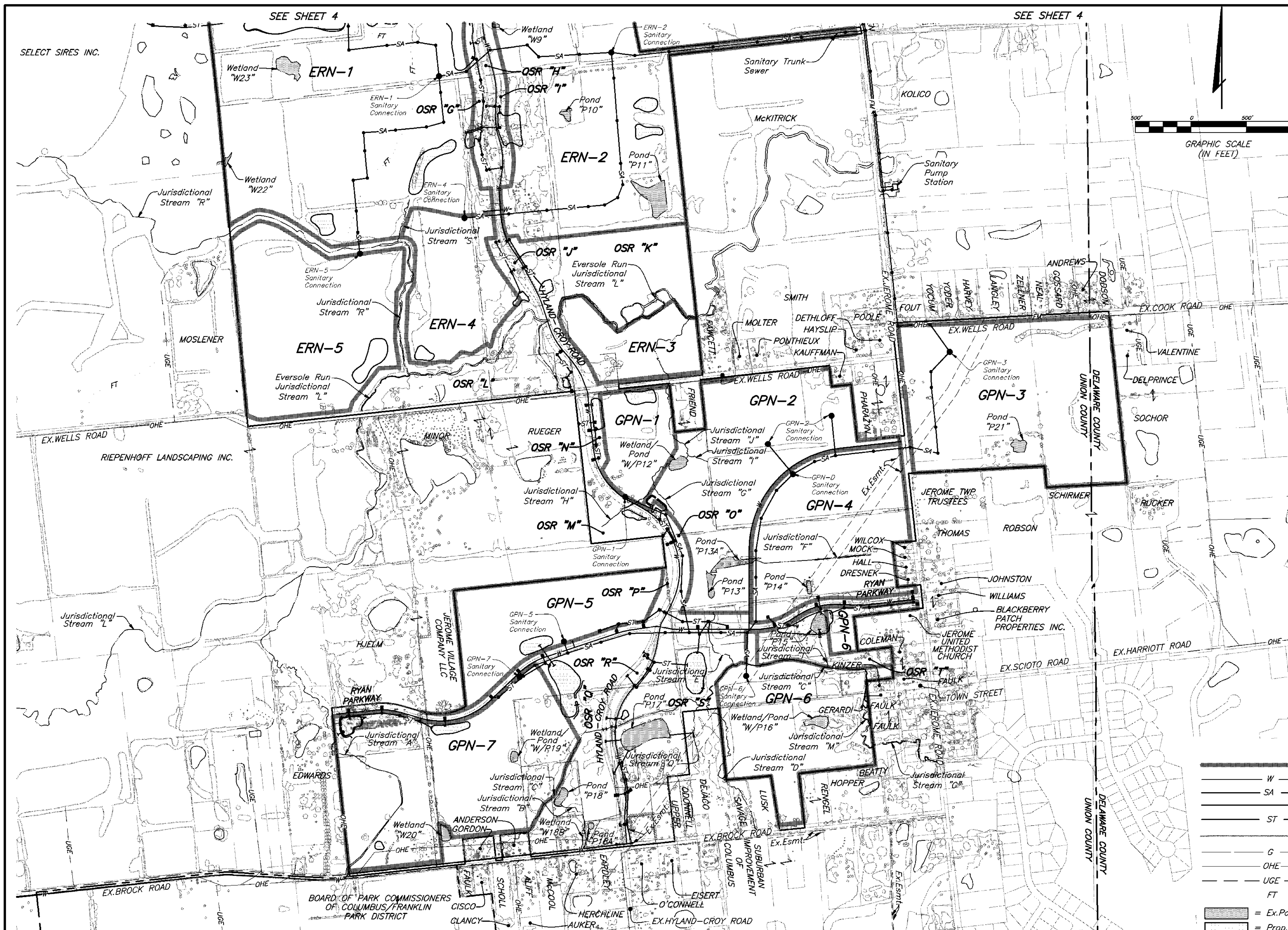
JEROME VILLAGE

COUNTY OF UNION, OHIO
PRELIMINARY PLAT

FOR
JEROME VILLAGE
FACE SHEET

Date	Job No.
January 3, 2008	2006-1643
Scale	Sheet
As Noted	1/27





Existing Roadway Data Table				
Road Name	R/W Width (Ft.)	PVMT Width (Ft.)	Ultimate R/W Width (Ft.)	Ultimate PVMT Width (Ft.)
U.S. 42	60	22.5	100	36
Brock Road	60	23	100	36
Wells Road	60	19	100	24
Jerome Road	60	21	100	36
Harriott Road	50	17	100	24

Public Spaces Data Table				
Sub-area of Reserve	Use	Site Acreage (Ac.)	Open Space Provided (Ac.)	
VN-6	Elementary School/Civic	30.3	24.3	
GPN-4	Middle & Elementary School	39.8	19.9	
OSR "A"	Open Space Reserve	22.1	22.1	
OSR "B"	Open Space Reserve	13.0	13.0	
OSR "C"	Open Space Median	0.7	0.7	
OSR "D"	Open Space Reserve	18.4	18.4	
OSR "E"	Open Space Reserve	16.7	16.7	
OSR "F"	Open Space Median	0.6	0.6	
OSR "G"	Open Space Reserve	3.7	3.7	
OSR "H"	Open Space Median	2.1	2.1	
OSR "I"	Open Space Reserve	3.7	3.7	
OSR "J"	Open Space Median	0.5	0.5	
OSR "K"	Open Space Reserve	25.9	25.9	
OSR "L"	Open Space Reserve	27.1	27.1	
OSR "M"	Open Space Reserve	6.0	6.0	
OSR "N"	Open Space Reserve	1.3	1.3	
OSR "O"	Open Space Reserve	3.8	3.8	
OSR "P"	Open Space Reserve	1.4	1.4	
OSR "Q"	Open Space Reserve	25.0	25.0	
OSR "R"	Open Space Median	2.1	2.1	
OSR "S"	Open Space Reserve	25.9	25.9	
OSR "T"	Open Space Reserve	7.7	7.7	
Totals		277.8	251.9	

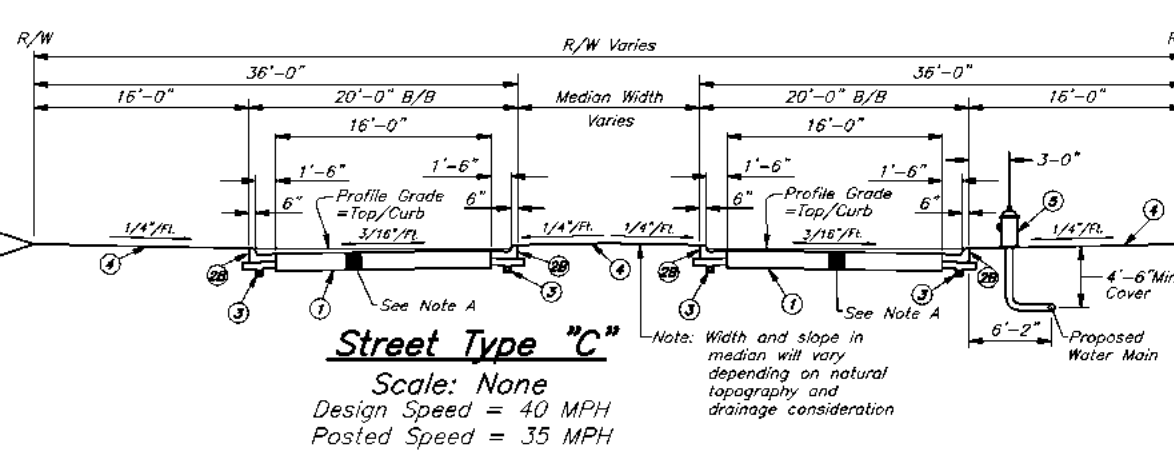
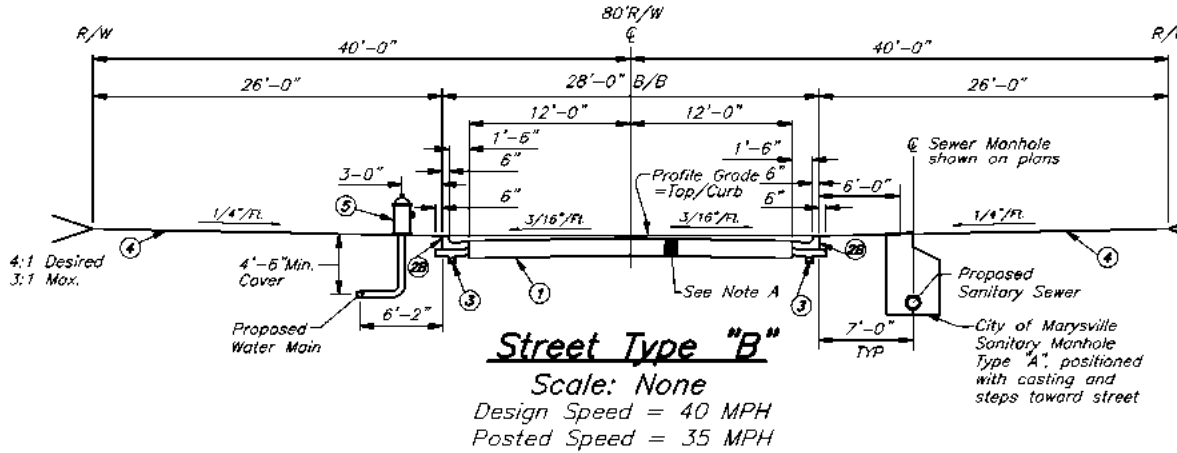
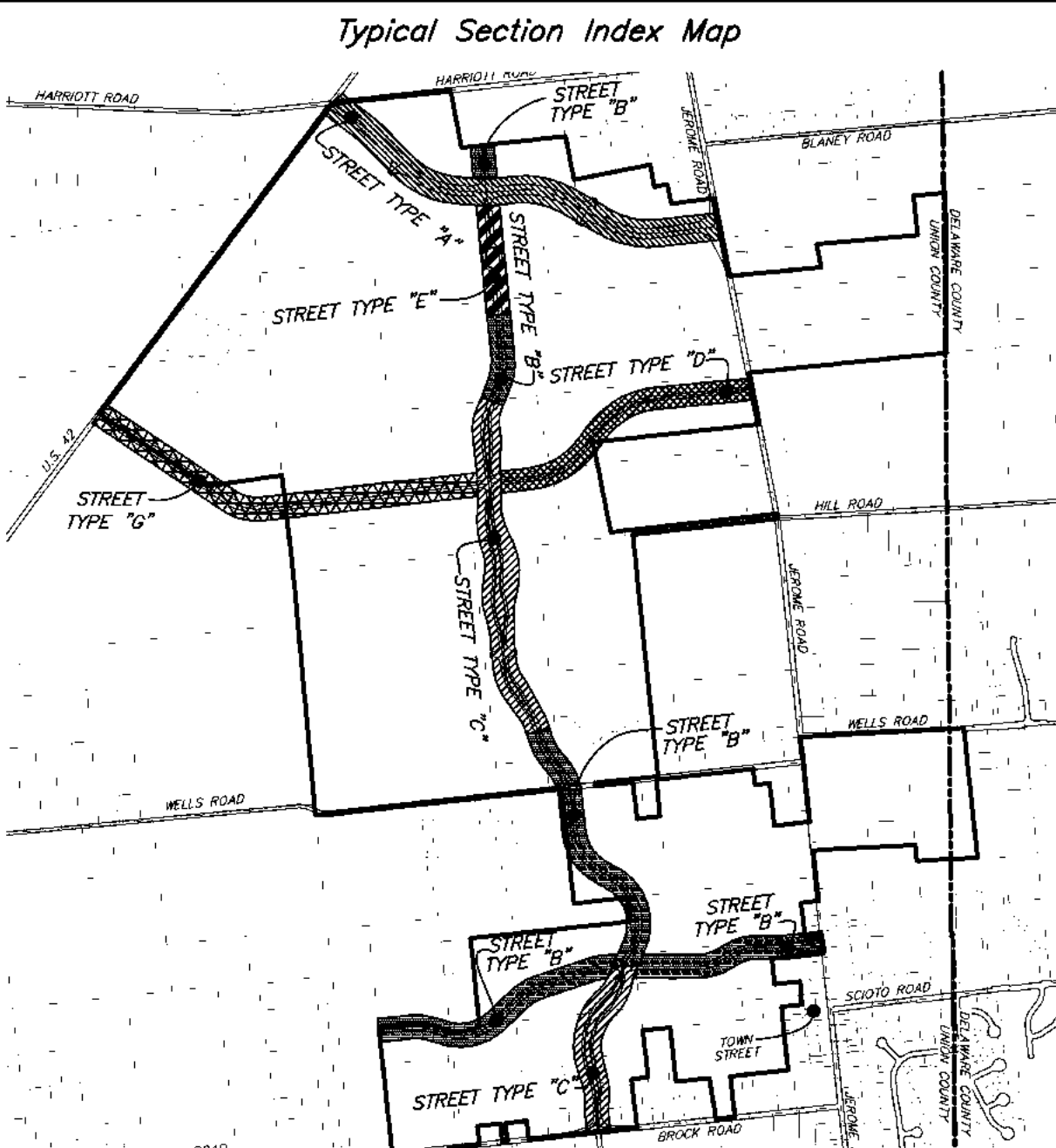
Development Data Table					
Sub Area	Use	Site Acreage (Ac.)	Min. Lot Width at B/L (Ft.)	Maximum Units or Sq.Ft.	Open Space Provided (Ac.)
CC-1	Office/Commercial	66.6	—	543,000 SF	18.9
CC-2	Commercial	75.0	—	509,000 SF	13.6
TC-1	Civic/Office/Retail (Residential over Commercial)	42.4	—	412,600 SF (75 Units)	6.2
VN-1	Attached Residential	31.2	—	208 Units	8.2
VN-2	Single Family	53.4	50	173 Units	11.0
VN-3	Single Family	35.1	50	140 Units	5.4
VN-4	Single Family	92.5	50	270 Units	30.4
*VN-5	Single Family	*76.0	60	220 Units	*22.9
VN-7	Attached Residential	16.7	—	88 Units	2.9
VN-8	Attached Residential/Congregate Care	23.0	—	172 Units/250 Units	6.3
ERN-1	Single Family	102.8	80	163 Units	37.3
ERN-2	Single Family	79.9	80	162 Units	25.0
ERN-3	Single Family	15.0	150	5 Units	10.3
ERN-4	Single Family	23.9	150	14 Units	10.8
ERN-5	Single Family	47.8	80	80 Units	17.4
GPN-1	Single Family	12.4	90	16 Units	3.7
GPN-2	Single Family	48.7	80	99 Units	14.3
*GPN-3	Single Family	*51.7	80	95 Units	23.0
GPN-5	Attached Residential	27.2	—	116 Units	6.1
GPN-6	Single Family	37.1	60	68 Units	13.4
GPN-7	Single Family	57.9	70	120 Units	21.5
Total	—	1016.2	—	2534 Units 1,464,800 S.F.	306.6

See Access Management Plan Sheets 6 & 7.

Note: Field tile shown per record information provided by Union County Soil & Water Conservation District.

LEGEND

W	Sub Area
SA	Water Main
FM	Sanitary Sewer
ST	Sanitary Force Main
	Storm Sewer
G	Ex.Tree Row
OHE	Ex.Gas
UGE	Ex.Overhead Electric
FT	Ex.Underground Electric
	Ex.Field Tile
	= Ex.Pond/Wetland
	= Prop.Pond/Stormwater Management



NOTE A: Pavement design shall meet the requirements of the Union County Engineer's Technical Design Standards (Current Version). To be determined during Final Engineering.

- Item 203, Subgrade
- Item 609, ODOT Type 2 Curb
- 12" Tilt Out Curb
- Item 609, Standard Concrete Curb and Gutter
- Item 605, 4" Pipe Underdrain w/No.8 or No.57 Stone
- Item 659, Seeding & Mulching
- Item 809, City of Marysville Fire Hyd. Assembly Type 1

REVISIONS		
MARK	DATE	DESCRIPTION

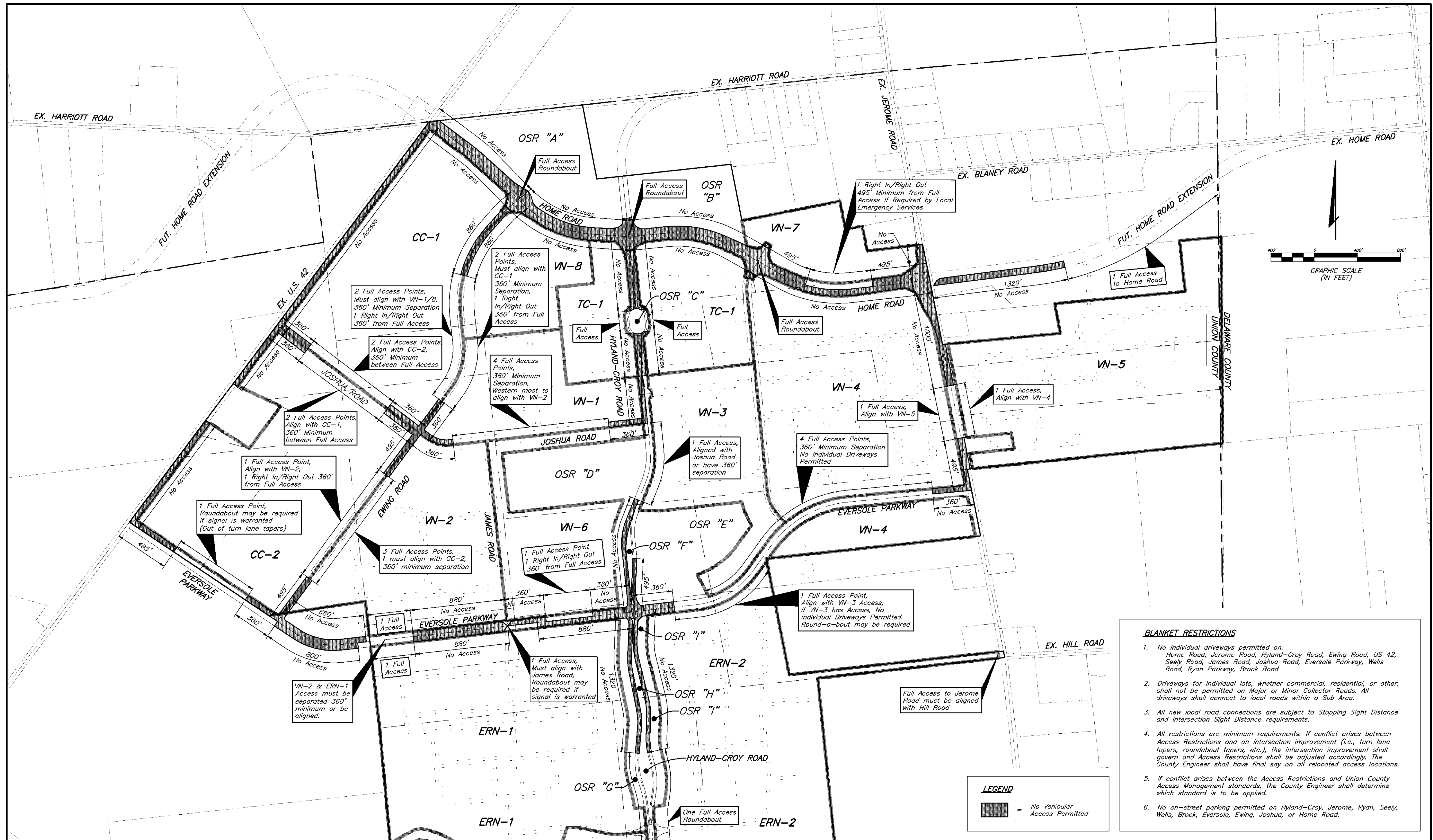
EMHT
Evans, Mechwart, Hambleton & Tilton, Inc.
Engineers • Surveyors • Planners • Scientists
5500 New Albany Road, Columbus, OH 43204
Phone: 614.775.4500 Fax: 614.775.4800

PREPARED FOR:
JEROME VILLAGE COMPANY, LLC
730 E. Broad Street, Suite 200
Columbus, Ohio 43215

JEROME VILLAGE

COUNTY OF UNION, OHIO
PRELIMINARY PLAT
FOR
JEROME VILLAGE
UTILITY INDEX MAP AND TYPICAL SECTIONS


Date	Job No.
January 3, 2008	2006-1643
Scale	Sheet
1"=500'	5/27



BLANKET RESTRICTIONS

1. No individual driveways permitted on:
Home Road, Jerome Road, Hyland-Croy Road, Ewing Road, US 42, Seely Road, James Road, Joshua Road, Eversole Parkway, Wells Road, Ryan Parkway, Brock Road
2. Driveways for individual lots, whether commercial, residential, or other, shall not be permitted on Major or Minor Collector Roads. All driveways shall connect to local roads within a Sub Area.
3. All new local road connections are subject to Stopping Sight Distance and Intersection Sight Distance requirements.
4. All restrictions are minimum requirements. If conflict arises between Access Restrictions and an intersection improvement (i.e., turn lane tapers, roundabout tapers, etc.), the intersection improvement shall govern and Access Restrictions shall be adjusted accordingly. The County Engineer shall have final say on all relocated access locations.
5. If conflict arises between the Access Restrictions and Union County Access Management standards, the County Engineer shall determine which standard is to be applied.
6. No on-street parking permitted on Hyland-Croy, Jerome, Ryan, Seely, Wells, Brack, Eversole, Ewing, Joshua, or Home Road.

LEGEND

 = No Vehicular Access Permitted

REVISIONS		
MARK	DATE	DESCRIPTION

EMH&T

Evans, Mechwart, Hamilton & Tilton, Inc.
Engineers • Surveyors • Planners • Scientists
5500 New Albany Road, Columbus, OH 43205
Phone: 614.775.4900 Fax: 614.775.4800

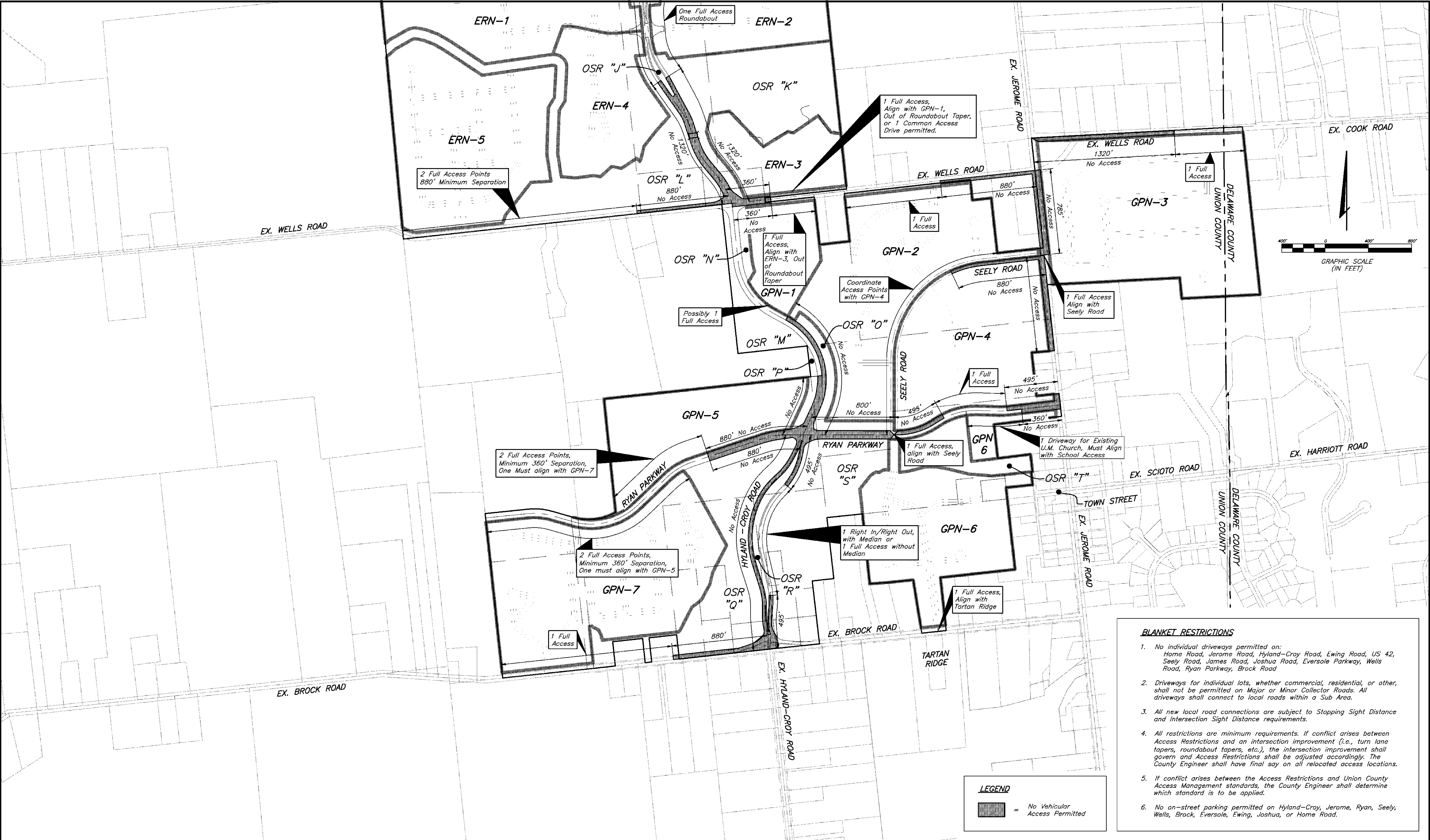
PREPARED FOR:

JEROME VILLAGE COMPANY, LLC
720 E. Broad Street, Suite 200
Columbus, Ohio 43215

JEROME VILLAGE

COUNTY OF UNION, OHIO
PRELIMINARY PLAT
FOR
JEROME VILLAGE
ACCESS MANAGEMENT PLAN

Date	Job No.
January 3, 2008	2006-1643
Scale	Sheet
1"=400'	6/27



- BLANKET RESTRICTIONS**
- No individual driveways permitted on:
Home Road, Jerome Road, Hyland-Croy Road, Ewing Road, US 42, Seely Road, James Road, Joshua Road, Eversole Parkway, Wells Road, Ryan Parkway, Brock Road
 - Driveways for individual lots, whether commercial, residential, or other, shall not be permitted on Major or Minor Collector Roads. All driveways shall connect to local roads within a Sub Area.
 - All new local road connections are subject to Stopping Sight Distance and Intersection Sight Distance requirements.
 - All restrictions are minimum requirements. If conflict arises between Access Restrictions and an intersection improvement (i.e., turn lane tapers, roundabout tapers, etc.), the intersection improvement shall govern and Access Restrictions shall be adjusted accordingly. The County Engineer shall have final say on all relocated access locations.
 - If conflict arises between the Access Restrictions and Union County Access Management standards, the County Engineer shall determine which standard is to be applied.
 - No on-street parking permitted on Hyland-Croy, Jerome, Ryan, Seely, Wells, Brock, Eversole, Ewing, Joshua, or Home Road.

REVISIONS		
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EMH&T
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Engineers • Surveyors • Planners • Scientists
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W C M X X V

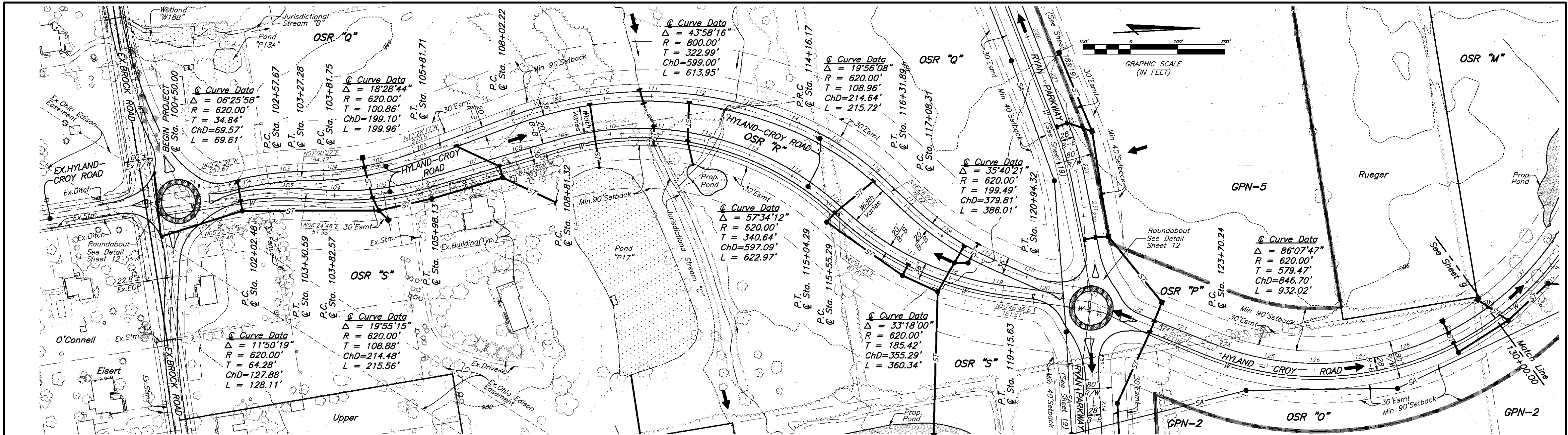
PREPARED FOR:

**JEROME VILLAGE
COMPANY, LLC**
720 E. Broad Street, Suite 200
Columbus, Ohio 43215

JEROME VILLAGE

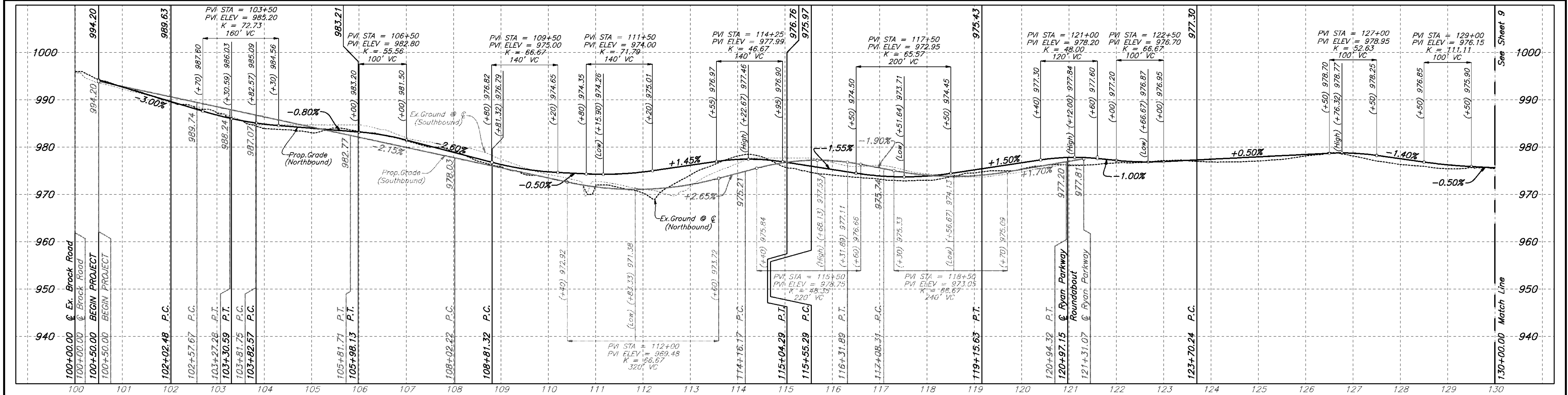
COUNTY OF UNION, OHIO
PRELIMINARY PLAT
FOR
JEROME VILLAGE
ACCESS MANAGEMENT PLAN

Date	Job No.
January 3, 2008	2006-1643
Scale	Sheet
1"=400'	7/27

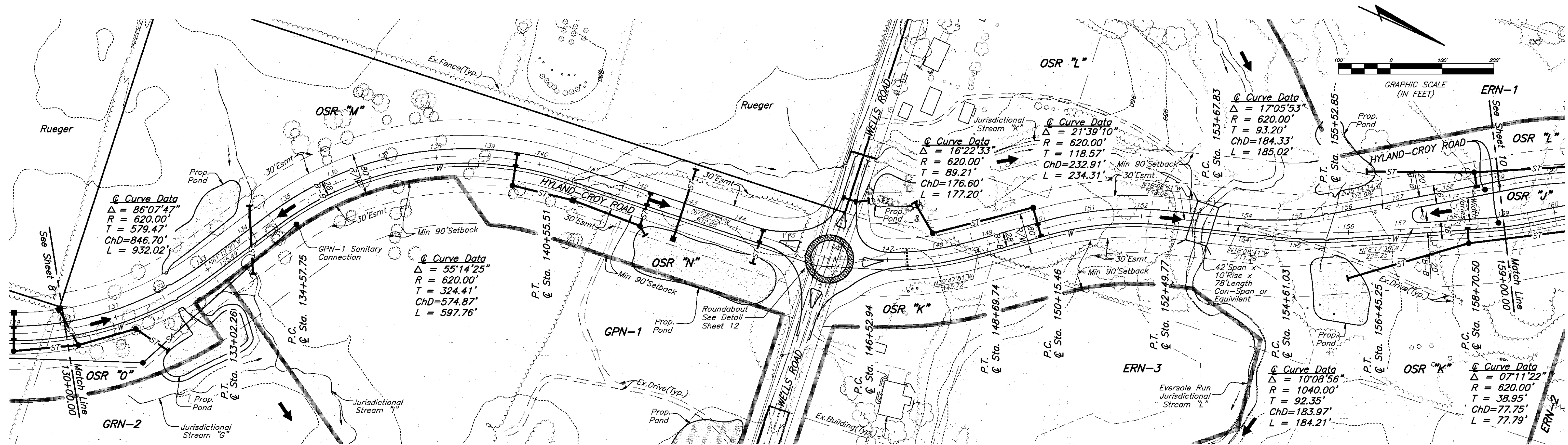


Public Utility Note:
All utilities shown herein are preliminary in nature. Final utility locations and associated easement will be determined by the County Engineer, Developer, and the utility provider(s).

LEGEND	
W	Sub Area Boundary
SA	Water Main
FM	Sanitary Sewer
ST	Sanitary Force Main
	Storm Sewer
	Bike Path
	Ex. Pond/Wetland
	Prop. Pond/Stormwater Mangement

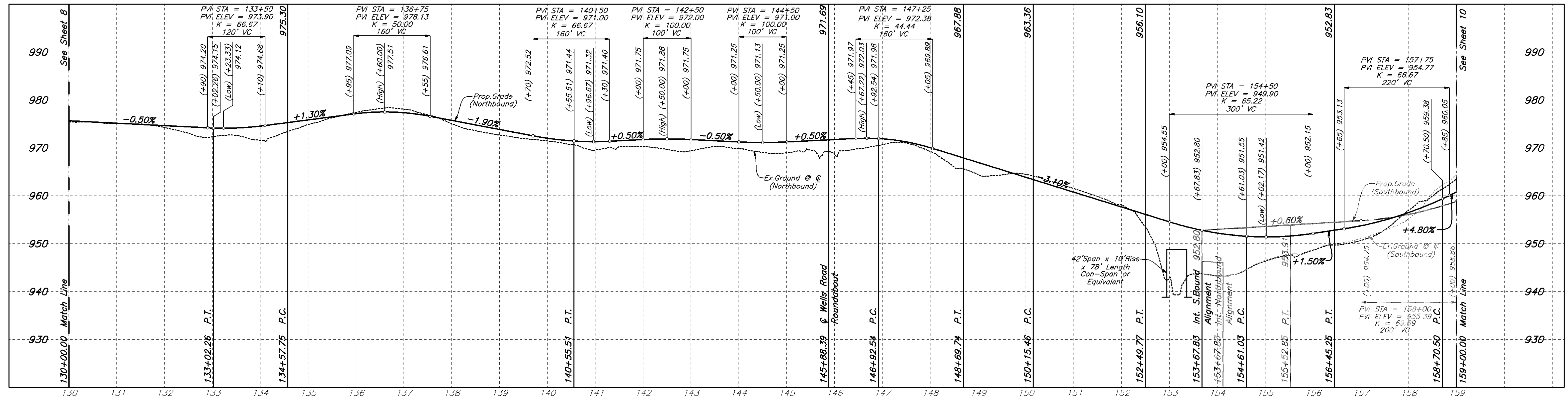


REVISIONS			PREPARED FOR:		COUNTY OF UNION, OHIO		Date	Job No.
MARK	DATE	DESCRIPTION	JEROME VILLAGE COMPANY, LLC		PRELIMINARY PLAT		January 3, 2008	2006-1643
			720 E. Broad Street, Suite 200		FOR		Scale	Sheet
			Columbus, Ohio 43215		JEROME VILLAGE		Horiz: 1"=100'	8/27
					HYLAND-CROY EXTENSION		Vert: 1"=10'	

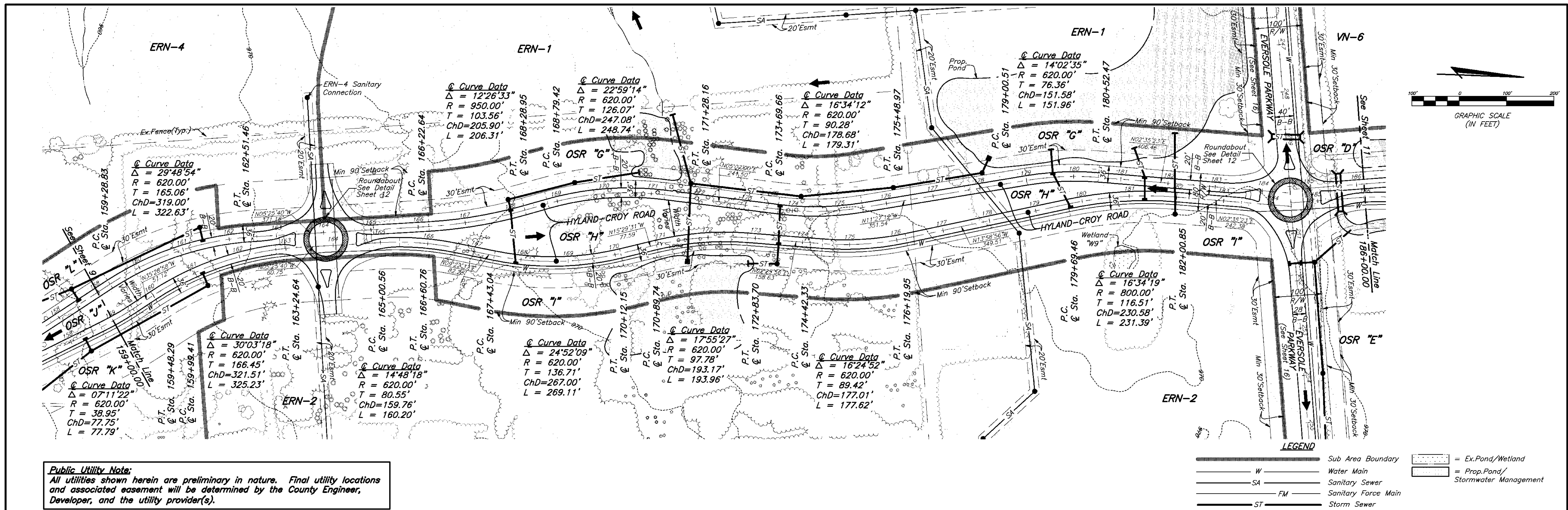


Public Utility Note:
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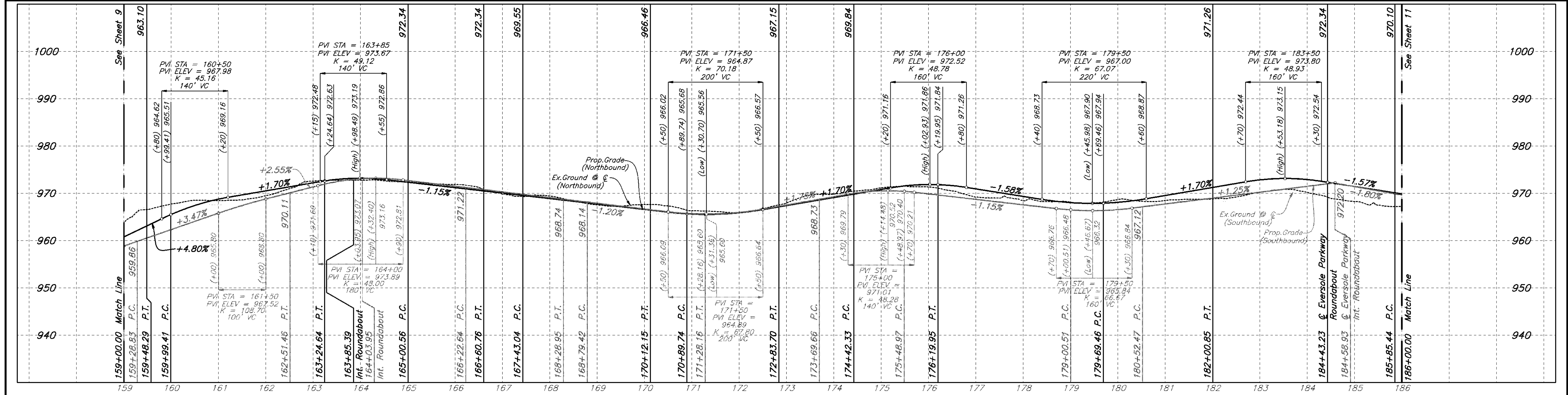
LEGEND	
	Sub Area Boundary
	Water Main
	Sanitary Sewer
	Sanitary Force Main
	Storm Sewer
	Bike Path
	Ex. Pond/Wetland
	Prop. Pond/Stormwater Management



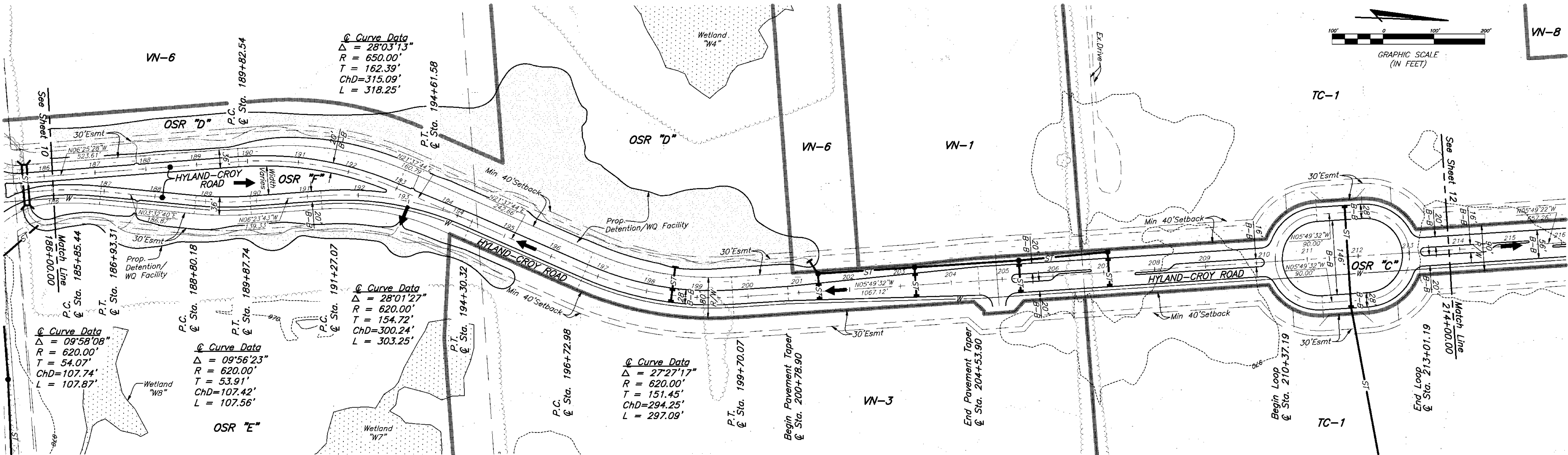
REVISIONS			EMHT		PREPARED FOR:		JEROME VILLAGE COMPANY, LLC		JEROME VILLAGE		COUNTY OF UNION, OHIO		Date		Job No.	
MARK	DATE	DESCRIPTION	Evans, Mechwart, Hambleton & Tilton, Inc. Engineers • Surveyors • Planners • Scientists 5500 New Albany Road, Columbus, OH 43254 Phone: 614.775.4300 Fax: 614.775.4800		720 E. Broad Street, Suite 200 Columbus, Ohio 43215		JEROME VILLAGE		PRELIMINARY PLAT		FOR		January 3, 2008		2006-1643	
													Scale		Sheet	
													Horiz: 1"=100'		9/27	
													Vert: 1"=10'			



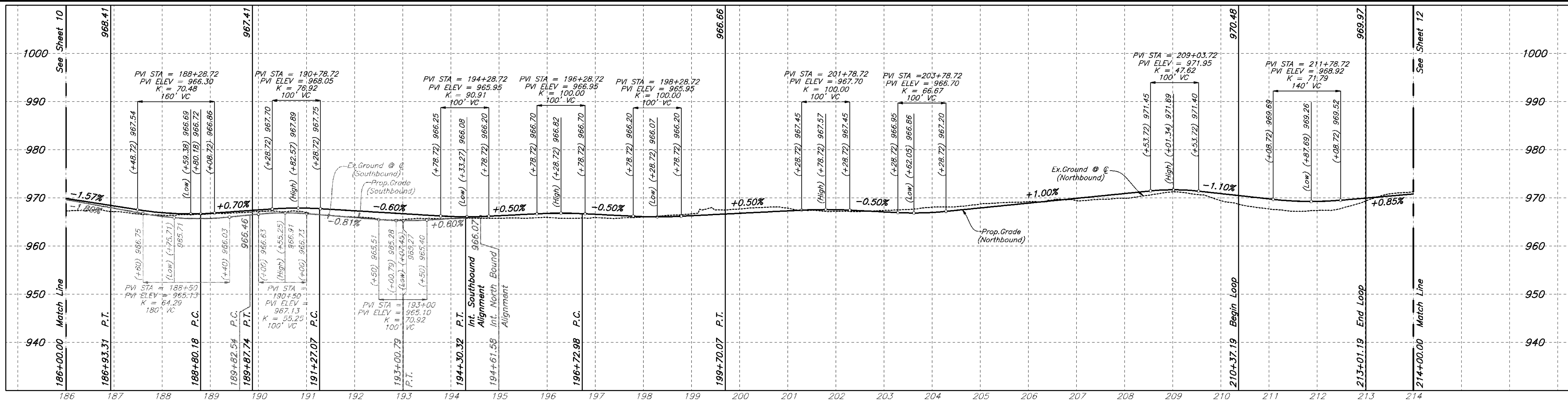
Public Utility Note:
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REVISIONS			EMHT		PREPARED FOR:		JEROME VILLAGE COMPANY, LLC		JEROME VILLAGE		COUNTY OF UNION, OHIO		PRELIMINARY PLAT		FOR		JEROME VILLAGE		HYLAND-CROY EXTENSION		Date		Job No.				
MARK	DATE	DESCRIPTION	Evans, Mechwart, Hamilton & Tilton, Inc. Engineers • Surveyors • Planners • Scientists 5500 New Albany Road, Columbus, OH 43254 Phone: 614.775.4300 Fax: 614.775.4800		720 E. Broad Street, Suite 200 Columbus, Ohio 43215		Jerome Village Company, LLC		Jerome Village		County of Union, Ohio		Preliminary Plat		For		Jerome Village		Hyland-Croy Extension		January 3, 2008		2006-1643				
																						Scale		Sheet		10/27	



LEGEND	
	Sub Area Boundary
	Water Main
	Sanitary Sewer
	Sanitary Force Main
	Storm Sewer
	Bike Path
	Ex. Pond/Wetland
	Prop. Pond/Stormwater Management



REVISIONS		
MARK	DATE	DESCRIPTION



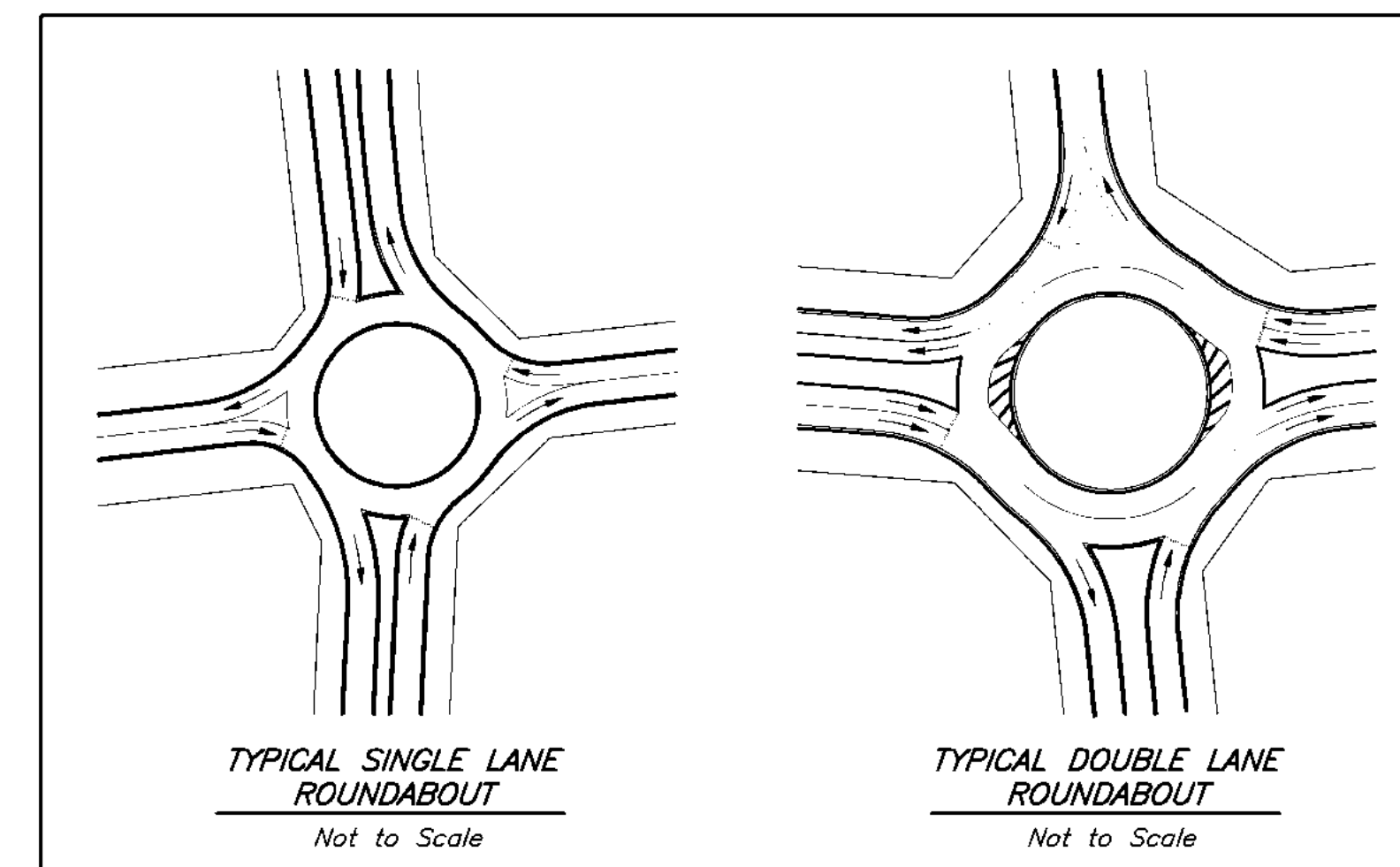
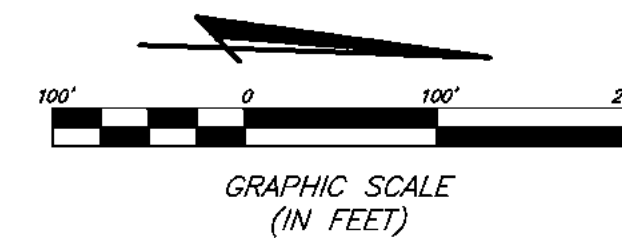
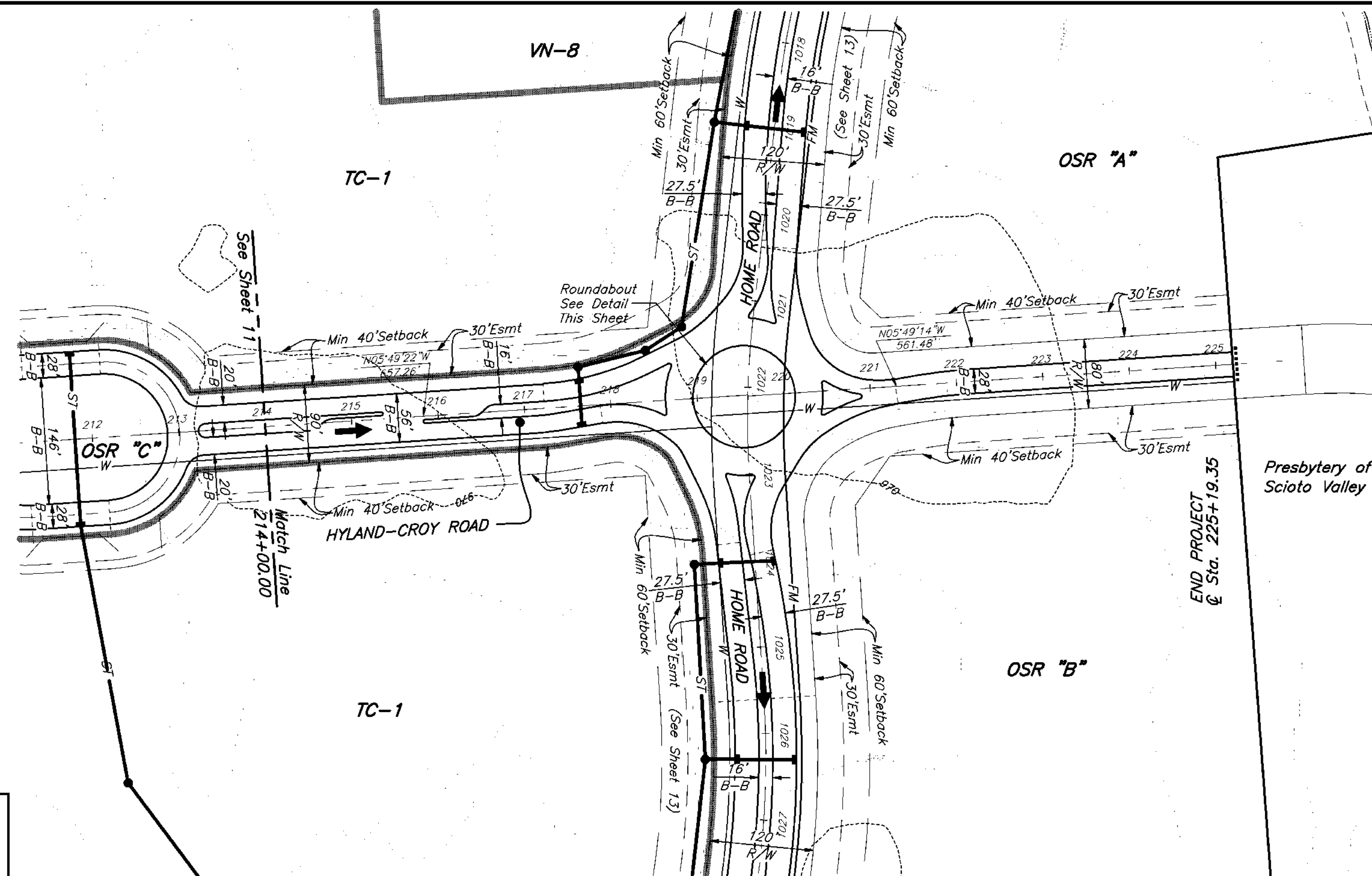
PREPARED FOR:

**JEROME VILLAGE
COMPANY, LLC**
720 E. Broad Street, Suite 200
Columbus, Ohio 43215

JEROME VILLAGE

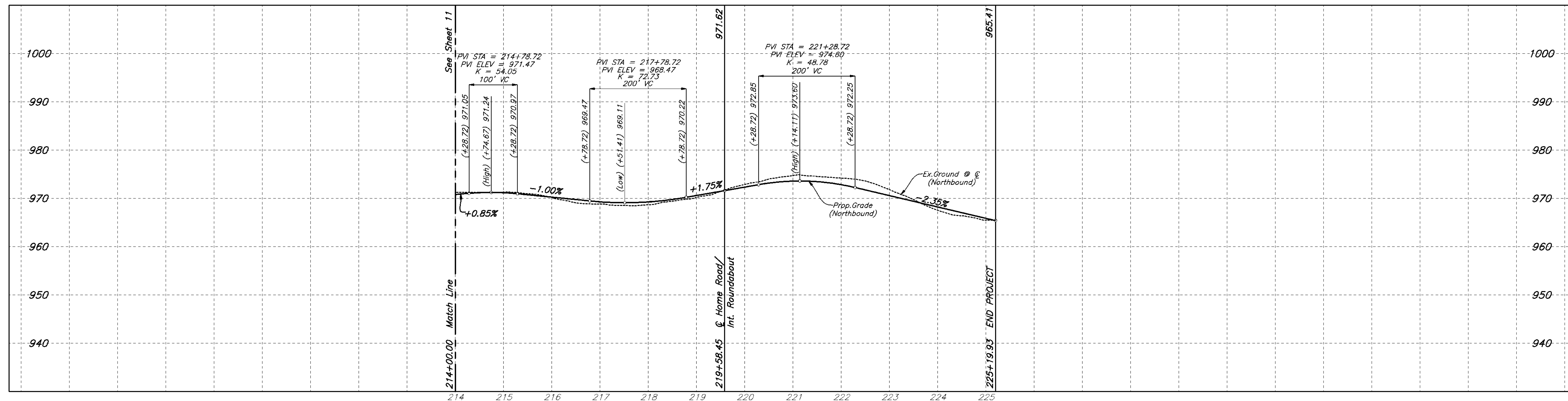
COUNTY OF UNION, OHIO
PRELIMINARY PLAT
FOR
JEROME VILLAGE
HYLAND-CROY EXTENSION

Date	Job No.
January 3, 2008	2006-1643
Scale	Sheet
Horiz: 1"=100' Vert: 1"=10'	11/27



Public Utility Note:
All utilities shown herein are preliminary in nature. Final utility locations and associated easement will be determined by the County Engineer, Developer, and the utility provider(s).

- LEGEND**
- Sub Area Boundary
 - W Water Main
 - SA Sanitary Sewer
 - FM Sanitary Force Main
 - ST Storm Sewer
 - Bike Path
 - Ex. Pond/Wetland
 - Prop. Pond/Stormwater Management



REVISIONS		
MARK	DATE	DESCRIPTION



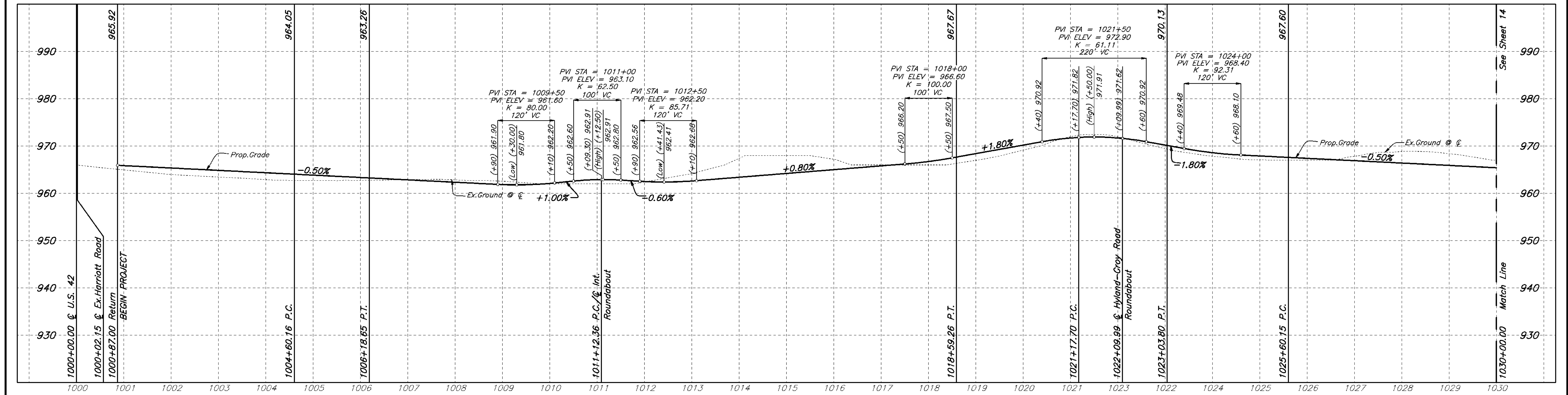
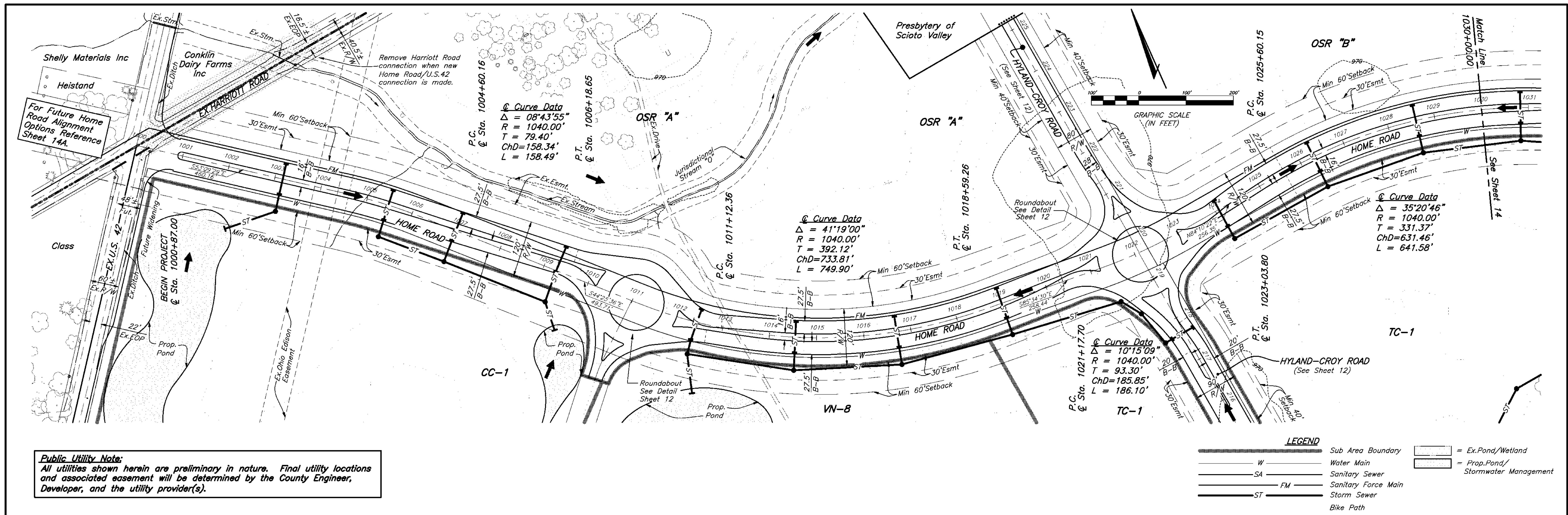
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COMPANY, LLC**
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JEROME VILLAGE

COUNTY OF UNION, OHIO
PRELIMINARY PLAT
FOR
JEROME VILLAGE
HYLAND-CROY EXTENSION

Date	Job No.
January 3, 2008	2006-1643
Scale	Sheet
Horiz: 1"=100' Vert: 1"=10'	12/27



REVISIONS		
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Evans, Mechwart, Hamilton & Tilton, Inc.
Engineers • Surveyors • Planners • Scientists
5500 New Albany Road, Columbus, OH 43204
Phone: 614.775.4900 Fax: 614.775.4900

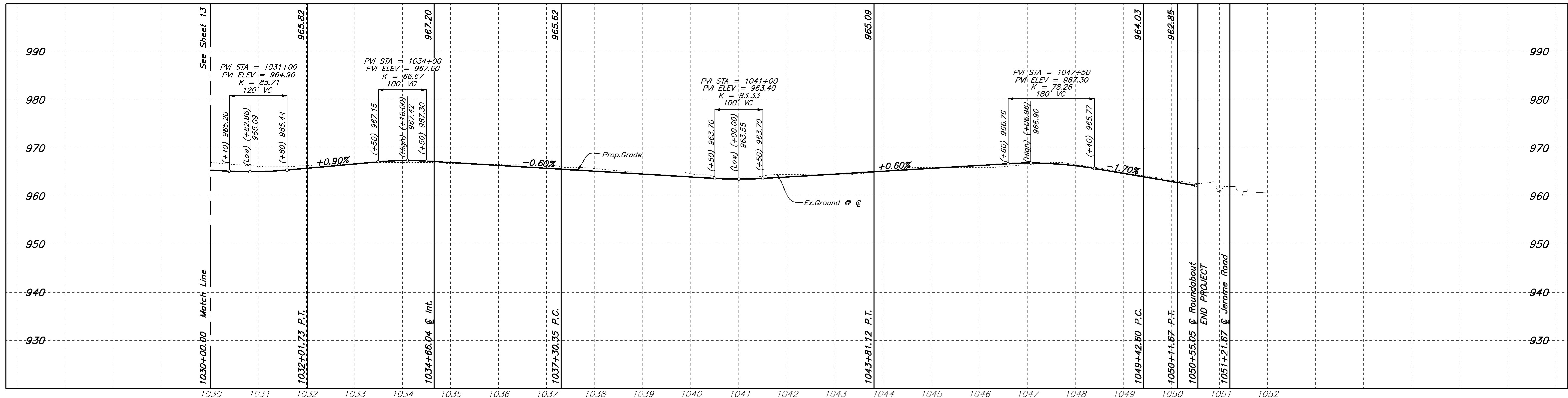
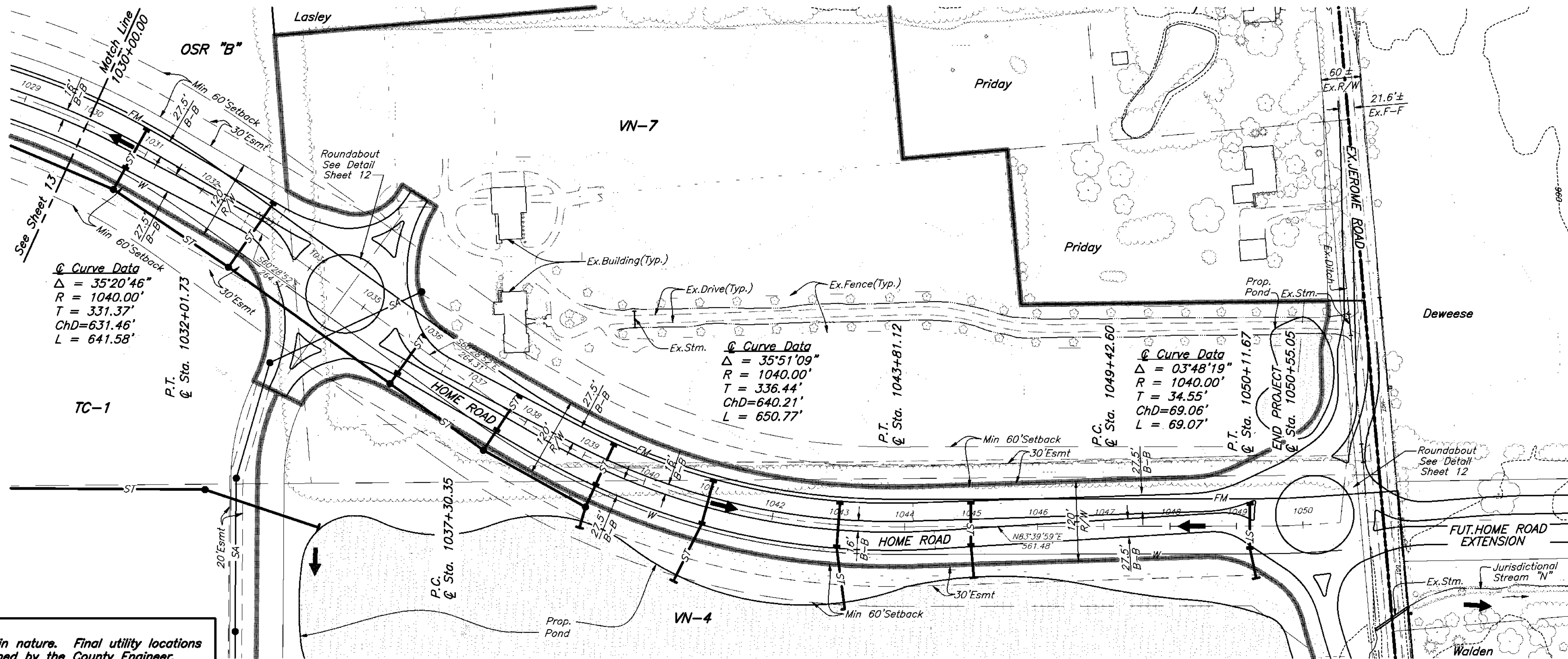
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720 E. Broad Street, Suite 200
Columbus, Ohio 43215

JEROME VILLAGE

COUNTY OF UNION, OHIO
PRELIMINARY PLAT
FOR
JEROME VILLAGE
HOME ROAD

Date January 3, 2008	Job No. 2006-1643
Scale Horiz: 1"=100' Vert: 1"=10'	Sheet 13/27



REVISIONS		
MARK	DATE	DESCRIPTION



PREPARED FOR:

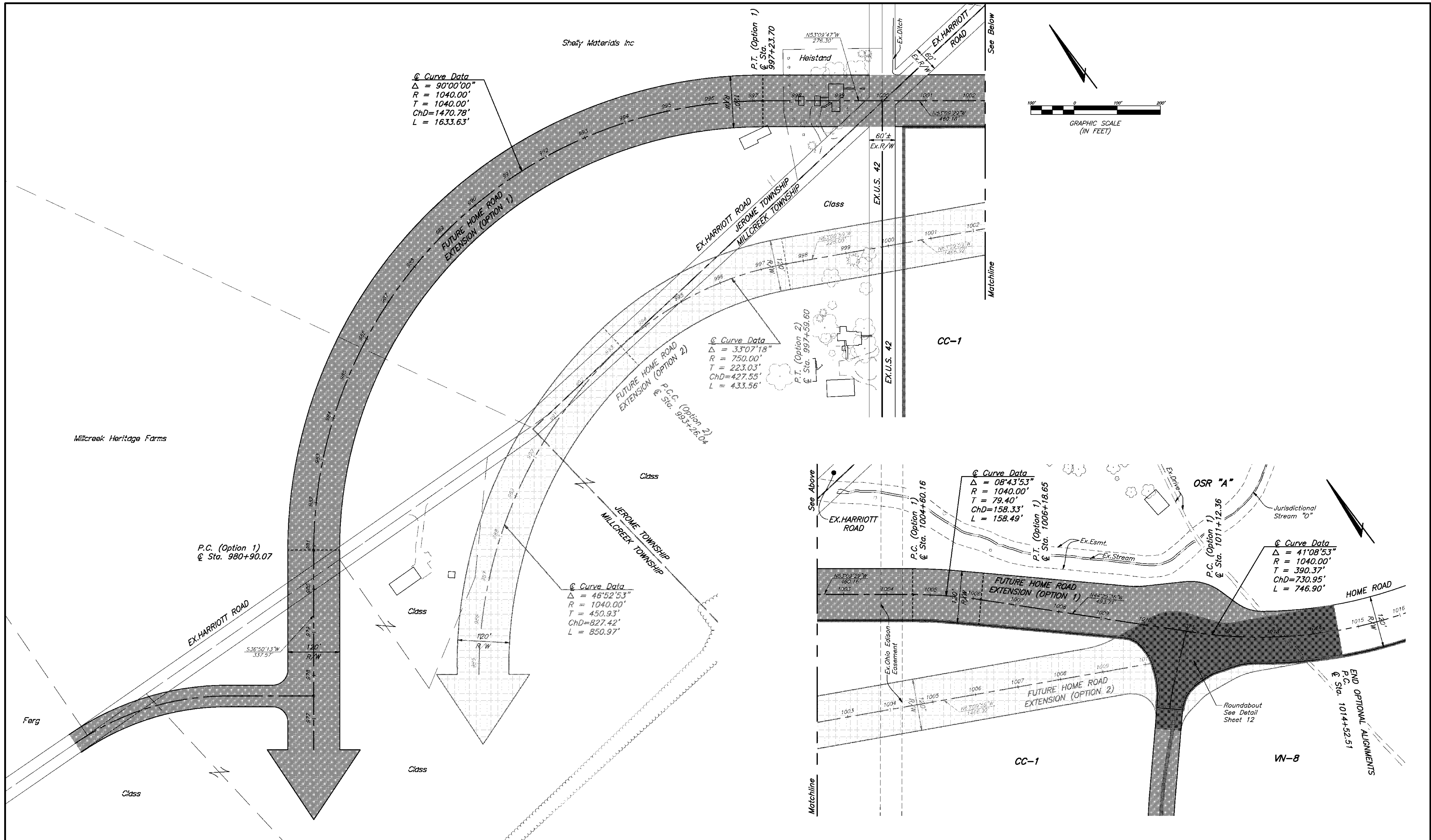
**JEROME VILLAGE
COMPANY, LLC**
 720 E. Broad Street, Suite 200
 Columbus, Ohio 43215

JEROME VILLAGE

COUNTY OF UNION, OHIO
PRELIMINARY PLAT

FOR
JEROME VILLAGE
HOME ROAD

Date	Job No.
January 3, 2008	2008-1643
Scale	Sheet
Horiz: 1"=100' Vert: 1"=10'	14/27



REVISIONS		
MARK	DATE	DESCRIPTION

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Evans, Mechwart, Hamilton & Tilton, Inc.
Engineers • Surveyors • Planners • Scientists
5500 New Albany Road, Columbus, OH 43054
Phone: 614.775.4900 Fax: 614.775.4800

M C M X X V I

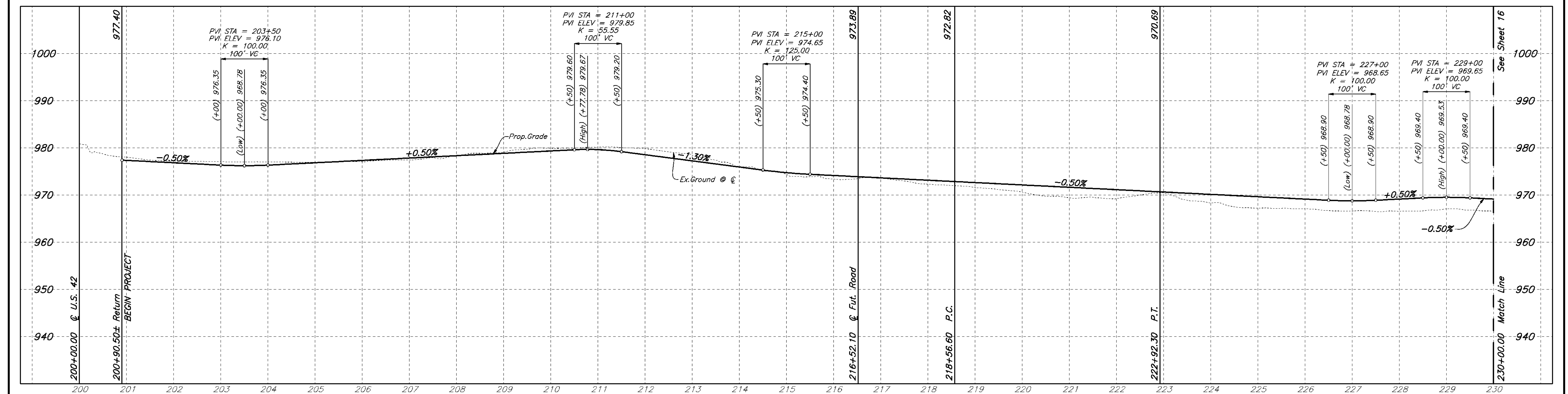
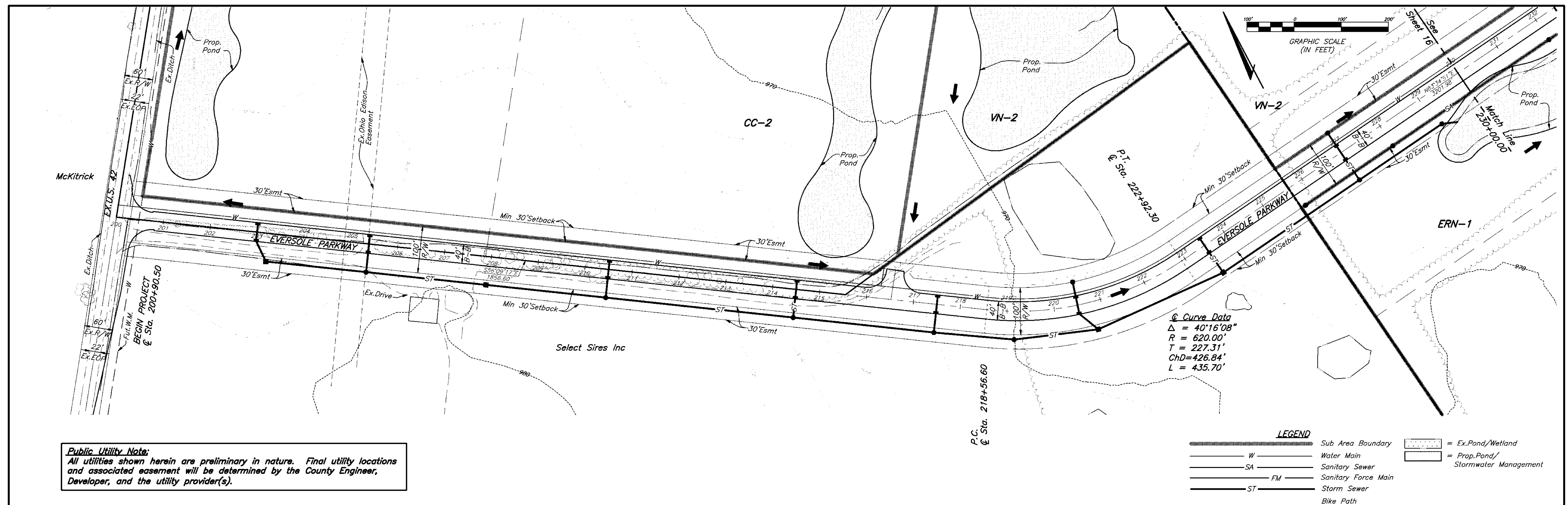
PREPARED FOR:

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720 E. Broad Street, Suite 200
Columbus, Ohio 43215

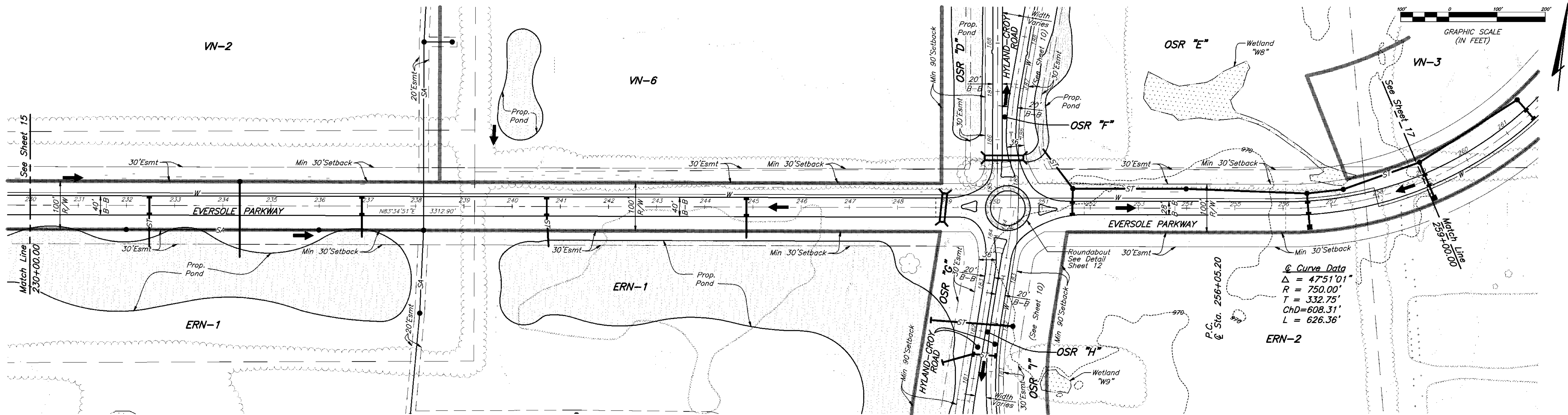
**JEROME VILLAGE**

COUNTY OF UNION, OHIO
PRELIMINARY PLAT
FOR
JEROME VILLAGE
HOME ROAD - OPTIONAL ALIGNMENTS

Date	Job No.
January 3, 2008	2006-1643
Scale	Sheet
Horiz: 1"=100' Vert: 1"=10'	14A/27



REVISIONS			<div><div>EMH&T</div><div>Evans, Mechwart, Hambleton & Tilton, Inc. Engineers • Surveyors • Planners • Scientists 5500 New Albany Road, Columbus, OH 43054 Phone: 614.775.4500 Fax: 614.775.4800</div><div>M C M X X V I</div></div>	PREPARED FOR: <div><div>JEROME VILLAGE COMPANY, LLC</div><div>720 E. Broad Street, Suite 200 Columbus, Ohio 43215</div></div>	<div><div>JEROME VILLAGE</div></div>	COUNTY OF UNION, OHIO PRELIMINARY PLAT FOR <div><div>JEROME VILLAGE</div><div>EVERSOLE PARKWAY</div></div>			Date January 3, 2008	Job No. 2006-1643
MARK	DATE	DESCRIPTION				Scale Horiz: 1"=100' Vert: 1"=10'	Sheet: 15/27			



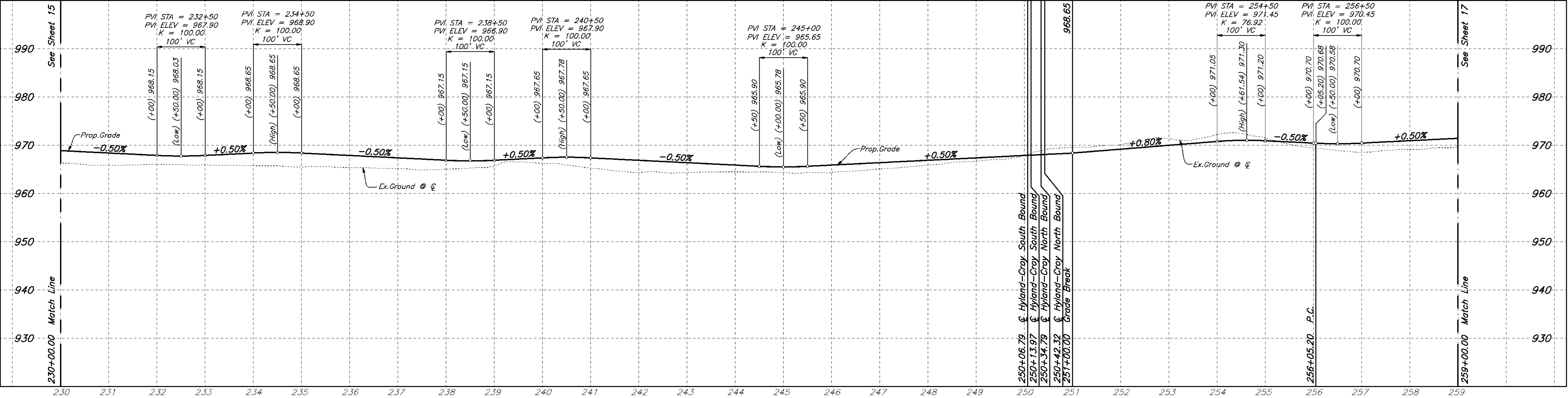
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ERN-2

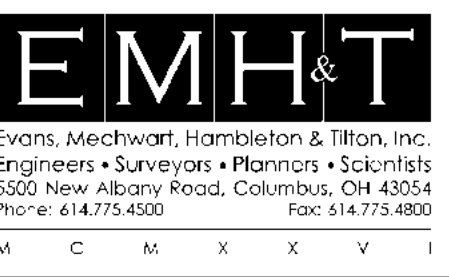
LEGEND

- Sub Area Boundary
- Water Main
- Sanitary Sewer
- Sanitary Force Main
- Storm Sewer
- Bike Path
- Ex. Pond/Wetland
- Prop. Pond/Stormwater Management

Public Utility Note:
 All utilities shown herein are preliminary in nature. Final utility locations and associated easement will be determined by the County Engineer, Developer, and the utility provider(s).



REVISIONS		
MARK	DATE	DESCRIPTION



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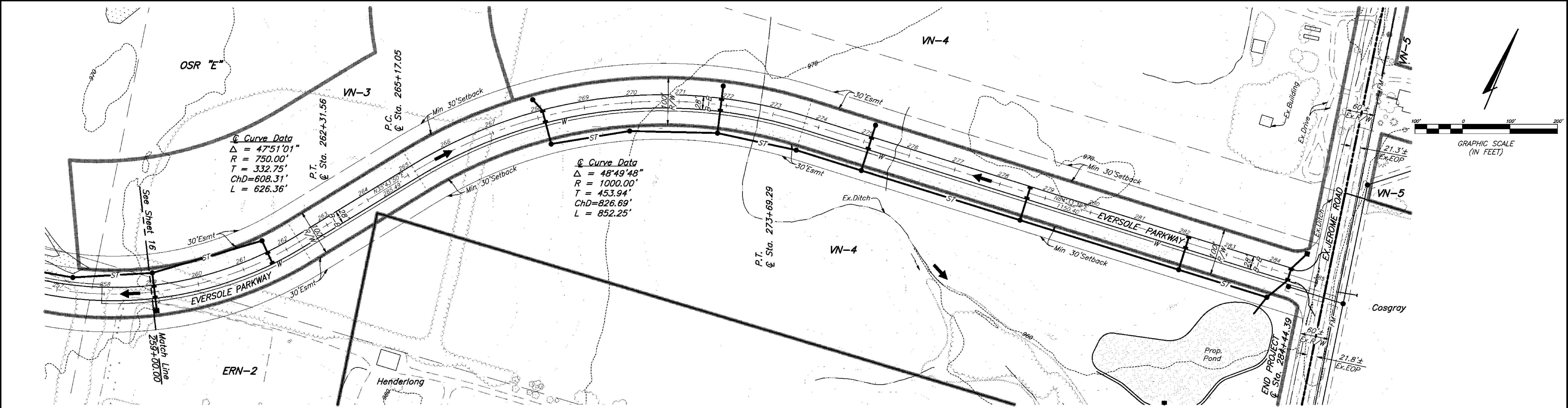
JEROME VILLAGE COMPANY, LLC
 720 E. Broad Street, Suite 200
 Columbus, Ohio 43215

JEROME VILLAGE

COUNTY OF UNION, OHIO
 PRELIMINARY PLAT

FOR
JEROME VILLAGE
 EVERSOLE PARKWAY

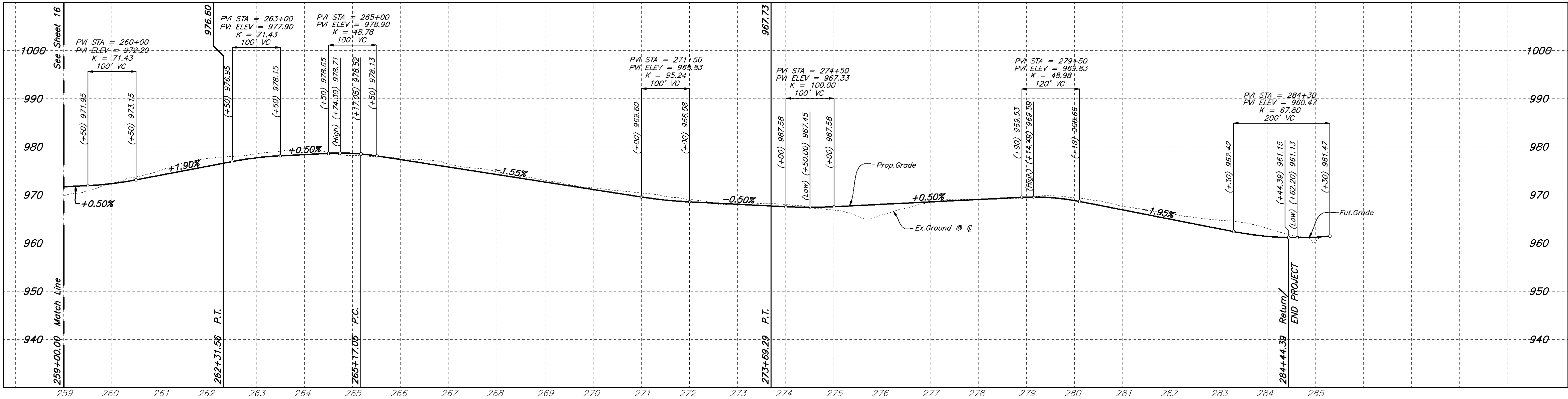
Date	Job No.
January 3, 2008	2008-1643
Scale	Sheet
Horiz: 1"=100' Vert: 1"=10'	16/27



Public Utility Note:
All utilities shown herein are preliminary in nature. Final utility locations and associated easement will be determined by the County Engineer, Developer, and the utility provider(s).

LEGEND

Sub Area Boundary	Ex. Pond/Wetland
W Water Main	Prop. Pond
SA Sanitary Sewer	Stormwater Management
FM Sanitary Force Main	
ST Storm Sewer	
Bike Path	



REVISIONS		
MARK	DATE	DESCRIPTION

EMH&T
Evans, Mechwart, Hambleton & Tilton, Inc.
Engineers • Surveyors • Planners • Scientists
5500 New Albany Road, Columbus, OH 43254
Phone: 614.775.4900 Fax: 614.775.4900

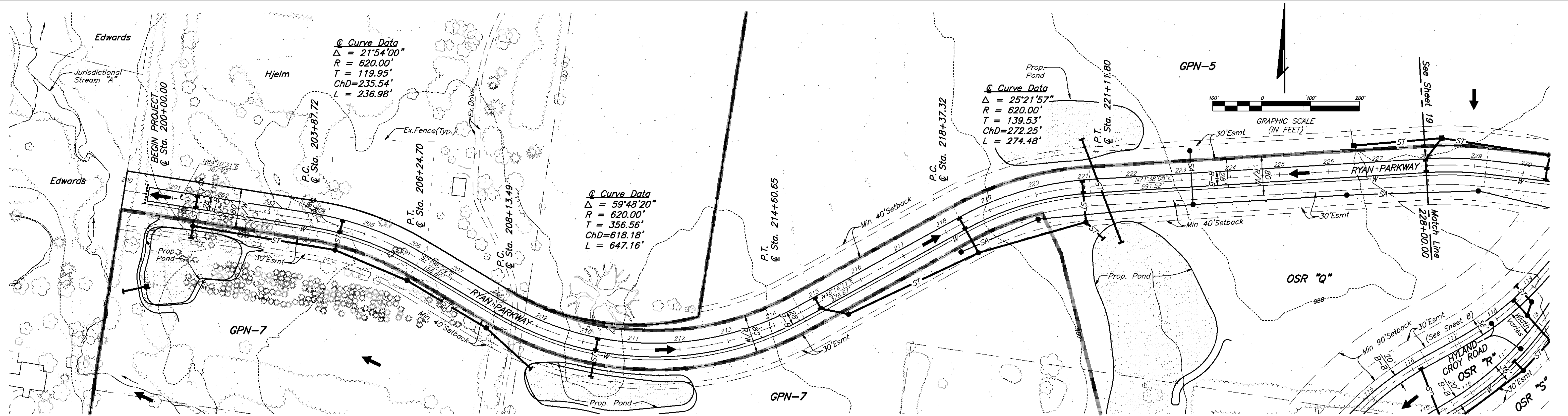
PREPARED FOR:

**JEROME VILLAGE
COMPANY, LLC**
720 E. Broad Street, Suite 200
Columbus, Ohio 43215

JEROME VILLAGE

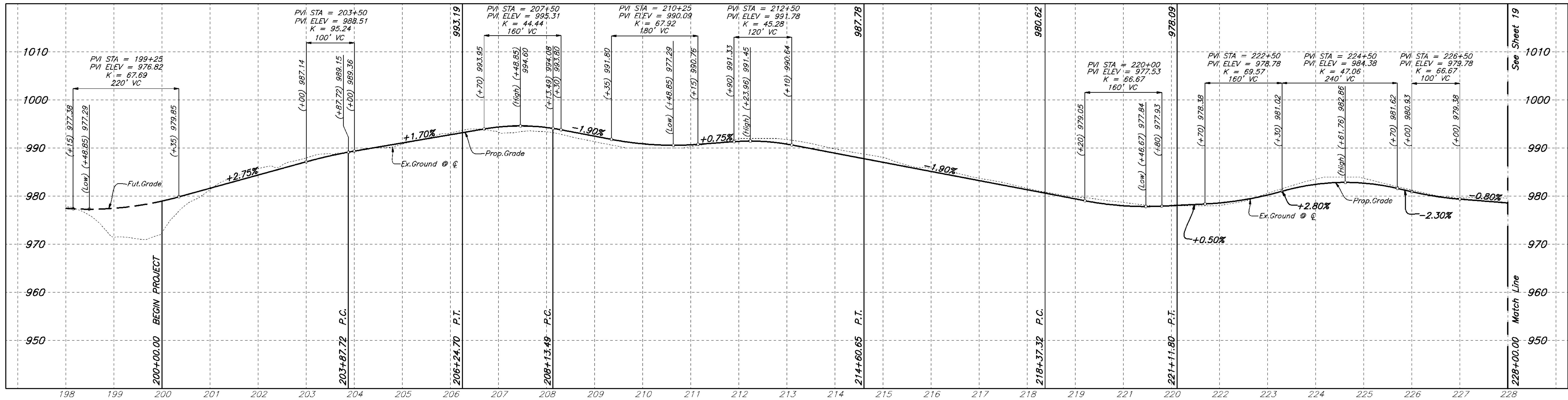
COUNTY OF UNION, OHIO
PRELIMINARY PLAT
FOR
**JEROME VILLAGE
EVERSOLE PARKWAY**

Date	January 3, 2008	Job No.	2006-1643
Scale	Horiz: 1"=100' Vert: 1"=10'	Sheet	17/27



Public Utility Note:
All utilities shown herein are preliminary in nature. Final utility locations and associated easement will be determined by the County Engineer, Developer, and the utility provider(s).

LEGEND	
	Sub Area Boundary
	Water Main
	Sanitary Sewer
	Sanitary Force Main
	Storm Sewer
	Bike Path
	Ex. Pond/Wetland
	Prop. Pond/Stormwater Management



REVISIONS		
MARK	DATE	DESCRIPTION

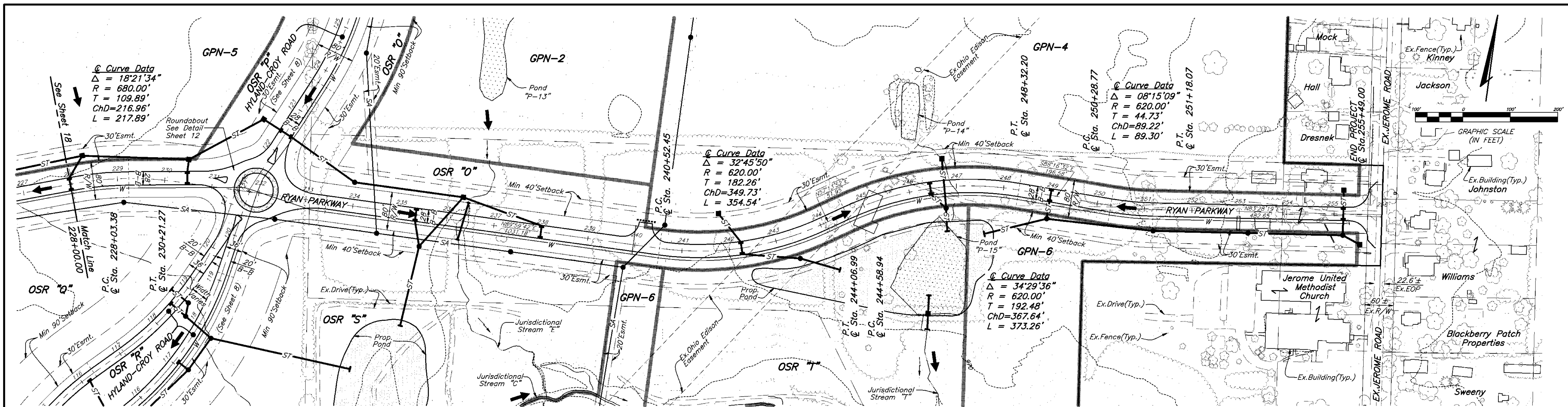
EMHT
Evans, Mechwart, Hambleton & Titton, Inc.
Engineers • Surveyors • Planners • Scientists
5500 New Albany Road, Columbus, OH 43254
Phone: 614.775.4950 Fax: 614.775.4800

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720 E. Broad Street, Suite 200
Columbus, Ohio 43215

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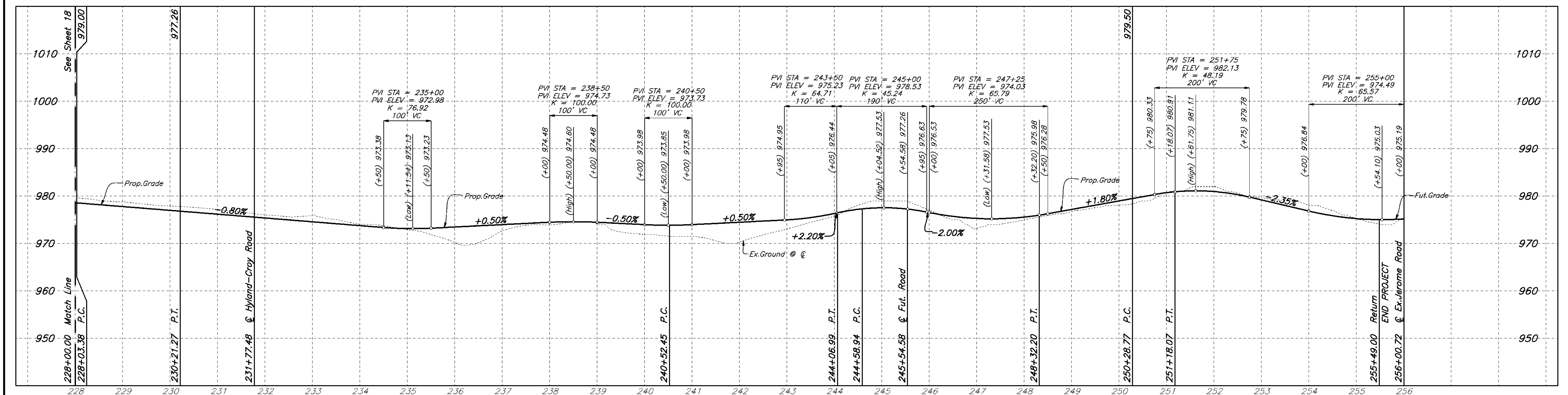
COUNTY OF UNION, OHIO
PRELIMINARY PLAT
FOR
JEROME VILLAGE
RYAN PARKWAY

Date	Job No.
January 3, 2008	2006-1643
Scale	Sheet
Horiz: 1"=100' Vert: 1"=10'	18/27

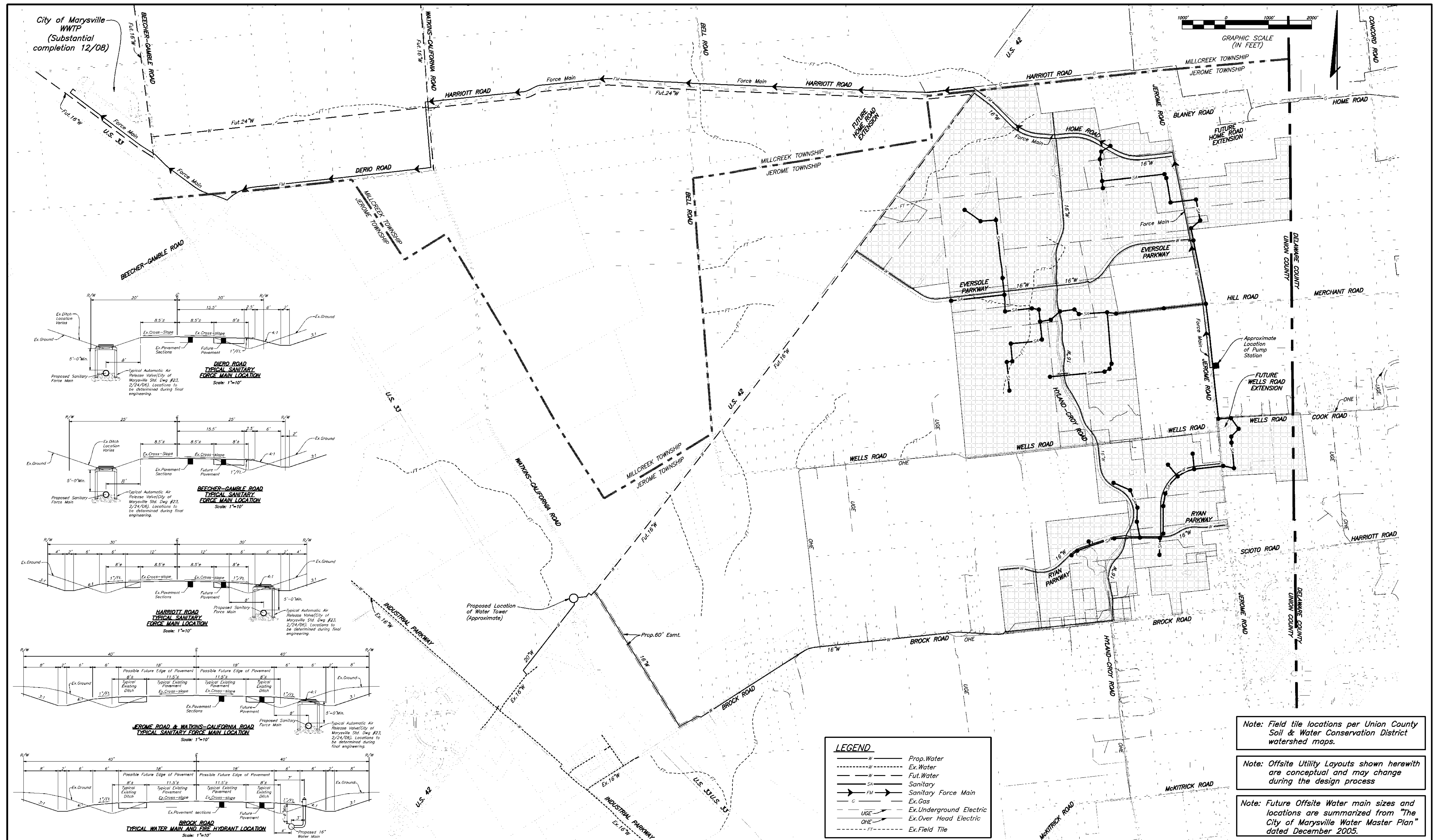


Public Utility Note:
All utilities shown herein are preliminary in nature. Final utility locations and associated easement will be determined by the County Engineer, Developer, and the utility provider(s).

LEGEND	
	Sub Area Boundary
	Water Main
	Sanitary Sewer
	Sanitary Force Main
	Storm Sewer
	Bike Path
	Ex. Pond/Wetland
	Prop. Pond/Stormwater Management



REVISIONS			EMH&T Evans, Mechwart, Hambleton & Titon, Inc. Engineers • Surveyors • Planners • Scientists 5500 New Albany Road, Columbus, OH 43204 Phone: 614.775.4950 Fax: 614.775.4800	PREPARED FOR: JEROME VILLAGE COMPANY, LLC 720 E. Broad Street, Suite 200 Columbus, Ohio 43215	JEROME VILLAGE	COUNTY OF UNION, OHIO PRELIMINARY PLAT FOR JEROME VILLAGE RYAN PARKWAY	Date January 3, 2008	Job No. 2006-1643
MARK	DATE	DESCRIPTION					Scale Horiz: 1"=100' Vert: 1"=10'	Sheet 19/27



EROSION CONTROL NOTES

MAINTENANCE

It is the Contractor's responsibility to maintain the sedimentation and erosion control features on this project. Any sediment or debris that has reduced the efficiency of a control shall be removed immediately. Should a structure or feature become damaged, the Contractor shall repair or replace it at no cost to the Owner.

Weekly street cleaning is required through the duration of the construction project. This includes sweeping, power cleaning and manual (if necessary) removal of dirt or mud in the street gutters.

Additional erosion and sediment control shall be required as directed by Union County Engineer's Office and/or designated representative.

INSPECTIONS

The NPDES permit holder shall provide qualified personnel to conduct site inspections ensuring proper functionality of the erosion and sedimentation controls. All erosion and sedimentation controls are to be inspected once every seven calendar days or within 24 hours of a 1/2 inch storm event or greater. Records of the site inspections shall be kept and made available to jurisdictional agencies if requested.

TEMPORARY AND PERMANENT SEEDING

All disturbed areas shall be seeded and straw mulched immediately upon completion of street/storm/ sanitary installation of said phase.

The limits of seeding and mulching are as shown within the plan. Seeding has been assumed to be 5'-0" outside the work limits or the right-of-way, whichever is greater. All areas not designated to be seeded shall remain under natural ground cover. Those areas disturbed outside the seeding limits shall be seeded and mulched at the Contractor's expense.

TEMPORARY SEEDING: Any area which will be left dormant (undisturbed) for more than 21 days shall be seeded within 7 days. Disturbed areas within 50 feet of a stream, first order or larger, shall be stabilized within 2 days of inactivity. Temporary seeding consists of seedbed preparation and application of seed, fertilizer, and water. Soil test is recommended to determine proper application rate of fertilizer and if lime is necessary.

Fertilizer 12-12-12	12 lb/1000 sq. ft.
Straw Mulch	2 tons/acre
Water	300 G/1000 sq. ft.

PERMANENT SEEDING: Any area that is at final grade shall be seeded within 7 days of terminated work. Permanent seeding consists of seedbed preparation and application of seed, fertilizer, and water. Soil test is recommended to determine proper application rate of fertilizer and if lime is necessary. Ideal conditions for permanent seeding is March 1-May 31 and August 1-September 30.

TEMPORARY SEEDING

SEEDING DATES	SPECIES	lb./1000 sq. ft.	Per acre
March 1 to August 15	Oats	4.2	5.6 bushel
	Tall Fescue	1.4	56 lb.
	Annual Ryegrass	1.4	56 lb.
	Perennial Ryegrass	1.4	56 lb.
	Tall Fescue	1.4	56 lb.
August 16 to November 1	Rye	4.2	2.8 bushel
	Tall Fescue	1.4	56 lb.
	Annual Ryegrass	1.4	56 lb.
	Wheat	4.2	2.8 bushel
	Tall Fescue	1.4	56 lb.
Nov. 1 to Spring Seeding	Perennial Ryegrass	1.4	56 lb.
	Tall Fescue	1.4	56 lb.
	Annual Ryegrass	1.4	56 lb.

NOTE: Other approved seed species may be substituted.

PERMANENT SEEDING

SEED MIX	SEEDING RATE		NOTES
	lb/acre	lb/1000 sq.ft.	
GENERAL USE			
Creeping Red Fescue	28-56	0.7-1.4	
Domestic Ryegrass	14-28	0.35-.07	
Kentucky Bluegrass	14-28	0.35-.07	
Tall Fescue	56	1.4	
Dwarf Fescue	56	1.4	
STEEP BANKS or CUT SLOPES			
Tall Fescue	56	1.4	
Crown Vetch	14	0.35	Do not seed later than August.
Tall Fescue	28	0.35	
Flat Pea	28	0.7	Do not seed later than August.
Tall Fescue	28	0.7	
ROAD DITCHES and SWALES			
Tall Fescue	56	1.4	
Dwarf Fescue	126	3.15	
Kentucky Bluegrass	7		
LAWNS			
Kentucky Bluegrass	84	2.1	
Perennial Ryegrass	84	2.1	
Kentucky Bluegrass	84	2.1	
Creeping Red Fescue	84	2.1	For shaded areas
NOTE: Other approved seed species may be substituted.			

NOTE: Other approved seed species may be substituted.

See Sheets 22&23 for additional details.

COUNTY OF UNION, OHIO

PRELIMINARY PLAT

FOR

JEROME VILLAGE

EROSION AND SEDIMENTATION CONTROL DETAILS

Date

January 3, 2008

Job No.

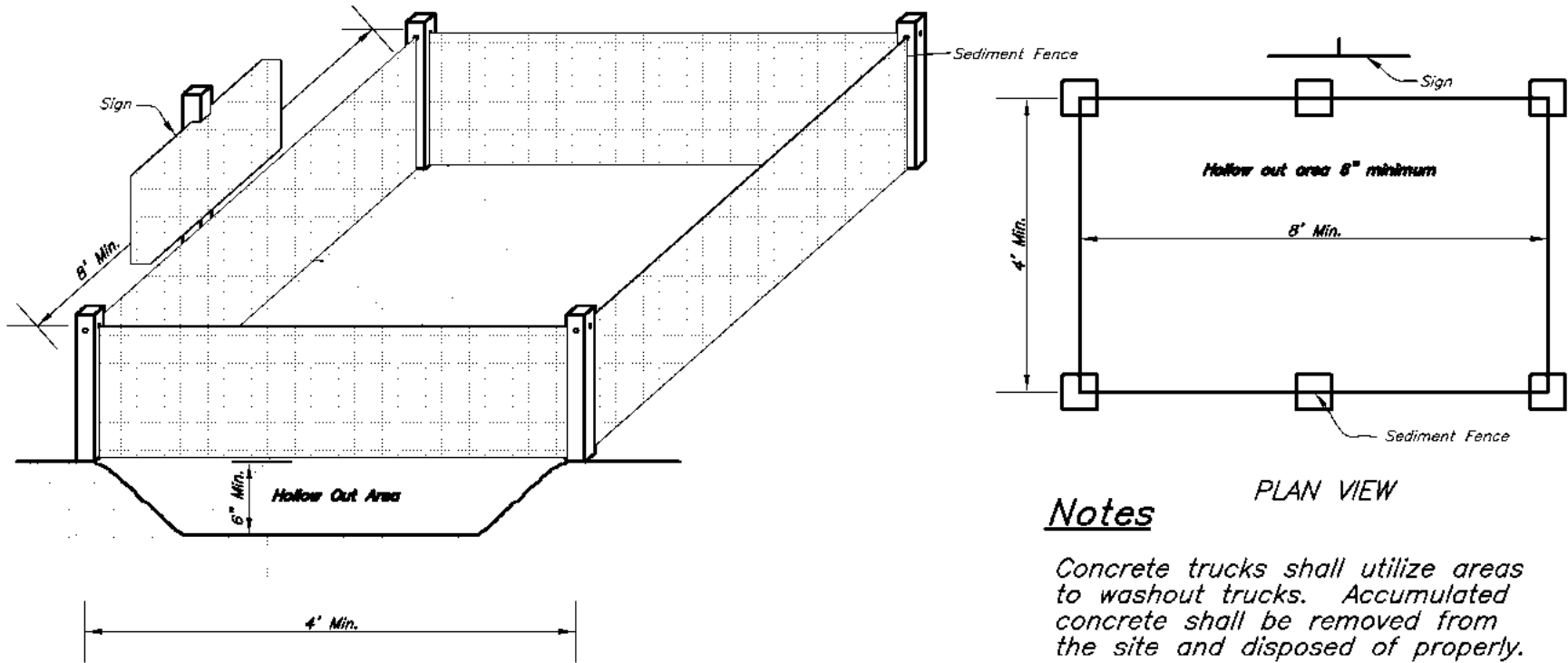
2006-1643

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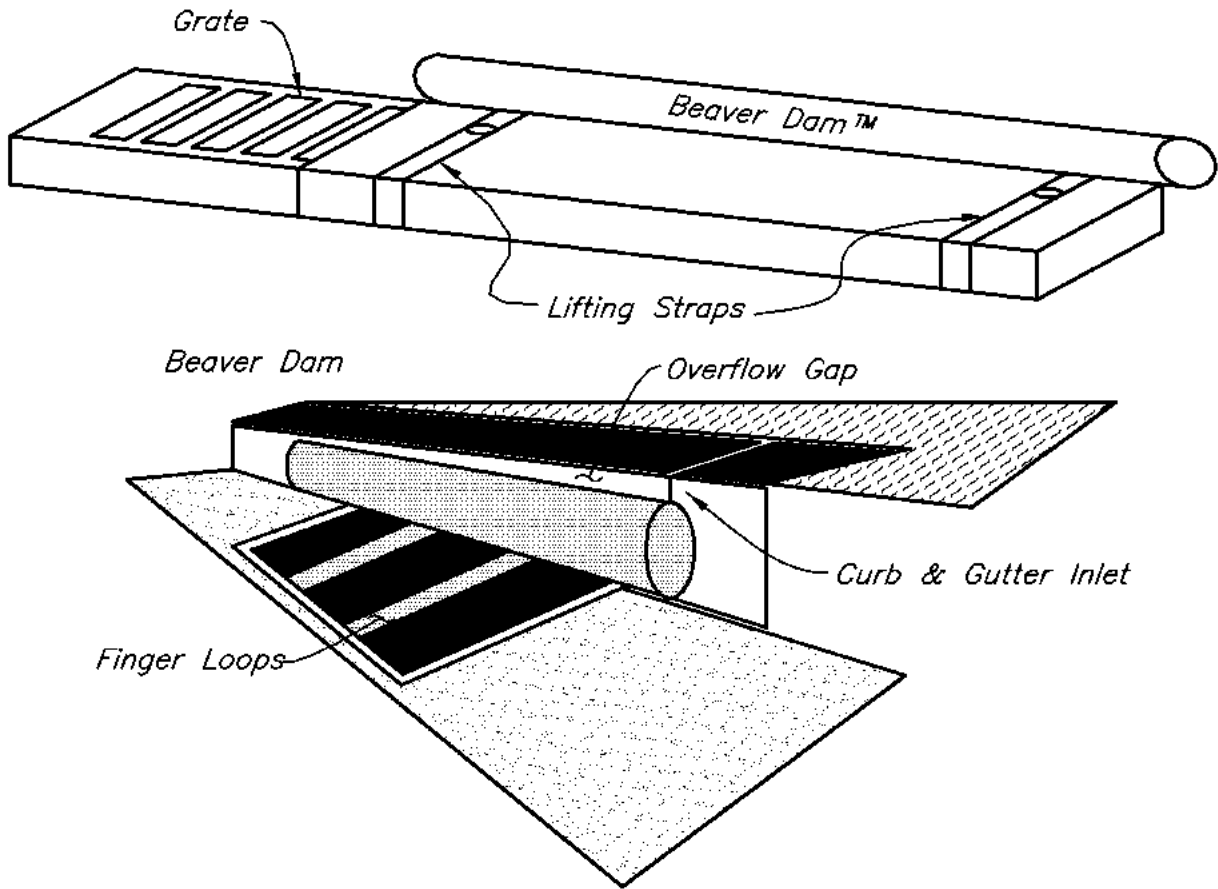
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21/27



CONCRETE WASHOUT AREA

SCALE: NONE

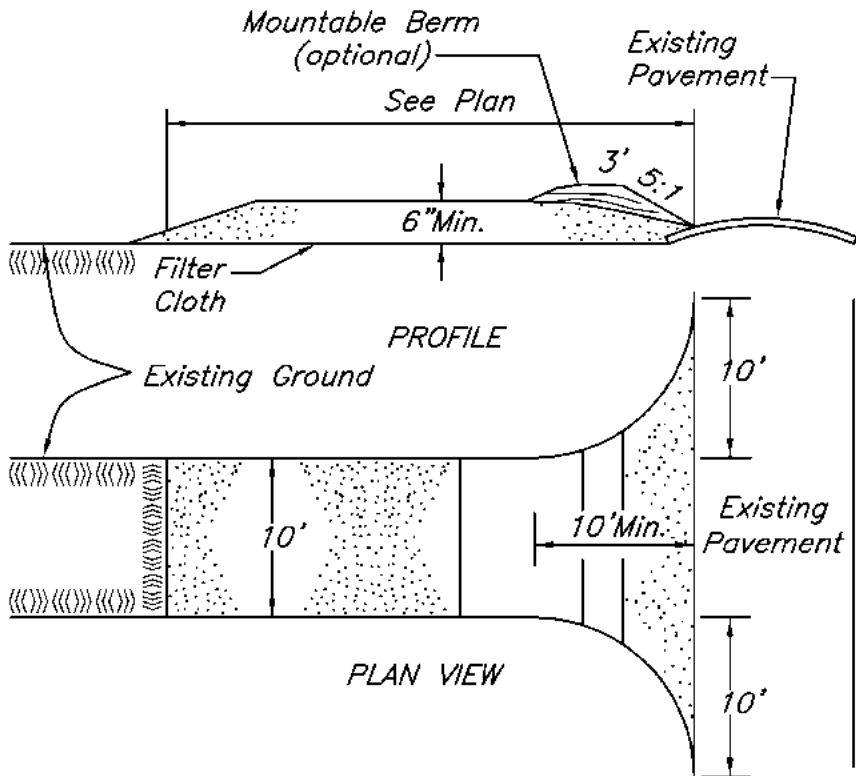


THE BEAVER DAM

No Scale

Installation: Stand grate on end. Slide the Beaver Dam Bag on with Dam on top of the grate. Pull all excess down. Lay unit on its side. Carefully tuck flap in. Press Velcro strips together. Install the unit making sure front edge of grate is inserted in frame first then lower back into place. Press Velcro dots together which are located under lifting straps. This insures straps remain flush with gutter.

Maintenance: With a stiff bristle broom sweep silt and other debris off surface after each event.

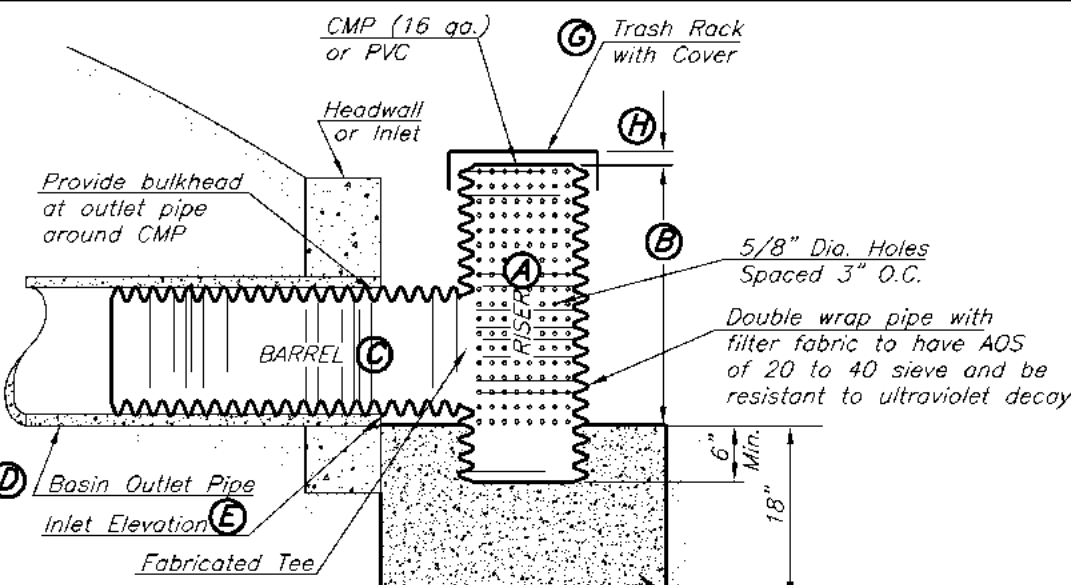


STABILIZED CONSTRUCTION ENTRANCE

No Scale

CONSTRUCTION SPECIFICATIONS

1. Stone Size - Use 2" stone, or reclaimed or recycled concrete equivalent.
2. Length - As required.
3. Thickness - Not less than six (6) inches.
4. Width - Ten (10) foot minimum, but not less than the full width at points where ingress or egress occurs.
5. Filter Cloth - will be placed over the entire area prior to placing of stone.
6. Surface Water - All surface water flowing or diverted toward construction entrances shall be piped across the entrance. If piping is impractical, a mountable berm with 5:1 slopes will be permitted.
7. Maintenance - The entrance shall be maintained in a condition which will prevent tracking or flowing of sediment onto public right-of-way. This may require periodic top dressing with additional stone as conditions demand and repair and/or cleanout of any measures used to trap sediment. All sediment spilled, dropped, washed or tracked onto public rights-of-way must be removed immediately.
8. Washing - Wheels shall be cleaned to remove sediment prior to entrance onto public right-of-ways. When washing is required, it shall be done on an area stabilized with stone and which drains into an approved sediment trapping device.
9. Periodic inspection and needed maintenance shall be provided after each rain.

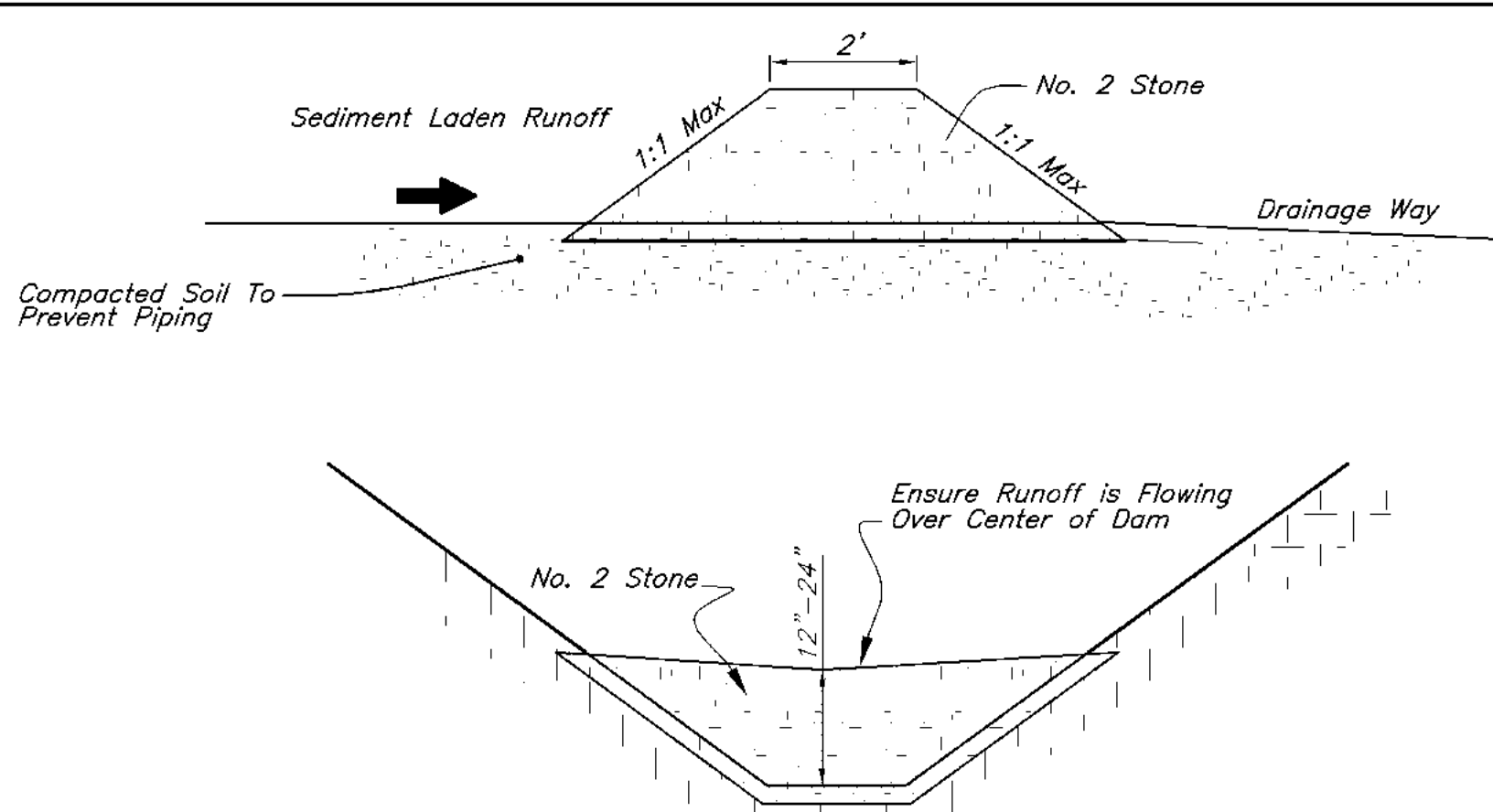


TEMPORARY SEDIMENT CONTROL STRUCTURE

No Scale

GENERAL NOTES

1. Sediment basins shall be constructed and operational before upslope land disturbance begins.
2. RISER PIPE BASE: The rise pipe shall be set at a minimum of 6 in. in the concrete base.
3. TRASH RACKS: The top of the riser shall be fitted with trash racks firmly fastened to the riser pipe.
4. SEDIMENT CLEANOUT: Sediment shall be removed and the sediment basin restored to its original dimensions when the sediment has filled to one-half the height of the riser. Sediment removed from the basin shall be placed so that it will not erode and stabilized similar to other fill material placed on the site.
5. FINAL REMOVAL: The sediment control structure shall be removed only after the upstream drainage area is stabilized. Dewatering and removal shall not cause sediment to be discharged.



Maintenance

Rock check dams shall be inspected immediately after each rainfall and at least daily during prolonged rainfall.

Close attention shall be paid to the repair of damaged check dams, end runs and undercutting beneath dams.

Necessary repairs to check dams shall be accomplished promptly.

Sediment deposits should be removed after each rainfall. They must be removed when the level of deposition reaches approximately one-half the height of the barrier.

Any sediment deposits remaining in place after the aggregate is no longer required shall be dressed to conform to the existing grade, prepared and seeded.

ROCK CHECK DAM

SCALE: NONE

CONTRACTOR RESPONSIBILITIES

Details have been provided on this plan in an effort to help the Contractor provide erosion and sedimentation control. The details shown on the plan shall be considered a minimum. Additional or alternative details may be found in the O.D.N.R. Manual "Rainwater and Land Development." The Contractor shall be solely responsible for providing necessary and adequate measures for proper control of erosion and sediment runoff from the site along with proper maintenance and inspection in compliance with the NPDES General Permit for Storm Discharges Associated with Construction Activity.

The Contractor shall provide a schedule of operations to the Owner. The schedule should include a sequence of the placement of the sedimentation and erosion control measures that provides for continual protection of the site throughout the earth moving activities.

Prior to Construction Operations in a particular area, all sedimentation and erosion control features shall be in place. Field adjustments with respect to locations and dimensions may be made by the Engineer.

The Contractor shall place inlet protection for the sedimentation control immediately after construction of the catch basins or inlets that are not tributary to a sediment basin or dam. Inlet protection not required for storm sewer discharging into a sediment basin or lake provided storm sewers are cleaned and basins/lakes are dredged to the satisfaction of the Union County Engineer prior to acceptance.

It may become necessary to remove portions of sedimentation controls during construction to facilitate the grading operations in certain areas. However, the controls shall be replaced upon grading or during any inclement weather.

Compacted soil is required at all catch basins to prevent piping. If piping around structures is observed the structure will be required to be unearthed and corrective measures taken.

The Contractor shall be responsible to have the current Storm Water Pollution Prevention Plan immediately available or posted on site.

The Contractor shall be responsible to ensure that off-site tracking of sediments by vehicles and equipment is minimized. All such off-site sediment shall be cleaned up daily.

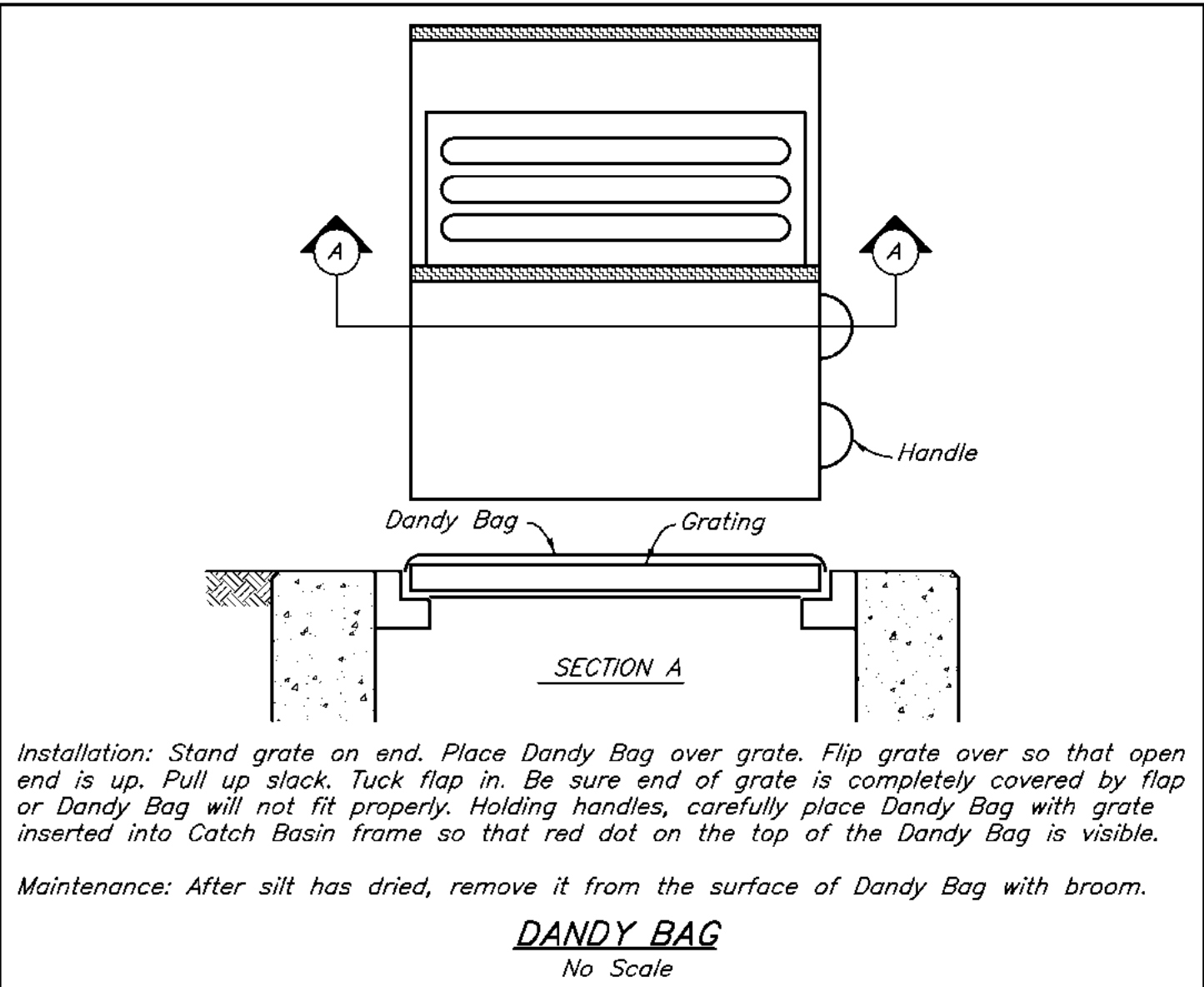
The Contractor shall be responsible to ensure that no solid or liquid waste is discharged into storm water runoff. Untreated sediment-laden runoff shall not flow off of site without being directed through a control practice. Concrete trucks will not be allowed to wash out or discharge surplus concrete into or alongside rivers, streams, or creeks or into natural or manmade channels or swales leading thereto.

Concrete wash water and surplus concrete shall be confined to approved areas; after solidifying, these waste materials shall be removed from the site.

The cost for temporary channels, sediment dams, sediment basins, and other appurtenant earth moving operations shall be included in the price bid for erosion and sedimentation control quantities.

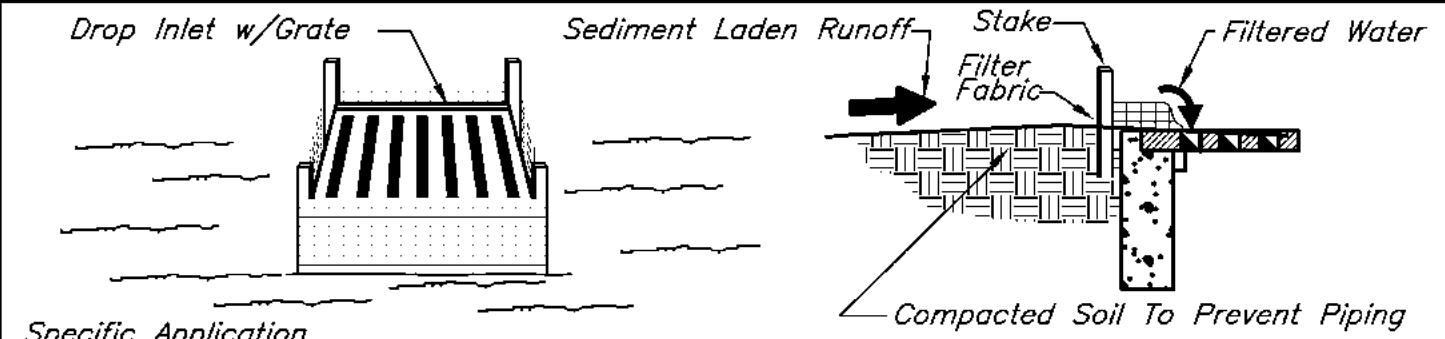
Weekly street cleaning is required throughout the duration of the project. This includes power sweeping, power cleaning, and manual (if necessary) removal of dirt or mud in the street gutters.

Not all details shown on this sheet may be required for this project.



DANDY BAG

No Scale



FILTER FABRIC DROP INLET SEDIMENT FILTER DETAIL

No Scale

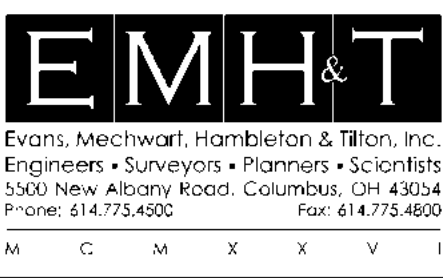
JEROME VILLAGE COMPANY, LLC

720 E. Broad Street, Suite 200

Columbus, Ohio 43215

JEROME VILLAGE

REVISIONS		
MARK	DATE	DESCRIPTION

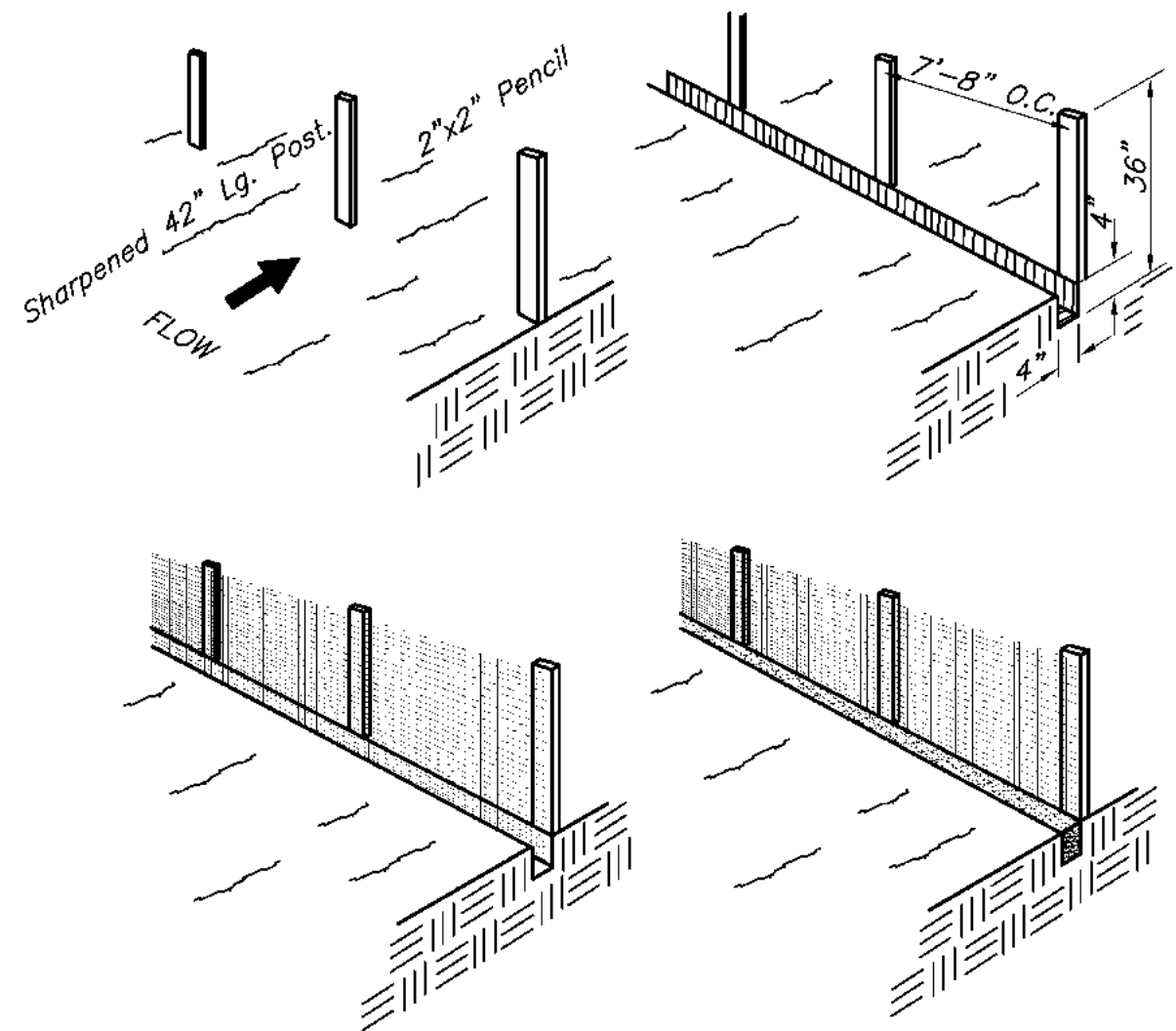


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720 E. Broad Street, Suite 200

Columbus, Ohio 43215



SEDIMENT FENCE DETAIL
No Scale

Silt Fence: This sediment barrier utilizes standard strength or extra strength synthetic filter fabrics. It is designed for situations in which only sheet or overland flows are expected.

1. The height of a silt fence shall not exceed 36-inches (higher fences may impound volumes of water sufficient to cause failure of the structure).
2. The filter fabric shall be purchased in a continuous roll cut to the length of the barrier to avoid the use of joints. When joints are necessary, filter cloth shall be spliced together only at a support post, with a minimum of a 6 inch overlap, and securely sealed.
3. Posts shall be spaced a maximum of 10 feet apart at the barrier location and driven securely into the ground (minimum of 12-inches). When extra strength fabric is used without the wire support fence, post spacing shall not exceed 6 feet.
4. A trench shall be excavated approximately 4-inches wide and 4 inches deep along the line of posts and upslope from the barrier.
5. When standard strength filter fabric is used, a wire mesh support fence shall be fastened securely to the upslope side of the posts using heavy duty wire staples at least 1-inch long, tie wires or hog rings. The wire shall extend into the trench a minimum of 2-inches and shall not extend more than 36-inches above the original ground surface.
6. The standard strength filter fabric shall be stapled or wired to the fence, and 8-inches of the fabric shall be extended into the trench. The fabric shall not extend more than 36-inches above the original ground surface. Filter fabric shall not be stapled to existing trees.
7. When extra strength filter fabric and closer post spacing are used, the wire mesh support fence may be eliminated. In such a case, the filter fabric is stapled or wired directly to the posts with all other provisions of Item No. 6 applying.
8. The trench shall be backfilled and soil compacted over the filter fabric.
9. Silt fences shall be removed when they have served their useful purpose, but not before the upslope area has been permanently stabilized.

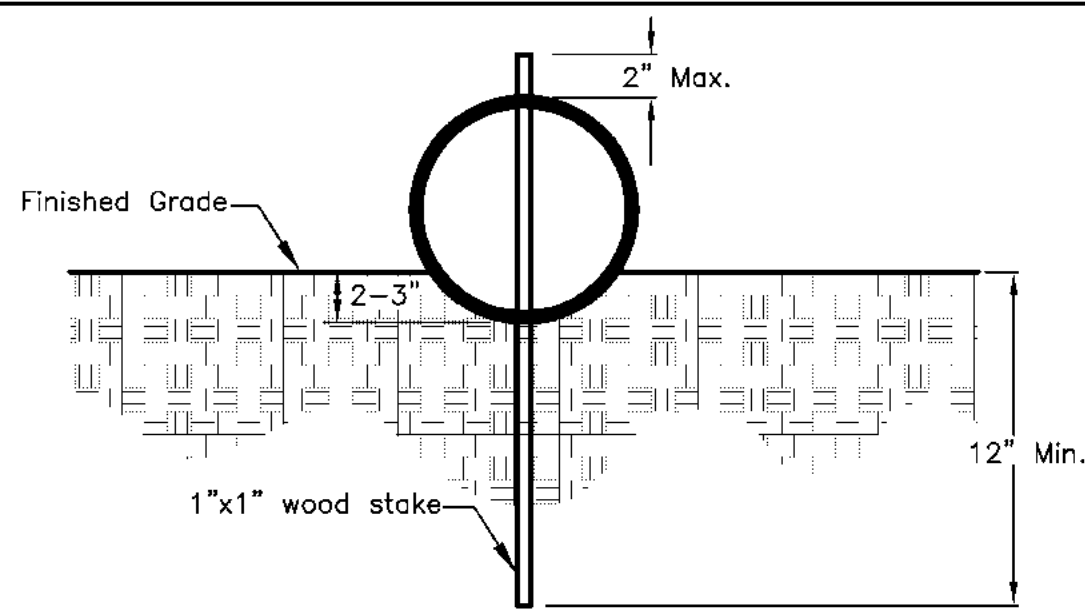
Maintenance

Silt fences and filter barriers shall be inspected immediately after each rainfall and at least daily during prolonged rainfall. Any required repairs shall be made immediately.

Should the fabric on a silt fence or filter barrier decompose or become ineffective prior to the end of the expected usable life and the barrier is still necessary, the fabric shall be replaced promptly.

Sediment deposits should be removed after each storm event. They must be removed when deposits reach approximately one-half the height of the barrier.

Any sediment deposits remaining in place after the silt fence or filter barrier is no longer required shall be dressed to conform with the existing grade, prepared and seeded.



STRAW WATTLE DETAIL
No Scale

PREPARATION

Proper site preparation is essential to ensure complete contact of the sediment retention device (Wattle) with the soil.

The slope should be prepared to receive the surface mulching/re-vegetation treatment prior to installation of the Erosion control and sediment Retention Wattles.

Removed all rocks, clods, vegetation or other obstructions so that the installed Wattles will have direct contact with the soil.

A small trench 2-3 inches in depth should be excavated on the slope contour and perpendicular to water flow. Soil from the excavation should be placed down-slope next to the trench.

INSTALLATION

Install the Wattles in the trench, insuring that no gaps exist between the soil and the bottom of the Wattle. The ends of adjacent Wattles should be tightly abutted so that no opening exists for water or sediment to pass through. Alternately, Wattles may be lapped, 6" minimum to prevent sediment passing through the field joint.

Wooden stakes should be used to fasten the Wattles to the soil. When conditions warrant, a straight metal bar can be used to drive a "pilot hole-through the Wattle and into the soil.

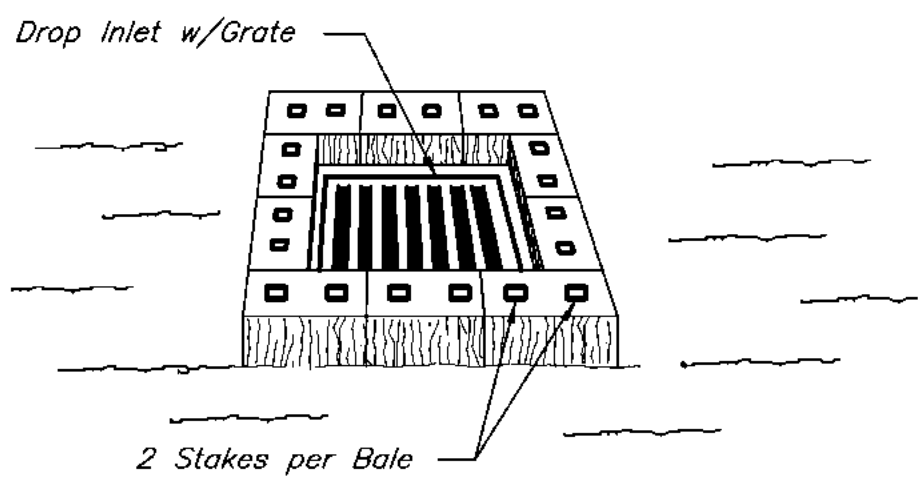
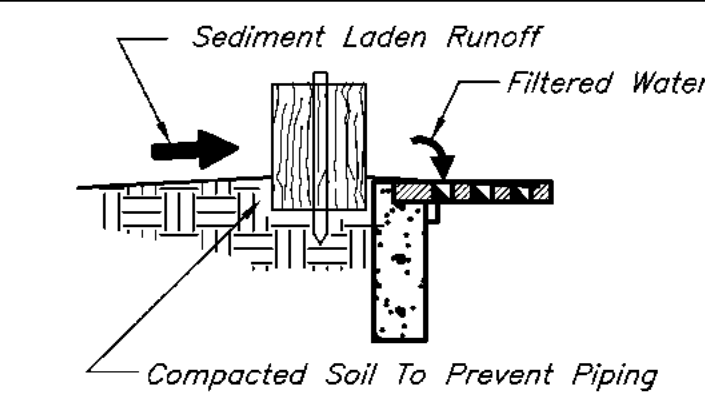
Wooden stakes should be placed 6" from the Wattle end angled towards the adjacent Wattle and spaced at 4 feet centers leaving less than 1-2 inches of stake exposed above the Wattle. Alternately, stakes may be place on each side of the Wattle tying across with a natural fiber twine or staking in a crossing manner ensuring direct soil contact at all times.

Terminal ends of wattles should be dog legged up slope to ensure containment and prevent channeling of sedimentation.

Backfill the upslope length of the Wattle with the excavated soil and compact.

Care shall be taken during installation so as to avoid damage occurring to the Wattle as a result of the installation process. Should the Wattle be damaged during installation, a wooden stake shall be placed either side of the damaged area terminating the log segment.

Field monitoring shall be performed to verify that the placement does not damage the Wattle.



STRAW BALE DROP INLET STRUCTURE

Bales shall be either wire-bound or string-tied with the bindings oriented around the sides rather than over and under the bales. Bales shall be placed lengthwise in a single row surrounding the inlet, with the ends of adjacent bales pressed together. The filter barrier shall be entrenched and backfilled. A trench shall be excavated around the inlet the width of a bale to a minimum depth of 4-inches. After the bales are staked, the excavated soil shall be backfilled and compacted against the filter barrier. Each bale shall be securely anchored and held in place by at least two stakes or rebars driven through the bale. Loose straw shall be wedged between bales to prevent water from entering between bales.

NOTE: Hay bales may be used in place of straw bales.

Maintenance

Straw bale barriers shall be inspected immediately after each rainfall and at least daily during prolonged rainfall.

Close attention shall be paid to the repair of damaged bales, end runs and undercutting beneath bales.

Necessary repairs to barriers or replacement of bales shall be accomplished promptly.

Sediment deposits should be removed after each rainfall. They must be removed when the level of deposition reach approximately one-half the height of the barrier.

Any sediment deposits remaining in place after the straw bale barrier is no longer required shall be dressed to conform to the existing grade, prepared and seeded.

**STRAW BALE DROP INLET
SEDIMENT FILTER DETAIL**
No Scale

MATERIALS

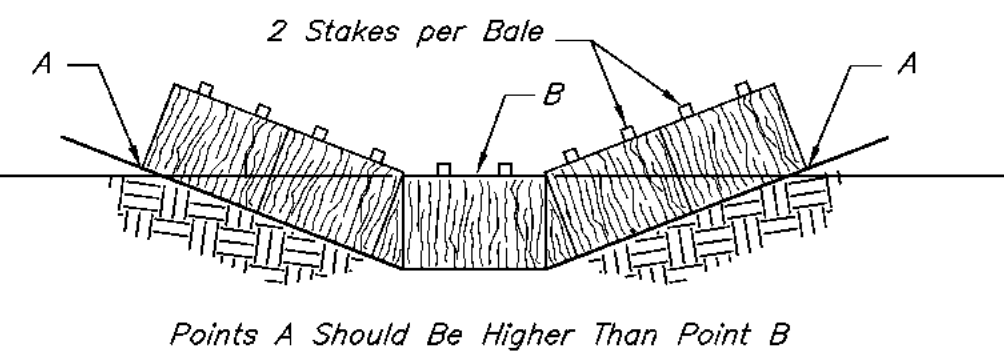
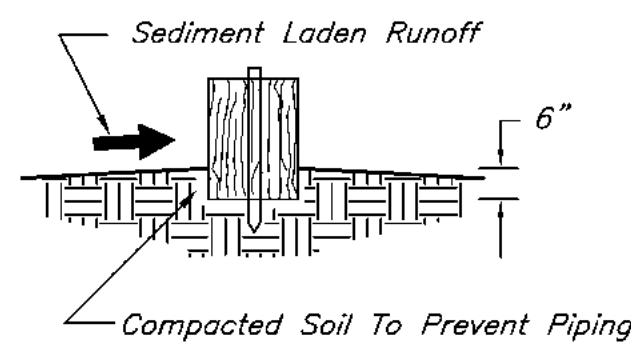
Wattles shall be a straw-filled tube of flexible netting material exhibiting the following properties. It shall be a machine-produced tube of compacted straw, by a manufacturer whose business is wattle manufacturing. The netting shall consist of seamless high-density polyethylene and ethyl vinyl acetate and contain ultra violet inhibitors.

Light weight rolled erosion control straw or wood giber blankets (RECB) rolled up to create a wattle type device shall not be allowed under this specification. The Wattle shall meet the minimum performance requirements of Table 1. The product must be guaranteed to meet all numeric performance values in Table 1 under the specified conditions as stated.

TABLE 1			
Property	Test Method	Units	Min. Value
Mass per Unit Weight	Field Measured	(lbs/ft)	1.6
Dimesion	Field Measured	(Dia./Inches)	8.0-9.0
Net Strand Thickness	Field Measured	(Inches)	0.030
et Knot Thickness	Field Measured	(Inches)	0.055
Netting Unit Weight	Certified	(Ounces/ft)	0.35
Sediment Retention Capacity	Rainfall Sim. ¹	(lbs/ft)	30
Installed Free-Board Ht.	Field Measured	(Height/Inches)	6.0-7.0
Straw Fiber	Field Measured	Avg. Length (in)	3.0
Soil Loss	Rainfall Sim. ¹	% Effectiveness	58 ²
De-Stabilized Moisture	Rainfall Sim. ¹	% Retained (Max.)	11
Fiber Content	Certified	% Straw	100

¹Minimum of three 10 year predicted storm events on 1V:3H slope with Clayey Sand soil.

²Minimum sediment yield reduction value.



Channel Flow Applications

Bales shall be placed in a single row, lengthwise, oriented perpendicular to the contour, with ends of adjacent bales tightly abutting one another.

The remaining steps for installing a straw bale barrier for sheet flow applications apply here, with the following addition.

The barrier shall be extended to such a length that the bottoms of the end bales are higher in elevation than the top of the lowest middle bale to assure that sediment-laden runoff will flow either through or over the barrier but not around it.

NOTE: Hay bales may be used in place of straw bales.

Maintenance

Straw bales shall be inspected immediately after each rainfall and at least daily during prolonged rainfall.

Close attention shall be paid to the repair of damaged bales, end runs and undercutting beneath bales.

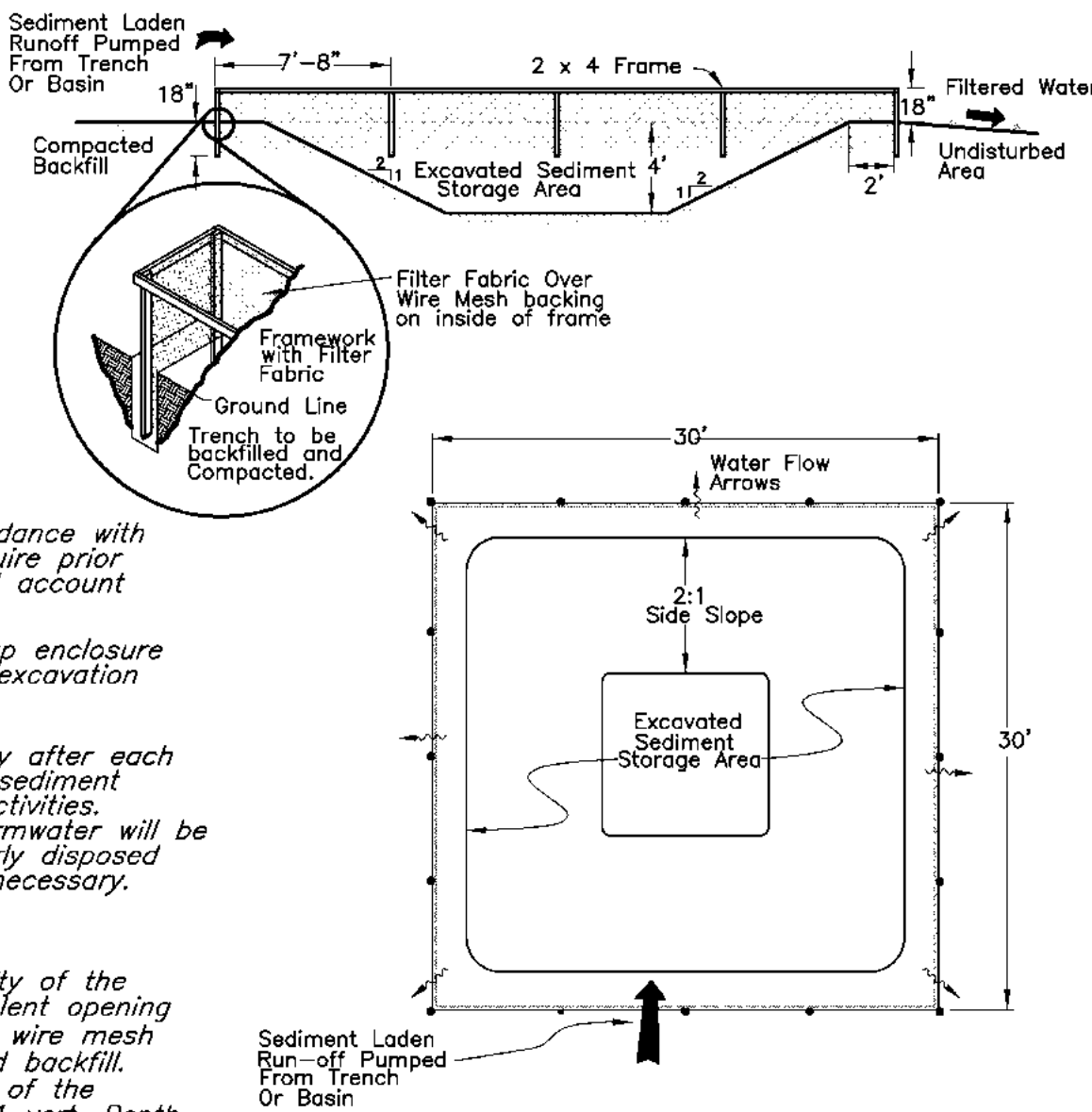
Necessary repairs to barriers or replacement of bales shall be accomplished promptly.

Sediment deposits should be removed after each rainfall. They must be removed when the level of deposition reaches approximately one-half the height of the barrier.

Any sediment deposits remaining in place after the straw bale barrier is no longer required shall be dressed to conform to the existing grade, prepared and seeded.

**STRAW BALE BARRIER FOR
DRAINAGE WAY OR SHEET FLOW**
SCALE: NONE

DEWATERING SEDIMENT TRAP ENCLOSURE DETAILS
No Scale



DEWATERING

Dewatering within excavated areas, if required, shall be performed in accordance with the details shown on this plan. Alternative methods of dewatering may require prior approval from the Union County SWCD. Dewatering through well points shall account for the groundwater considerations provided below.

Contractor is to pump from the utility trench or basin to the sediment trap enclosure to provide sediment control during installation of underground utilities and excavation of basins.

All sedimentation and erosion control devices shall be inspected immediately after each rainfall and at least daily during prolonged rainfall. Contractor shall utilize sediment trap enclosure prior to discharge from site for all excavation dewatering activities. Outfall shall be through native undisturbed ground cover. No untreated stormwater will be released from the site. Accumulated sediment shall be removed and properly disposed of in an area beyond the 100-year floodplain and properly stabilized, as necessary.

Specific Application:

Do not exceed 23 gallons per minute pumping rate or the seepage capacity of the filter fabric enclosure, whichever is less. Filter fabric shall have an equivalent opening size (EOS) of 40 - 80 sieve (0.3 gal/min/sf maximum). Filter fabric and wire mesh backing shall extend 18" below grade and shall be covered with compacted backfill. Temporary sediment storage shall be provided within the excavated portion of the sediment trap. Excavated side slopes shall not be steeper than 2 horiz :1 vert. Depth of excavation shall be 4-feet below natural grade. Sediment trap shall be re-excavated when the holding area becomes half-full of sediment.

See Sheets 21&23 for additional details.

REVISIONS		
MARK	DATE	DESCRIPTION



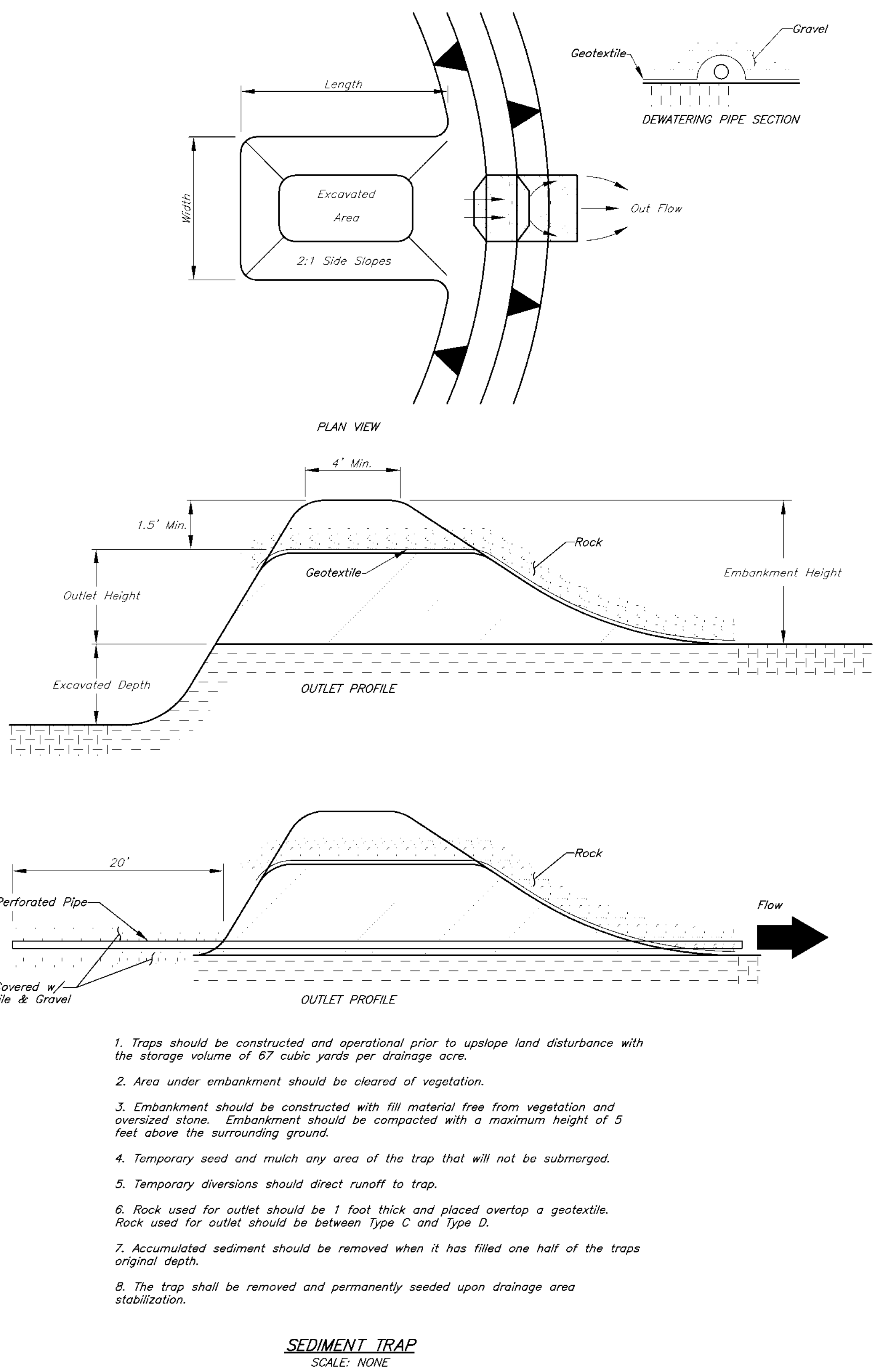
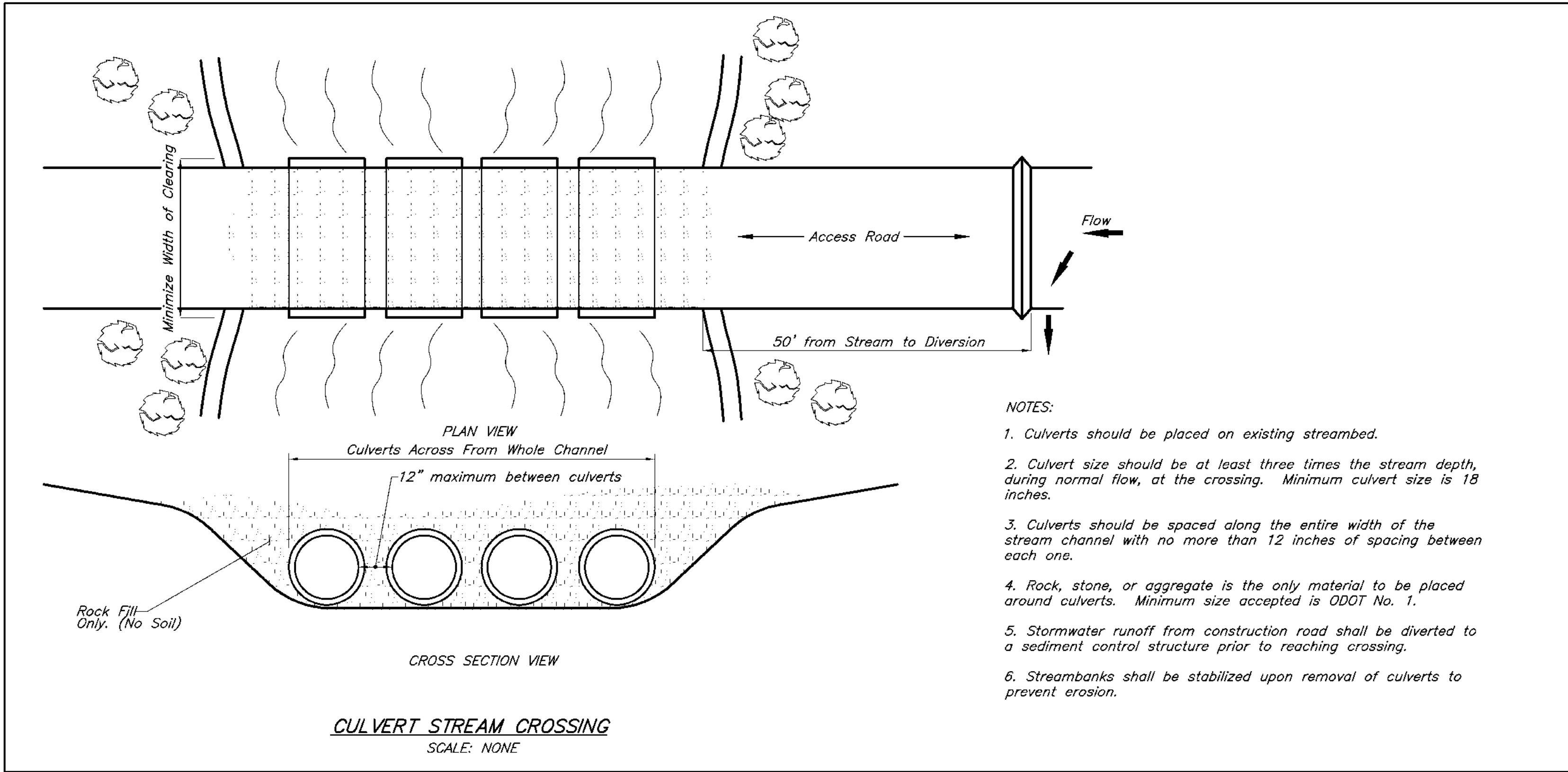
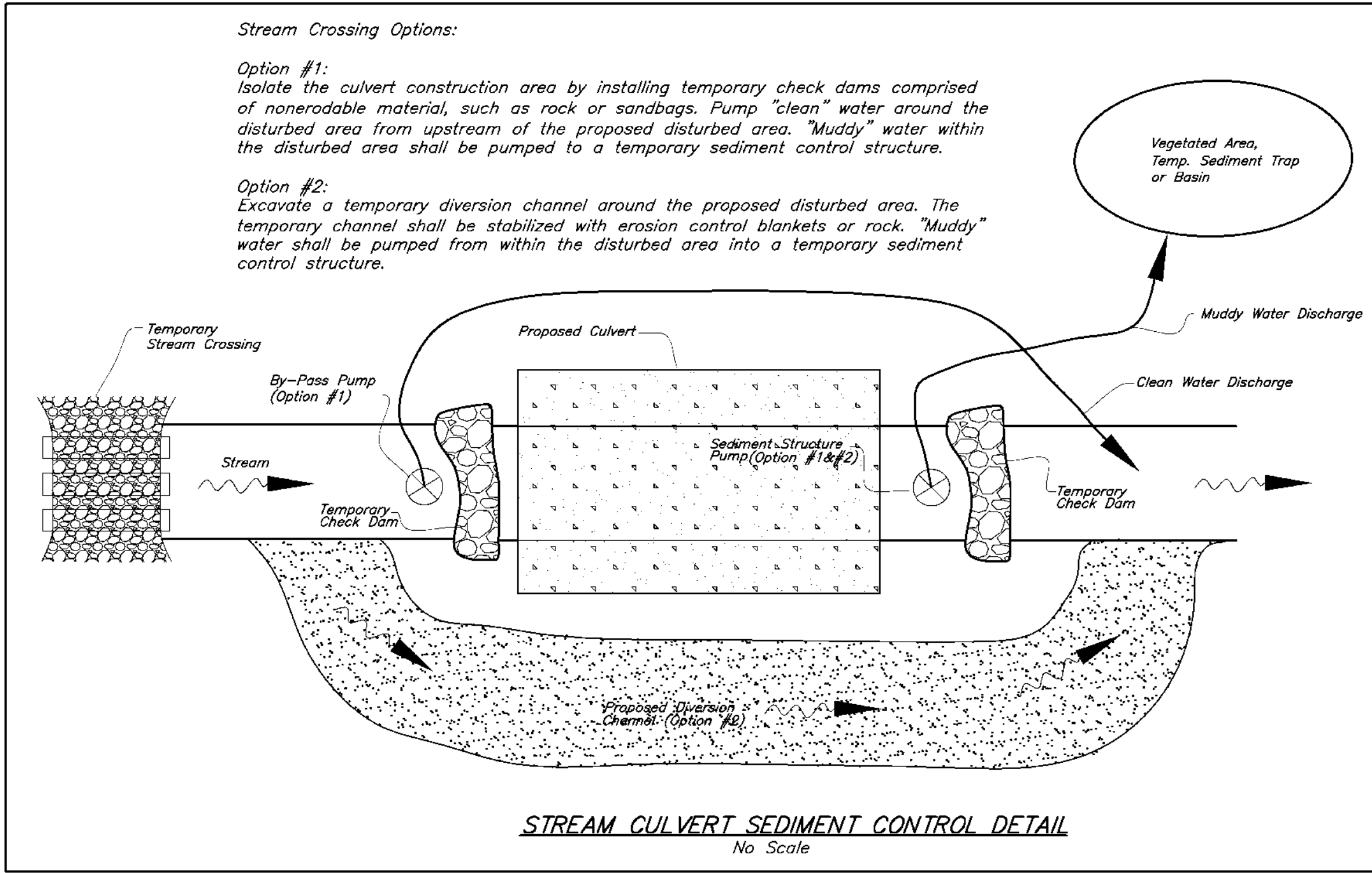
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COMPANY, LLC**
720 E. Broad Street, Suite 200
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JEROME VILLAGE

COUNTY OF UNION, OHIO
PRELIMINARY PLAT
FOR
JEROME VILLAGE
EROSION AND SEDIMENTATION CONTROL DETAILS

Date	Job No.
January 3, 2008	2006-1643
Scale	Sheet
None	22/27



See Sheets 21&22 for additional details.

REVISIONS		
MARK	DATE	DESCRIPTION



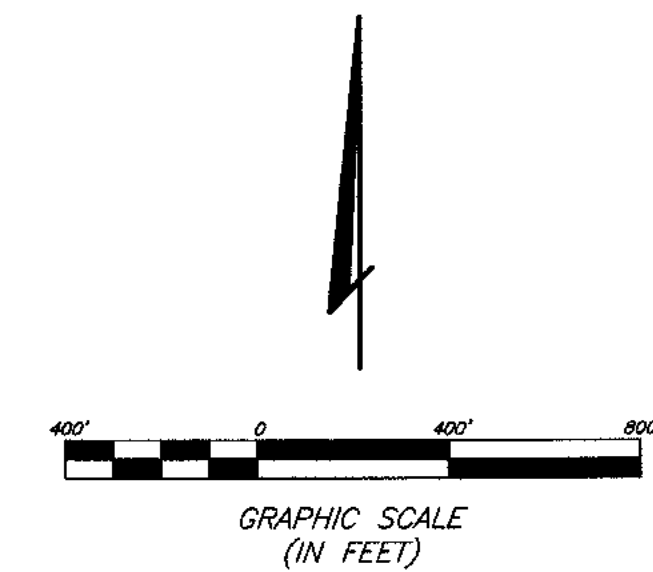
PREPARED FOR:

**JEROME VILLAGE
COMPANY, LLC**
720 E. Broad Street, Suite 200
Columbus, Ohio 43215

JEROME VILLAGE

COUNTY OF UNION, OHIO
PRELIMINARY PLAT
FOR
JEROME VILLAGE
EROSION AND SEDIMENTATION CONTROL DETAILS

Date	January 3, 2008	Job No.	2006-1643
Scale	None	Sheet	23/27



EXISTING CULVERT TABLE		
NAME	SIZE	STATION
C41	30"	358+28
C42	24"	380+53
C43	24"	388+45
C44	30"	391+30
CBL1	12"	0.008
* CBL2	28"	0.170
CBL3	12"	0.230
* CBL4	20"	0.398
CH1	36"	2.469
CH2	24"	2.922
CH3	15"	3.314
CH4	12"	3.205
* CJ1	14'	3.212
CJ2	36"	2.989
CJ3	18"	2.781
* Bridges (Depth Unknown)		

LEGEND	
	Existing Culvert
	Watershed Boundary
	Watershed Subarea
	Stream/Drainage Way
	Ex.Tree Row
	Ex.Pond/Wetland

REVISIONS		
MARK	DATE	DESCRIPTION



PREPARED FOR:

**JEROME VILLAGE
COMPANY, LLC**
720 E. Broad Street, Suite 300
Columbus, Ohio 43215

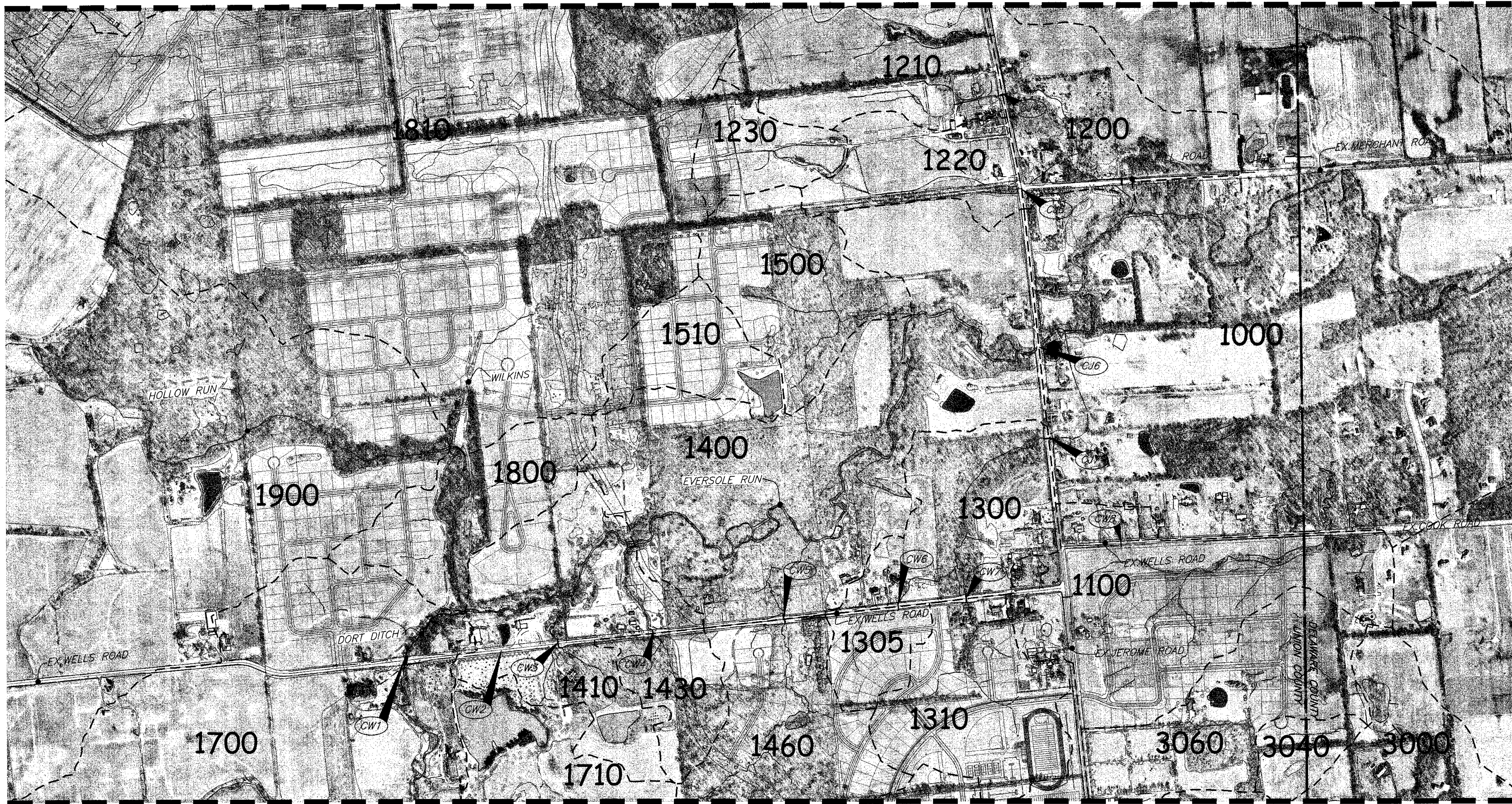
JEROME VILLAGE

COUNTY OF UNION, OHIO
PRELIMINARY PLAT
FOR
JEROME VILLAGE
STORMWATER MASTER PLAN

Date	Job No.
January 3, 2008	2006-1643
Scale	Sheet
1"=400'	24/27

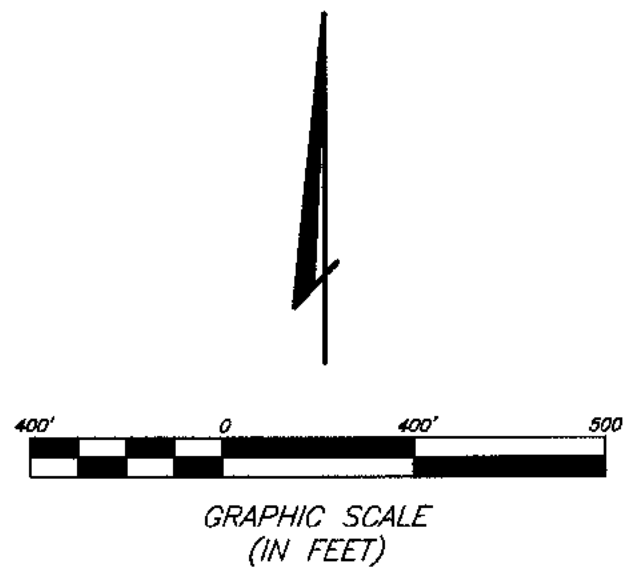
SEE CONTINUATION, SHEET 24

SEE CONTINUATION, SHEET 24



SEE CONTINUATION, SHEET 26

SEE CONTINUATION, SHEET 26



EXISTING CULVERT TABLE		
NAME	SIZE	STATION
CJ4	70"	2.472
CJ5	18"	2.338
* CJ6	36"X38.5"	2.115
CJ7	36"	1.991
CW1	42"	1.430
CW2	12"	1.572
CW3	18"	1.652
CW4	24"	1.783
CW5	21"	1.967
CW6	15"	2.215
CW7	54"	2.221
CW8	12"	2.439
* Bridges (Depth Unknown)		

LEGEND	
	Existing Culvert
	Watershed Boundary
	Watershed Subarea
	Stream/Drainage Way
	Ex.Tree Row
	Ex.Pond/Wetland

REVISIONS		
MARK	DATE	DESCRIPTION

EMH&T
Evans, Mechwart, Hambleton & Tilton, Inc.
Engineers • Surveyors • Planners • Scientists
5500 New Albany Road, Columbus, OH 43254
Phone: 614.775.4500 Fax: 614.775.4500

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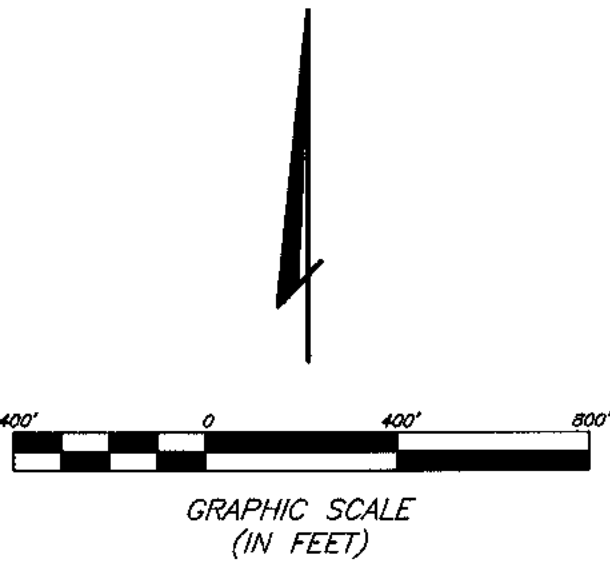
PREPARED FOR:

JEROME VILLAGE COMPANY, LLC
720 E Broad Street, Suite 200
Columbus, Ohio 43215

JEROME VILLAGE

COUNTY OF UNION, OHIO
PRELIMINARY PLAT
FOR
JEROME VILLAGE
STORMWATER MASTER PLAN

Date	January 3, 2008	Job No.	2006-1643
Scale	1"=400'	Sheet	25/27



SEE CONTINUATION, SHEET 25

SEE CONTINUATION, SHEET 25



EXISTING CULVERT TABLE		
NAME	SIZE	STATION
CBR1	12"	1.304
CBR2	12"	1.563
CBR3	48"	2.015
CBR4	30"	2.285
CBR5	12"	2.546
CBR6	15"	2.415
CBR7	24"	2.719
CBR8	18"	2.892
CBR9	15"	3.011
CJB	84"	1.088
CJ9	18"	1.057
CJ10	48"	0.891
- To be replaced in 2007.		

LEGEND	
	Existing Culvert
	Watershed Boundary
	Stream/Drainage Way
	Ex. Tree Row
	Ex. Pond/Wetland

REVISIONS		
MARK	DATE	DESCRIPTION

EMHT
Evans, Mechwart, Hambleton & Tilton, Inc.
Engineers • Surveyors • Planners • Scientists
3300 New Albany Road, Columbus, OH 43254
Phone: 614.775.4500 Fax: 614.775.4900

M C M X X V I

PREPARED FOR:

JEROME VILLAGE COMPANY, LLC
720 E. Broad Street, Suite 700
Columbus, Ohio 43215

JEROME VILLAGE

COUNTY OF UNION, OHIO
PRELIMINARY PLAT
FOR
JEROME VILLAGE
STORMWATER MASTER PLAN

Date	January 3, 2008	Job No.	2006-1643
Scale	1"=400'	Sheet	26/27

Watershed Characteristics																			
SUB AREA	Area (Acre)	RCN	TC (hr)	1 Yr. Peak Flow (cfs)	cfs/acre	2 Yr. Peak Flow (cfs)	cfs/acre	5 Yr. Peak Flow (cfs)	cfs/acre	10 Yr. Peak Flow (cfs)	cfs/acre	25 Yr. Peak Flow (cfs)	cfs/acre	50 Yr. Peak Flow (cfs)	cfs/acre	100 Yr. Peak Flow (cfs)	cfs/acre	1 Yr. Hyd. Vol. (ac-ft)	ac-ft/acre
1000	448.45	74	2.05	47.28	0.105	86.85	0.194	144.55	0.322	195.47	0.436	279.94	0.624	358.92	0.800	445.52	0.993	16.153	0.0360
1100	59.07	79	0.54	26.87	0.455	44.00	0.745	67.10	1.136	85.56	1.465	117.72	1.993	146.14	2.474	176.073	2.992	3.075	0.0521
1200	35.62	76	0.44	13.97	0.392	24.49	0.688	39.45	1.108	52.12	1.463	72.58	2.038	91.43	2.567	111.88	3.141	1.496	0.0420
1210	52.12	78	0.51	22.30	0.428	37.50	0.719	58.36	1.120	75.83	1.455	103.79	1.991	129.35	2.482	156.93	3.011	2.530	0.0485
1220	20.41	78	0.32	11.72	0.574	19.49	0.955	30.00	1.470	38.77	1.899	52.75	2.584	65.50	3.209	79.22	3.881	0.991	0.0486
1230	14.32	81	0.32	10.56	0.737	16.50	1.152	24.35	1.700	30.80	2.150	40.94	2.858	50.08	3.496	59.85	4.178	0.853	0.0595
1300	32.73	75	0.49	10.61	0.324	19.45	0.594	31.84	0.973	42.39	1.295	59.49	1.817	75.48	2.306	93.02	2.842	1.285	0.0393
1305	9.89	78	0.50	4.38	0.443	7.37	0.746	11.44	1.157	14.85	1.502	20.30	2.054	25.28	2.557	30.65	3.101	0.480	0.0486
1310	33.40	77	0.60	11.69	0.350	20.31	0.608	32.23	0.965	42.28	1.266	58.46	1.751	73.31	2.195	89.39	2.677	1.510	0.0452
1400	116.70	73	1.03	18.02	0.154	34.66	0.297	59.33	0.508	81.26	0.696	117.48	1.007	151.40	1.297	188.66	1.617	3.879	0.0332
1410	46.02	76	0.53	15.88	0.345	28.02	0.609	45.02	0.978	59.59	1.295	83.15	1.807	104.67	2.279	128.45	2.791	1.933	0.0420
1430	13.48	73	0.42	3.89	0.289	7.55	0.560	12.89	0.956	17.49	1.298	25.02	1.856	32.04	2.377	39.72	2.947	0.448	0.0332
1460	43.40	74	0.49	12.59	0.290	23.77	0.548	39.74	0.916	53.42	1.231	75.72	1.745	96.49	2.223	119.50	2.753	1.563	0.0360
1500	30.75	73	0.56	7.27	0.236	14.26	0.464	24.42	0.794	33.18	1.079	47.53	1.546	60.91	1.981	75.56	2.457	1.022	0.0332
1510	18.00	78	0.84	5.46	0.303	9.20	0.511	14.33	0.0796	18.68	1.038	25.65	1.425	32.04	1.780	38.94	2.164	0.874	0.0486
1700	405.36	76	1.25	75.05	0.185	133.52	0.329	216.31	0.0534	287.29	0.709	402.59	0.993	509.22	1.256	625.25	1.542	17.024	0.0420
1710	36.75	80	0.70	15.13	0.412	24.37	0.663	36.96	1.006	47.42	1.290	64.03	1.742	79.13	2.153	95.36	2.595	2.048	0.0557
1720	38.67	78	0.71	13.20	0.341	22.25	0.575	34.87	0.902	45.46	1.176	62.45	1.615	78.01	2.017	94.83	2.452	1.878	0.0486
1750	37.63	77	0.71	11.70	0.311	20.15	0.535	32.08	0.852	42.18	1.121	58.46	1.554	73.44	1.952	89.67	2.383	1.701	0.0452
1760	28.90	78	0.72	9.79	0.339	16.55	0.573	25.90	0.896	33.79	1.169	46.44	1.607	58.03	2.008	70.56	2.441	1.403	0.0485
1780	131.09	78	1.50	25.85	0.197	43.73	0.334	68.74	0.524	89.82	0.685	123.69	0.944	154.78	1.181	188.43	1.437	6.365	0.0486
1800	27.58	75	0.84	6.15	0.223	11.27	0.409	18.52	0.672	24.70	0.896	34.87	1.264	44.31	1.607	54.59	1.979	1.074	0.0389
1810	330.56	77	3.49	31.68	0.096	53.74	0.163	84.71	0.256	111.02	0.336	154.04	0.466	194.32	0.588	238.19	0.721	14.941	0.0452
1900	288.96	76	2.34	33.75	0.117	59.08	0.204	95.45	0.330	126.66	0.438	177.49	0.614	224.58	0.777	275.87	0.955	12.135	0.0420
1920	248.30	79	1.25	61.43	0.247	101.78	0.410	157.02	0.632	203.33	0.819	277.36	1.117	345.00	1.389	417.97	1.683	12.927	0.0521
1930	516.85	79	3.63	57.27	0.111	93.45	0.181	143.07	0.277	184.68	0.357	252.79	0.489	315.57	0.611	383.55	0.742	26.908	0.0521
1940	81.01	78	2.50	10.84	0.134	18.16	0.224	28.30	0.349	36.86	0.455	50.94	0.629	63.91	0.789	77.97	0.962	3.933	0.0485
1960	216.30	78	2.39	27.59	0.128	46.87	0.217	74.64	0.345	98.33	0.455	136.65	0.632	172.02	0.795	210.45	0.973	9.777	0.0452
2000	1965.47	77	6.78	127.61	0.065	207.35	0.105	317.84	0.162	413.80	0.211	569.17	0.290	712.64	0.363	868.69	0.442	95.427	0.0486
2200	365.50	78	3.36	39.43	0.108	65.55	0.179	101.83	0.279	132.45	0.362	182.93	0.500	229.52	0.628	280.10	0.766	17.745	0.0486
2300	101.24	78	1.16	24.21	0.239	40.80	0.403	63.75	0.630	83.03	0.820	113.93	1.125	142.67	1.409	173.78	1.717	4.915	0.0485
2310	47.07	78	0.78	15.00	0.319	25.34	0.538	39.45	0.838	51.33	1.091	70.52	1.498	88.11	1.872	107.12	2.276	2.285	0.0485
2320	252.58	79	5.17	21.69	0.086	34.94	0.138	53.23	0.211	68.93	0.273	94.19	0.373	117.41	0.465	142.56	0.564	13.150	0.0521
2350	344.00	79	4.09	35.68	0.104	58.34	0.170	89.50	0.260	115.68	0.336	157.66	0.458	196.12	0.570	237.80	0.691	17.909	0.0521
2380	37.89	79	0.97	11.38	0.300	18.74	0.495	28.71	0.758	37.10	0.979	50.95	1.335	62.95	1.661	76.28	2.013	1.973	0.0521
2390	72.71	79	1.70	14.25	0.196	23.56	0.324	36.41	0.501	47.16	0.649	64.37	0.885	80.10	1.102	97.08	1.335	3.785	0.0521
2400	174.25	76	1.17	33.92	0.195	60.55	0.347	98.02	0.563	129.90	0.745	181.51	1.042	229.16	1.315	280.97	1.612	7.318	0.0420
2420	94.57	77	0.82	26.58	0.281	45.89	0.485	72.71	0.769	95.64	1.011	132.85	1.405	167.11	1.767	204.28	2.160	4.275	0.0452
2430	61.54	78	0.77	19.91	0.324	33.59	0.546	52.48	0.853	68.41	1.112	93.94	1.527	117.34	1.907	142.62	2.318	2.987	0.0485
2440	22.68	79	0.47	11.24	0.496	18.39	0.811	28.17	1.242	36.38	1.604	49.48	2.182	61.42	2.708	74.27	3.275	1.181	0.0521
2450	105.71	78	1.53	20.46	0.194	34.77	0.329	54.54	0.516	71.18	0.673	97.92	0.926	122.44	1.158	148.98	1.409	5.133	0.0486
3000	184.87	76	1.47	30.53	0.165	53.76	0.291	86.75	0.469	114.92	0.622	161.46	0.873	204.56	1.107	251.50	1.360	7.764	0.0420
3010	13.83	80	1.14	4.00	0.289	6.51	0.471	9.88	0.714	12.68	0.917	17.13	1.239	21.18	1.531	25.54	1.847	0.771	0.0557
3040	7.83	77	1.14	3.96	0.505	6.80	0.868	10.68	1.363	13.94	1.779	19.16	2.445	23.95	3.057	29.12	3.717	0.354	0.0452
3060	38.10	77	0.85	10.41	0.273	18.03	0.473	28.56	0.750	37.45	0.983	51.92	1.363	65.36	1.715	79.95	2.098	1.722	0.0452
3100	91.59	78	1.08	23.08	0.252	38.87	0.424	60.98	0.666	79.56	0.869	109.38	1.194	136.73	1.493	166.30	1.816	4.446	0.0485
3200	14.11	83	0.26	13.35	0.946	20.17	1.429	29.06	2.059	36.28	2.571	47.55	3.369	57.64	4.084	68.38	4.845	0.957	0.0678
3210	39.00	79	0.66	15.33	0.393	25.35	0.650	38.91	0.998	50.22	1.288	68.23	1.750	84.65	2.171	102.39	2.626	2.030	0.0521
3300	23.71	78	0.60	9.14	0.386	15.50	0.654	24.18	1.020	31.45	1.327	43.10	1.818	53.76	2.268	65.27	2.753	1.151	0.0486
3400	92.46	75	1.06	17.42	0.188	31.90	0.345	52.48	0.568	70.20	0.759	99.16	1.072	126.02	1.363	155.33	1.680	3.600	0.0389
3420	44.00	78	0.61	16.76	0.381	28.13	0.639	43.72	0.994	56.93	1.294	78.09	1.775	97.46	2.215	118.38	2.691	2.136	0.0485
3425	30.12	76	0.55	10.19	0.338	18.05	0.599	28.96	0.962	38.19	1.268	53.07	1.762	66.78	2.217	81.76	2.715	1.255	0.0417
3430	105.08	77	1.38	20.04	0.191	34.57	0.329	54.84	0.522	72.35	0.689	100.64	0.958	126.72	1.206	155.04	1.475	4.749	0.0452
3440	70.44	77	1.01	16.89	0.240	29.33	0.416	46.57	0.661	61.18	0.869	84.47	1.199	106.67	1.514	130.31	1.850	3.184	0.0452

REVISIONS		
MARK	DATE	DESCRIPTION

EMH&T

Evans, Mechwart, Hambleton & Tilton, Inc.
Engineers • Surveyors • Planners • Scientists
5500 New Albany Road, Columbus, OH 43054
Phone: 614.775.4950 Fax: 614.775.4800

PREPARED FOR:

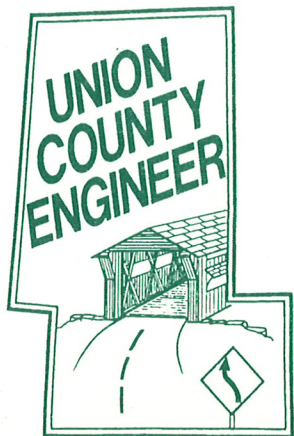
**JEROME VILLAGE
COMPANY, LLC**
720 E. Broad Street, Suite 200
Columbus, Ohio 43215

JEROME VILLAGE

COUNTY OF UNION, OHIO
PRELIMINARY PLAT

FOR
JEROME VILLAGE
STORMWATER MASTER PLAN

Date	Job No.
January 3, 2008	2006-1643
Scale	Sheet
None	27/27



STEVE A. STOLTE, PE/PS

**COUNTY ENGINEER
ENVIRONMENTAL ENGINEER**

County Office Building
233 W. Sixth Street
Marysville, Ohio 43040

(937) 645-3018
*(800) 258-8278 ext. 3018
*(inside Union County)

Fax (937) 645-3161

Email
engineer@co.union.oh.us

Website
www.co.union.oh.us

OFFICE HOURS
7:30 a.m. ~ 5:00 p.m.

**MARYSVILLE
OPERATIONS FACILITY**
16400 County Home Road
Marysville, Ohio 43040
(937) 645-3017
Fax (937) 645-3111

RICHWOOD OUTPOST
190 Beatty Avenue
Richwood, Ohio 43344

JEFFREY A. STAUCH, PE/PS
Assistant County Engineer

MARY A. SAMPSEL, PE
Assistant County Engineer
Chief Building Official

February 11, 2008

Jenny Snapp, Director
LUC Regional Planning Commission
Box 219
East Liberty, Ohio 43319

Re: Jerome Village Preliminary Plat

Dear Jenny:

We have had the opportunity to review the revised Preliminary Plat for the above-referenced subdivision, dated January 3, 2008 and recommend it be **approved with modifications**. Included in the list below are a few minor technical modifications that should be made on future documents (i.e., construction drawings, final plat).

Due to the sheer size and general nature of this plat, we have also addressed issues that can be attributed to the impact this development will have on the region. These items shall be the responsibility of the developer throughout the phased development of the subdivision. In order to record these responsibilities, we ask that all of these items be made conditions of approval of the plat.

Streets & Utilities

- 1a. The west connection of Home Road (to US 42 and Harriott Road) must be constructed at the same time Home Road is constructed inside the subdivision. The developer is responsible for land acquisition on this portion of the road, outside the subdivision boundaries.
- 1b. The east connection of Home Road (east of Jerome Road to Delaware County's Home Road) shall be constructed by the developer at the same time Home Road is constructed inside the subdivision. If assistance with land acquisition for future road r/w outside the subdivision boundaries is needed, the Union County Engineer can offer support to expedite the process. Terms of assistance shall be further defined in an Infrastructure Agreement between the developer and the County, if necessary (see additional information regarding a possible Infrastructure Agreement in Item 2a below).
- 1c. Layout and design of the east and west connections of Home Road are subject to approval by the Union County Engineer. The Home Road intersection with US 42 is also subject to approval by ODOT.

- 2a. Improvements to existing intersections in the region, not located within the subdivision, shall be constructed by the developer prior to or during construction of the associated phase (or build-out level) of the subdivision that contributes the defining amount of traffic. The required improvements are identified in the Jerome Village TIS dated: August 2006, revised Feb 2007, letter June 18, 2007 and also in the Union County Engineer/Trans Associates review letters dated March 29, 2007 and July 5, 2007. The developer may be required to enter in to an Infrastructure Agreement with Union County at a later date to further address timing of construction and/or monetary responsibility of the subject improvements.
- 2b. At any existing intersection where Jerome Village contributes 2/3 (or more) of the traffic, Jerome Village will be responsible to install 100% of the intersection improvements.
- 2c. Jerome Village is responsible to install the new roadway and intersection network, as shown on the Preliminary Plat.
- 2d. If improvements are warranted for an existing intersection, and it changes the nature of the intersection (i.e., adds a traffic signal, etc.), Jerome Village will be responsible to add turn lanes and/or provide widening at the intersection.
3. The developer will be required to have a specialized sub-consultant review all roundabout designs. Sub-consultant selection shall be submitted to and approved by the County Engineer.
4. Provisions shall be made in the Community Authority to allow for the mowing, regular maintenance, and repair of grass, trees, plants, stormwater facilities, etc. located in medians within the road r/w.
5. Road r/w width for Joshua, Ewing, and James Roads shall be shown as 100' on future documents.
6. Existing drives at the following locations may need to be moved or relocated on to proposed new roads within the subdivision:
 - a. 12359 Jerome Road
 - b. 11591 Jerome Road
 - c. 10611 Jerome Road
 - d. 7530 Brock Road
 - e. 7460 Brock Road
 - f. additional locations may be identified as local road locations are determined throughout developmentThe developer is responsible to contact the existing homeowners, coordinate the new drive location, and construct the driveway. Location and material type for the new drive shall be approved by the County Engineer.
7. Off-site sanitary sewer and water line connections are not shown, due to continued negotiations with the service provider (City of Marysville). When final layouts are determined, both interim and final, they shall be submitted to LUC and the County Engineer as supplemental documents for reference during construction plan review and final plat review.
8. Approval of this Preliminary Plat for the overall network does not in any way relieve Jerome Village Development of the responsibility for infrastructure improvements not shown on the plat. Items not shown on the plat at this time, such as, but not limited to, sanitary sewer connections, water line connections, and off-site traffic improvements will be addressed in subsequent Preliminary Plats for the subdivision.

General

9. Prior to approval of the Final Plat, the Developer may be required to execute a Ditch Petition Agreement with Union County, placing stormwater infrastructure and facilities, outside of the road r/w, under County Maintenance.
10. Provide date of survey.
11. Show easements on final plat for utility companies (URE, Ohio Edison, Verizon, Columbia Gas, Time Warner).
12. Label existing road r/w for Wells Road on future drawings.

Deed Restrictions to be Placed on the Final Plat

13. Sequence of subdivision construction shall be approved by the Union County Engineer.
14. Open spaces, whether existing or created during platting of a pod, or during development of a commercial, residential or other type lot, shall be connected as much as possible to the open space dedicated along Hyland-Croy Road. Connections shall be directly adjacent to the open space along Hyland-Croy or, if the open spaces do not have adjacent property lines, connection shall be made through a contiguous open space, where possible.
- 15a. The "blanket restrictions" listed on the Access Management Plan shall be restated on the Final Plat.
- 15b. Future local road locations are subject to approval by the Union County Engineer. Final location and design shall be submitted to and approved by the County Engineer prior to platting of lots, groups of lots, or pods.
16. Stormwater calculations performed for each subarea/pod shall use the watershed characteristics identified in the Preliminary Plat.
17. Add Union County Standard Deed Restrictions:
 - a. Residential & Commercial – 1 thru 5, 6a, 7, 8
 - b. Residential Only – 11
 - c. Commercial Only – 17, 19, 21 thru 23
 - d. Misc – 24, 25, 28 (insert applicable names in 25 & 28)

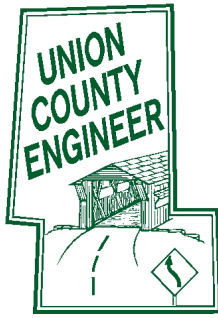
In accordance with Sections 317 through 326 of the Union County Subdivision Regulations, additional information is required from the developer prior to further document approvals, construction, and/or filing of the Final Plat. It is the responsibility of the developer to become familiar with the regulations and file requisite information within the time frames outlined in the regulations.

Sincerely,



Joanna M. Pinkerton, PE
Project Engineer

xc: Steve Stolte
Jeff Stauch
Randy Loebig
Thom Ries
Bob Scheiderer



**County Engineer
Environmental Engineer
Building Department**

233 W. Sixth Street
Marysville, Ohio 43040
P 937. 645. 3018
F 937. 645. 3161
www.co.union.oh.us/engineer

Marysville Operations Facility

16400 County Home Road
Marysville, Ohio 43040
P 937. 645. 3017
F 937. 645. 3111

Richwood Outpost

190 Beatty Avenue
Richwood, Ohio 43344

January 31, 2018

Public Service with integrity

Bradley Bodenmiller
LUC Regional Planning Commission
Box 219
East Liberty, Ohio 43319

Re: Jerome Village – Master Development
Preliminary Plat Extension

Brad,

In response to the developer's request to extend the above preliminary plat, our office has reviewed the previous conditions for the original approval of said plat. Based on this review, we recommend that the extension be granted pursuant to the attached comments from our office, dated February 11th, 2008.

In accordance with the Subdivision Regulations of Union County, additional information is required from the developer prior to final plat approvals. It is the responsibility of the developer to become familiar with the regulations and file requisite information within the time frames outlined in the regulations. Should you have any questions or concerns, feel free to contact me at (937) 645-3165.

Bill Narducci

Bill Narducci, P.E.
Assistant County Engineer
Union County Engineer

Enc: UCE Preliminary Plat Comment Letter from 2008



Zoning & Subdivision Committee
Thursday, February 8, 2018

The Zoning and Subdivision Committee met in regular session on Thursday, February 8, 2018 at 12:45 pm at the LUC East Liberty Office.

Zoning & Subdivision Committee Members were in attendance as follows: Brad Bodenmiller, Tyler Bumbalough, Scott Coleman, Wes Dodds, Chad Flowers, Dave Gulden, Charles Hall, Mark Mowery for Steve McCall, Heather Martin, Tammy Noble for Vince Papsidero, Luke Sutton for Jeff Stauch and Andy Yoder. Absent members were Bill Narducci and Tom Scheiderer.

Guests included: Adam Moore, City of Urbana; Justin Wollenberg, Terrain Evolution; Craig Hebebrand, Arcadis US, Inc; Justin Madera, Arcadis US, Inc.

Scott Coleman chaired the Zoning & Subdivision Committee Meeting.

Charles Hall moved a motion to approve the minutes from the January 11, 2018 meeting as written and Wes Dodds seconded. All in favor.

1. Review of Jerome Village Preliminary Plat Extension (Union County) – Staff Report by Brad Bodenmiller
 - Tyler Bumbalough – did they extend it in 2016?
 - Justin – yes it was extended then.
 - Justin Wollenberg – 60% of that original plan has been platted so far. Most commercial and town center area has not been submitted as individual preliminary plats. Is this preliminary necessary to keep coming back since we do a preliminary on each individual phase? We're fine with continuing to come back but there's been some minor changes. Is this still a valuable preliminary plat to continue renewing or should it just expire and continue forward with individual plats?
 - Brad – part of the benefit of doing it is that whatever the subdivision regulations are in place, you can argue that it applies to this; maybe going forward from this point, it expires.
 - Justin – in two years all the residential should be completed, but the commercial will probably be a longer time. Maybe in two years it's something that can be revisited.
 - Wes Dodds moved a motion to recommend approval of the Jerome Village Preliminary Plat Extension and Charles Hall seconded. All in favor.



Logan-Union-Champaign regional planning commission

2. Review of Jerome Village VN-3 Preliminary Plat (Union County) – Staff Report by Brad Bodenmiller
 - Brad Bodenmiller – The developer submitted a request to table this submittal.
 - Andy Yoder moved a motion to recommend accepting of the request to table Jerome Village VN-3 Preliminary Plat and Tyler Bumbalough seconded. All in favor.

The Zoning and Subdivision Committee adjourned at 12:53 pm with Mark Mowrey moving the motion to adjourn and Andy Yoder seconding. All in favor.

10820 St. Rt. 347, PO Box 219

East Liberty, Ohio 43319

• Phone: 937-666-3431 •

• Email: luc-rpc@lucplanning.com • Web: www.lucplanning.com