



Logan-Union-Champaign regional planning commission

Dave Gulden, AICP
Director

Jim Holycross
President

Jeremy Hoyt
Vice-President

Dave Faulkner
2nd Vice-President

Robert A. Yoder
Treasurer

Zoning & Subdivision Committee

Thursday, April 13, 2017

12:30 pm

- Minutes from last meeting of March 9, 2017
- 1. Review of Darby Braeside Preliminary Plat Extension (Union County) – Staff Report by Brad Bodenmiller
- 2. Review of Millcreek Township Zoning Parcel Amendment (Union County) – Staff Report by Brad Bodenmiller
- 3. Review of Zane Township Zoning Parcel Amendment (Logan County) – Staff Report by Brad Bodenmiller

Members:

Tyler Bumbalough – City of Urbana Engineer
Scott Coleman – Logan County Engineer
Weston R. Dodds – City of Bellefontaine Code Enforcement
Chad Flowers – City of Marysville Planning
Charles Hall – Union County Commissioner
Steve McCall – Champaign County Engineer
Bill Narducci – Union County Engineer's Office
Vince Papsidero – City of Dublin Planning Director
Tom Scheiderer – Jefferson & Zane Township Zoning Inspector
Jeff Stauch – Union County Engineer
Robert A. Yoder – North Lewisburg Administrator
Dave Gulden – LUC
Heather Martin – LUC
Brad Bodenmiller – LUC

9676 E. Foundry St, PO Box 219
East Liberty, Ohio 43319

• Phone: 937-666-3431 • Fax: 937-666-6203
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Logan-Union-Champaign regional planning commission

Staff Report – Darby Braeside

Applicant:	<p>Darby Braeside LLC c/o Wayne Ballantyne 1119 Regency Drive Columbus, OH 43220 wayneballant@gmail.com</p> <p>Pizzino Engineering / Diamond V Surveying c/o Bill Pizzino / Steve 9496 State Route 161 / 8205 Smith Calhoun Road Plain City, OH 43064 pizzinoeng1@gmail.com / steve.l@diamondvllc.com</p>
Request:	Approval of the Darby Braeside Preliminary Plat Extension for a period of two (2) years.
Location:	Located west of State Route 736, east of the Big Darby Creek, and between Robinson Road and US State Route 42 in Jerome Township, Union County.

Staff Analysis:	<p>This Preliminary Plat Extension is for the Darby Braeside Preliminary Plat. This subdivision involves 152.867 acres and proposes 48 lots for single family residential development. The applicant has requested an additional two-year extension.</p> <p>Proposed utilities:</p> <ul style="list-style-type: none">○ Private, on-site septic systems○ Private, on-site wells <p>Preliminary Plat:</p> <ul style="list-style-type: none">○ The Darby Braeside Preliminary Plat was originally approved in June of 2015. <p>• Union County Engineer's Office</p> <ul style="list-style-type: none">○ The Engineer's Office's recommended the Preliminary Plat be extended with the modifications recommended in the previously approved Preliminary Plat Extension letter, dated 06-05-2015. <p>• Union County Soil & Water Conservation District</p> <ul style="list-style-type: none">○ No comments as of April 6, 2017.
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	<ul style="list-style-type: none">• Union County Health Department<ul style="list-style-type: none">○ No comments as of April 6, 2017.• City of Marysville<ul style="list-style-type: none">○ No comments as of April 6, 2017.• Village of Plain City<ul style="list-style-type: none">○ No comments as of April 6, 2017.• Jerome Township<ul style="list-style-type: none">○ No comments as of April 6, 2017.• Darby Township<ul style="list-style-type: none">○ No comments as of April 6, 2017.• ODOT District 6<ul style="list-style-type: none">○ No comments as of April 6, 2017.• Union Rural Electric/URE<ul style="list-style-type: none">○ No comments as of April 6, 2017.• LUC Regional Planning Commission<ul style="list-style-type: none">○ All 06-16-2015 comments from reviewing agencies and the approval with conditions remain effective (§ 318).
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Staff Recommendations:	LUC Staff recommends APPROVAL of the Darby Braeside Preliminary Plat Extension with the condition that all comments from LUC and reviewing agencies, including the 06-16-2015 LUC approval, shall be incorporated into the Construction Drawings and the Final Plat. The developer shall ensure that prior to plat submittals, all requirements and items outlined in the Union County Subdivision Regulations are incorporated <i>prior</i> to submittal.
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Z&S Committee Recommendations:	
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Logan-Union-Champaign regional planning commission

Director: Dave Gulden, AICP

Application for Preliminary Plat Approval

Date: 3/7/17

Name of Subdivision: DARBY BRAESIDE

Location: 8673 SR 736 PLAIN CITY, OHIO 43064

Township: JEROME

Military Survey: _____

Complete Parcel(s) Identification Number (PIN): 1500160020000 & 4100170230000

Have **ALL** Sketch Plan review letters been obtained? YES (Engineer, SWCD, Board of Health)

Name of Applicant: DARBY BRAESIDE LLC

Address: 1119 REGENCY DRIVE

City: COLUMBUS

State: OHIO Zip: 43220

Phone: 614-406-7514 Fax: 614-457-5411 Email: wayneballant@gmail.com

Name of Owner of property to be subdivided: DARBY BRAESIDE LLC

Address: 1119 REGENCY DRIVE

City: COLUMBUS

State: OHIO Zip: 43220

Phone: 614-406-7514 Fax: 614-457-5411 Email: wayneballant@gmail.com

Name of Applicant's Surveyor or Engineer: DIAMOND V SURVEYING AND/OR PIZZINO ENGINEERING

Address: 8205 SMITH CALHOUN RD/9496 ST RT 161

City: PLAIN CITY

State: OH

Zip: 43064

Phone: 614-325-2462

Fax: _____

Email: steve.t@diamondvllc.com
pizzinoeng1@gmail.com

Proposed Acreage to be Subdivided: 152.867

Current Zoning Classification: U1

Proposed Zoning Changes: U1

Proposed Land Use: SINGLE FAMILY RESIDENTIAL

Development Characteristics

Number of proposed lots: 48

Typical lot width (feet): 250

Number of proposed units: 48

Typical lot area (sq. ft.): 90,000

Single Family Units: 48

Multi-Family Units: NO

Acreage to be devoted to recreation, parks or open space: 36.72 ACRES RESERVE

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Preliminary Plat Review Checklist

#	Required Item Description	Have	Need
1	Drawn at a scale not less than 1:100 and shall be on one or more sheets 24" X 36"	X	
2	Proposed name of the subdivision, which shall not duplicate or closely approximate the name of any other subdivision in the county.	X	
3	Location by section, range, and township or Virginia Military Survey (VMS).	X	
4	Names, addresses and telephone numbers of the owner, subdivider, and professional surveyor or professional engineer who prepared the plat; and the name, address and telephone number of the professional surveyor who performed the boundary survey.	X	
5	Date of survey.	X	
6	Scale of the plat, north point, and date.	X	
7	Boundaries of the subdivision and its acreage.	X	
8	Names of adjacent subdivisions, owners of record of adjoining parcels of unsubdivided land, and the location of their boundary lines.	X	
9	Locations, widths, and names of existing streets, railroad rights-of-way, easements, parks, permanent buildings, and corporation and township lines; location of wooded areas and other significant natural features; soil types and soil type limits; limits of Flood Hazard zones.	X	
10	Zoning classification of the tract and adjoining properties.	X	
11	Existing contours (USGS datum) at an interval of not greater than two feet if the slope of the ground is fifteen percent or less; and not greater than five feet where the slope is more than fifteen percent.	X	
12	Existing sewers, water and gas mains, culverts and other underground structures, and electric and telephone poles and lines and other above ground structures within and adjacent to the tract.	X	
13	Layout, names and widths of proposed streets and easements.	X	
14	Building setback lines with dimensions.	X	
15	Layout and dimensions of all proposed water and sewer lines, showing their connections with the existing systems, and all proposed easements for utility, water and sewer lines.	x	
16	Layout, numbers and approximate dimensions of each lot. When lots are located on a curve or when side lot lines are not at ninety degree angles, the width at the building line shall be shown, if it is less than the frontage width. Location of access from lots to the proposed streets shall be shown.	X	
17	Parcels of land to be reserved for public use or to be reserved by covenant for residents of the subdivision.	X	



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18	The limits of all Flood Hazard Areas (zone A, AE, B, and X) as determined by the Federal Emergency Management Agency (show the FEMA map number and date). The Base Flood Elevation shall be determined and shown. Minimum first floor elevations shall be shown for all lots located within Flood Hazard Areas.	X	
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Supplementary Information			
19	Statement of proposed use of lots, giving the type and number of dwelling units; and type of business or industry if use is not residential.SEE ATTACHED	X	
20	Description of proposed covenants and restrictions.SEE ATTACHED	X	
21	Description of proposed zoning changes. SEE ATTACHED	X	
22	Typical sections and tentative profiles of streets and other related improvements as required in Article 5. Calculations as required to justify horizontal and vertical curves, pipe sizes, etc. The County Engineer shall have approved the layout and design of the lots, streets and other improvements prior to the Preliminary Plat approval.	X	
23	A preliminary drainage plan which shall identify adequate drainage outlets and shall contain adequate measures for control of erosion and siltation and for surface water management in accordance with Article 5 and the Technical Design Standards. The County Soil and Water Conservation District shall have approved the preliminary drainage plan prior to Preliminary Plat approval.	X	
24	If the subdivider proposes individual household sewage systems, the County Board of Health or the OEPA shall have approved the use of individual household sewage systems prior to the Preliminary Plat approval.	X	
25	If the subdivider proposes individual household wells, the subdivider shall supply evidence acceptable to the County Board of Health of the availability of satisfactory water. The County Board of Health or the OEPA shall have approved the use of individual household wells prior to the Preliminary Plat approval.	X	
26	Letters from utility companies, as required, indicates approval of easement locations and widths prior to the Preliminary Plat approval.	X	
27	A vicinity map at scale of generally not more than six thousand feet to an inch shall be shown on, or shall accompany, the Preliminary Plat. This map shall show all existing subdivisions, roads, and tract lines, together with the names of the owners of land immediately adjoining the proposed subdivision and between it and the nearest existing thoroughfares. It shall also show the most advantageous connections between the roads in the proposed subdivision and those of the neighboring areas.	X	
28	Preliminary Plat Fees: Payment/Check made out to LUC Regional Planning Commission, based on the current fee schedule.	X	

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ATTACHEMENT TO APPLICATION FOR PRELIMINARY PLAT EXTENSION
DARBY BRAESIDE

- 19.A Proposed Use of Lots: Single family residential
- 19.B Number of Dwelling Units: 48
- 20. Description of Proposed Covenants and Restrictions: Attached
- 21. Description of Proposed Zoning Changes: None

ATTACHEMENT TO APPLICATION FOR PRELIMINARY PLAT EXTENSION
DARBY BRAESIDE

- 19.A Proposed Use of Lots: Single family residential
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- 20. Description of Proposed Covenants and Restrictions: Attached
- 21. Description of Proposed Zoning Changes: None

DARBY BRAESIDE

**Development Standards
and Design Guidelines**

Darby Braeside

On the banks of the Big Darby Creek.

As the last development permitted on the now-protected Big Darby Creek, Darby Braeside is an extraordinary gated community, thoughtfully created to capture the rural sophistication of Union County.

614.282.7555 | DarbyBraeside.com | Live@DarbyBraeside.com

8673 SR 736 | Plain City, Ohio 43064



Introduction and Design Intent

The following Design Guidelines are provided as reference for the architectural and landscape designs of home in Darby Braeside.

Architectural Scaling

All “primary structures” shall be all natural brick, stone or clapboard, and stucco shall be used in moderation. The height, form and scale of architectural elements shall follow American architectural styles and move subtly between the historic and the modern.

Architectural elements include, but are not limited to:

- Windows
- Doors
- Columns
- Shutters
- Hyphens
- Pavilions

American architectural styles include:

- Georgian
- Farmhouse
- Colonial
- English Country
- Country French
- Coastal

General Notes

Each lot in Darby Braeside is unique and may have unique architectural guidelines.

Prior to submittal of architectural plans, a concept meeting with the Darby Braeside Architectural Review Board (DRB) shall be required for purchasers of lots in Darby Braeside. This service is offered to all purchasers of lots, builders and architects.

Final architectural and preliminary landscape plans are required to be formally submitted, reviewed and approved by DRB prior to commencement of construction and installation of materials related to the home’s construction. Architectural designs will be reviewed within 30 days of receipt of the Architectural Review Submittal Form, plans and the Architectural Approval Fee of \$800.

Final landscape plans must be formally submitted for approval a minimum of 30 days prior to installation of any related materials. Landscape designs will be reviewed within 21 days of receipt of final plans and the Landscape Approval Fee of \$300.

Failure to submit required plans and forms is a violation of Design Guidelines and may result in the issuance of a Stop Work Order and other measures deemed necessary by DRB.

Subject to change without notice.

DARBY BRAESIDE

B. SINGLE FAMILY LOT DEVELOPMENT STANDARDS

1. Single Family Lot Development Matrix		LOT TYPE		
		Main Drive Lots	Cul de sac Lots	Creek Side Lots
Primary Structure and Garages	Build-To-Zone			
	Front Setback ^{1,2}	80 feet as indicated on Final Plat		
	Side Setback ³	20 feet		
	Rear Setback	30 feet		
	Ranch-Min. Bldg. SF ⁷	2,500 sq. ft.	2,500 sq. ft.	2,500 sq. ft.
	2, 2 ½ Story-Min. Bldg. SF ⁷	2,800 sq. ft.	2,800 sq. ft.	2,800 sq. ft.
	Max Lot Impervious Coverage ⁵	45%		
	Architectural Styles	Rural, sophisticated and blending with the environment. See Architectural Pattern Book (or example character images)		
	Special Architectural Treatment	As corner lots or lots terminating views or vistas, the following lots will be held to a higher architectural standard by the DRB: 1, 9, 12,15, 16, 27, 28, 35, 36, and 37		
Garage and Auto-court	Garage Door Max. Width	10 feet	10 feet	10 feet
	Cars Min/Max (Attached to house)	2 / 4 (6)	2 / 4 (6)	2 / 4 (6)
	Front Setback	See garage setback standards		
	Side Driveway Setback	10 feet	10 feet	10 feet
	Rear Driveway Setbacks	30 feet	30 feet	30 feet
	Driveway Max Width	16 feet	16 feet	16 feet
	Auto-court Max Width ⁶	25 feet	25 feet	25 feet
	Driveway Materials	Permitted: Asphalt, crushed limestone, decomposed granite, tar and chip, pavers or any approved combination with hard surface apron per county specifications.		
	Driveway Apron Materials	Concrete or Pavers		
	Auto-court Materials	Permitted: Concrete, asphalt, crushed limestone, decomposed granite, tar and chip or any approved combination with hard surface apron per county specifications.		

		LOT TYPE		
		Main Drive Lots	Cul de sac Lots	Creek Side Lots
Accessory Buildings	Front Setback ^{1,2}	80 feet and within the Build-To Zone		
	Side Setback ³	20 feet		
	Rear Setback	30 feet		
	Max Number of Buildings	3	3	3
	Max Aggregate Building SF	1,750 sq. ft.		
	Accessory Building Materials	All accessory buildings shall be consistent with building architecture and materials.		
	Architectural Styles	This architectural style shall capture the rural sophistication of Union County, incorporate American architectural styles and blend with the environment. See Architectural Selection Portfolio.		
	Existing Trees	Existing trees shall be preserved as much as possible. Home siting shall attempt to preserve existing trees. See Landscape Section for preservation and replacement procedures.		

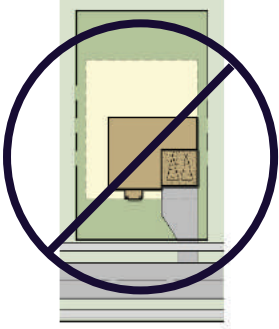
1. Corner Lots apply front setback lines to both street frontages.
2. Orientation of homes on lot is subject to DRB approval.
3. Side setbacks are required to be approximately equal excluding easements.
4. Homes greater than 2 stories or 35 ft require DRB approval. Note on application.
5. Impervious lot coverage shall include structures, parking, auto-courts, driveways (except pervious gravel), pedestrian walks, patios (except decks) and other hard surfaces or paved areas.
6. Excludes garage and porch width.
7. House size should not exceed 20% of the total lot size.

DARBY BRAESIDE

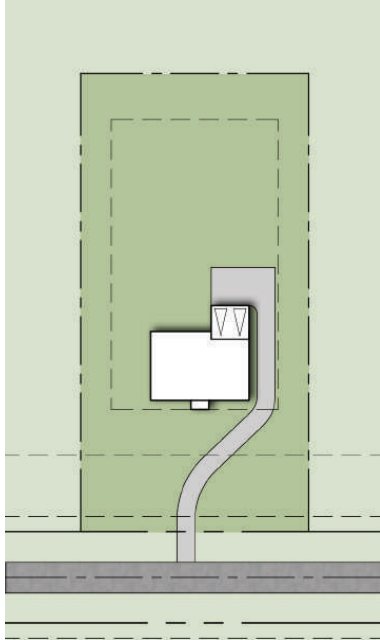
4. Single Family Building Placement and Orientation

Example House & Garage Orientations

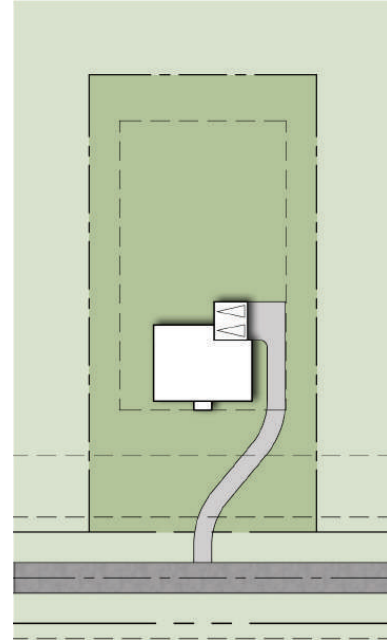
Front Load Garage
Prohibited



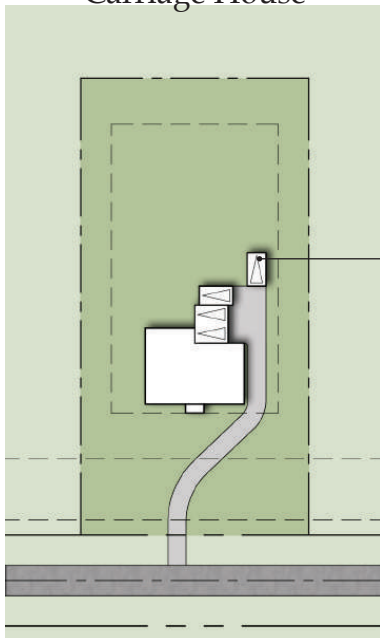
Rear Load



Side Load

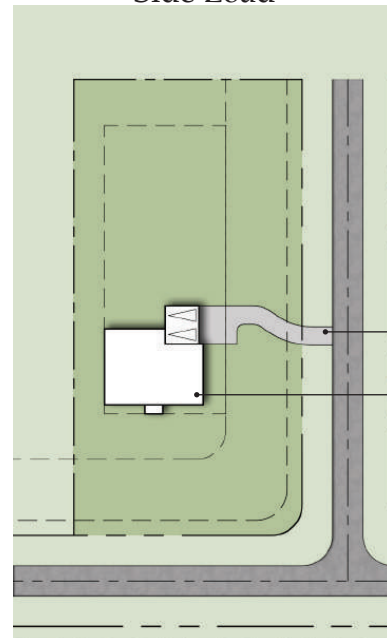


Side Load with 4th Car
Carriage House



Optional 4th Car,
Detached, Carriage-
Style

Corner Lot
Side Load

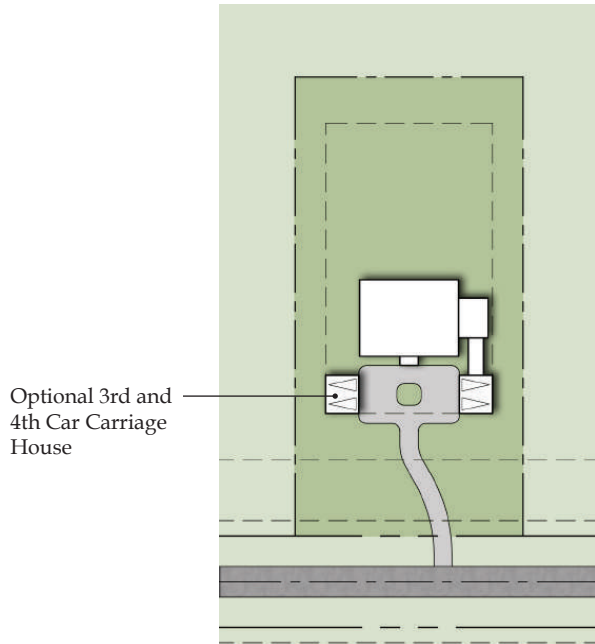


Secondary Street
Access Preferred
Garage Access
at Corner
Prohibited

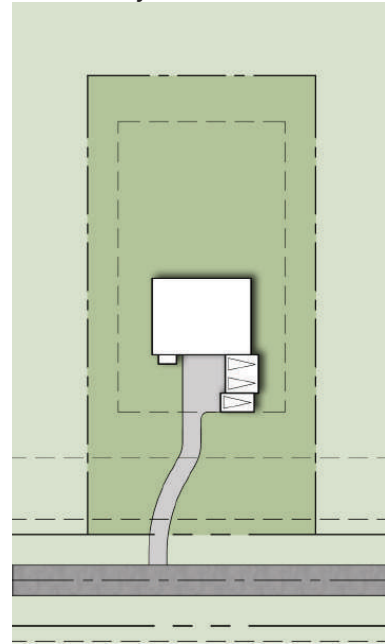
DARBY BRAESIDE

Example House & Garage Orientations

Courtyard Side Load with
3rd and 4th Car Carriage
House



Courtyard Side Load



DARBY BRAESIDE

5. Single Family Architecture Requirements

All homes should follow traditional historic examples as outlined in the Darby Braeside Pattern Book. Style and character can follow historic examples without being literal duplications, applied in a Neo-traditional manner. Diversity of architectural styles is encouraged in order to provide visual interest and distinctive character through out Darby Braeside. The following matrix outlines architectural requirements that must be incorporated into all home designs and subject to DRB approval. All four elevations should meet the same level of design, including use of water tables, trim, and materials.

	Configuration	Materials	Technique & Colors
Building Walls and Elements	<ul style="list-style-type: none"> Walls must consist of natural or natural appearing materials. Glass openings should be between 20% of the entire wall. Siding should be traditional profiles such as 4"-8" horizontal beveled. Brick shall be laid in a traditional masonry pattern. Stone should be laid in a random ashlar pattern. Brick or stone facing on the full front of home is required to also be on the side elevations or terminate at an appropriate location. Building elements should be based on traditional historic examples. Refer to the Pattern Book. Blank or empty side elevations are not permitted. Exposed concrete or block foundations shall not be permitted. Visible foundations shall be finished with veneer, brick, or stone. Paint shall not be an acceptable finish. Another style appropriate material may be used with DRB approval. Decks, patios, and exit stairs must be submitted for DRB approval, with materials noted. 	<ul style="list-style-type: none"> Brick shall be earth tone colors in standard sizes, see selection. Stone shall be natural or simulated material, see selection. Precast concrete with the appearance of traditional limestone shall be permitted. Stucco and EIFS shall be used only in moderation and shall not be permitted on the ground level. Stucco and EIFS must be detailed to look like traditional cornices, soffits, etc. Stucco is only permitted as a primary building material on Italianate style homes and requires DRB approval. Siding shall be wood or simulated wood (vinyl and aluminum siding shall be prohibited). See selection. Columns, cornices, and similar elements should be of natural materials or simulated natural materials, such as wood, brick or stone. See selection. 	<ul style="list-style-type: none"> Brick may have the appearance of painted or "washed" if in context with the architectural theme being portrayed and only in limited situations. Wall colors should be appropriate to the architectural style of the home. Diversity of color is encouraged throughout the development. High chroma, bright colors should be avoided. Homes with brick or stone on the front elevation shall include a matching brick or stone plinth on side elevations with a minimum height of 24 inches. Exposed PVC, such as for vents, utility service, etc., is required to be located on the rear elevation or the rear half of a side elevation and be painted to match the color of adjacent materials and finishes.

	Configuration	Materials	Technique & Colors
Windows, Garages & Doors	<ul style="list-style-type: none"> All windows and doors are required to have trim, with the exception of facades composed of masonry. Garages are required to be side loaded and any additional garage space above 4 cars must be provided with a detached carriage house, except courtyard where a 3 and 3 configuration is acceptable. Style appropriate carriage doors are required on all garages. All carriage doors require glazing and style appropriate details. 	<ul style="list-style-type: none"> Glazing, wood trim, wood grids. Wood with aluminum or vinyl clad are acceptable. Glass shall be clear. Windows only on garage doors or into bathrooms may be clear, frosted, tinted, or stained glass. Front doors shall be of a style appropriate to the style of the house. Garage doors may be natural or synthetic materials with natural appearance. 	<ul style="list-style-type: none"> Grids and windows shall be appropriate in style to the house. Windows shall be consistent on all four sides
Roofs & Fireplaces	<ul style="list-style-type: none"> Sloped roof are required on all homes. Pitched roofs shall have 8" overhangs, or as appropriate for the style of the house. Doghouse and cantilevered chimneys shall be prohibited. 	<ul style="list-style-type: none"> Natural or simulated slate or tile. Dimensional shingles (40-50 year). Wood shakes Copper. Single-ply membrane roofs allowed when hidden from public view. Painted metal 	<ul style="list-style-type: none"> Use of cornice lines are encouraged. Bright colored roofs are not allowed.
Lighting	<ul style="list-style-type: none"> All lighting is to be directed downward. Sconce lights shall not be mounted higher than 7' above finished floor elevation. Porch light fixtures shall not be mounted higher than 12' above finished floor elevation. Lamp posts shall be located within 20' of the house and shall not encroach into sideyard setbacks Site lighting shall be downlights and full cut-off. Spotlights and floodlights shall be attached to the house. Uplights shall be prohibited. Landscape uplighting may be permitted with DRB approval. 	<ul style="list-style-type: none"> Antiqued and painted materials including brass, steel, aluminum and copper are acceptable. Fixtures with exposed bulbs are not permitted. 	<ul style="list-style-type: none"> Lighting should display a uniform, comfortable and warm appearance.

C. SINGLE FAMILY LOT LANDSCAPE DESIGN STANDARDS

1. Residential Neighborhood Landscape Standards

Design Intent: Purpose and design intent of this subchapter is to outline design quality parameters for the residential sub areas throughout Darby Braeside, as well as promote the preservation and replacement of trees removed through development. These guidelines are provided as recommendations for various site conditions and design elements. The following matrix identifies the specific minimum site design and landscaping requirements. All site layouts and planting plans shall be subject to design review and approval by the DRB prior to any site work or installation. Landscape plans must be submitted indicating landscaping for the entire lot, including required landscaping, utility screening, and intended outdoor living areas such as patios or decks and play equipment. All side entry garages must be screened from adjacent lots. The landscape plans exclusive of seed/sod, and irrigation systems should cost a minimum of \$10,000.



2. Single Family Lot Zone Diagram



Street Zone is the 50 foot setback from street right-of-way that is reserved for street trees and meadow grasses that help to develop the character of the community and will be designed, installed, and maintained by the developer or Home Owners Association. Areas defined as mowed turf shall be maintained by the lot owner.

Front Yard Zone is the area between the 50 foot setback line of the Street Zone to the front line of the primary structures. See Landscape Requirements 2 a. Foundation Planting, 2 c. Additional Foundation Planting and 4. Trees.

Side Yard Zone is the area between the front and rear corner of the primary structures to the side lot lines. See Landscape Requirements 2 b. Secondary Foundation Planting, 2 c. Additional Foundation Planting and 4. Trees.

Rear Yard Zone is the area between the rear line of the primary structures to the rear lot line.

Build-To Zone is the 90 foot area, 80 to 140 feet from the street right of way, designated for placement of the front building lines and can vary within this range.

DARBY BRAESIDE

3. Single Family Lot Development Matrix

Landscape Requirements	Main Drive Lots	Cul de sac Lots	Creek Side Lots
1. Lot Entries			
a. Driveways	Driveways shall not exceed sixteen feet in width (excluding auto-courts). Drive-way gates, piers, and lights shall be prohibited within any front or side yard setback.		
b. Auto-courts	Auto-courts of side-loaded garages shall be screened from the street and from adjoining lots with a 4 foot screen consisting of hedge, plantings, decorative fence, or walls complimentary with building architecture and materials.		
2. Landscaping			
a. Foundation Planting: Primary Street Frontage	<ul style="list-style-type: none">A planting bed shall be provided along the length of the entire elevation fronting a primary street, except for locations of doors and garage access and shall be a minimum depth of 6 feet at any point.The planting beds shall have one (1) ornamental tree and a continuous, full coverage planting of shrubs at minimum size at installation. Plantings shall be a mix of small and intermediate sizes, a mix of species, and a mix of evergreen and deciduous materials.Planting should be designed to coordinate with the architectural features of the adjoining building elevations.		
b. Secondary Foundation Planting: Corner lots, secondary street frontage, or other side elevations with exposed views (per DRB) <i>The landscape plan must be approved by the DBR.</i>	<ul style="list-style-type: none">A planting bed shall be provided along the length of the entire elevation fronting a secondary street, except for locations of doors and garage access and shall be a minimum depth of 3 feet at any point.The planting beds shall be a continuous, full coverage planting of shrubs at minimum size at installation. Plantings shall be a mix of small and intermediate sizes, a mix of species, and a mix of evergreen and deciduous materials.Planting should be designed to coordinate with the architectural features of the adjoining building elevations.Corner lots, lots adjoining common open space, and lots that terminate streets or prominent vistas will be held to a higher standard of design and may be required to provide additional landscaping to meet DRB approval.		

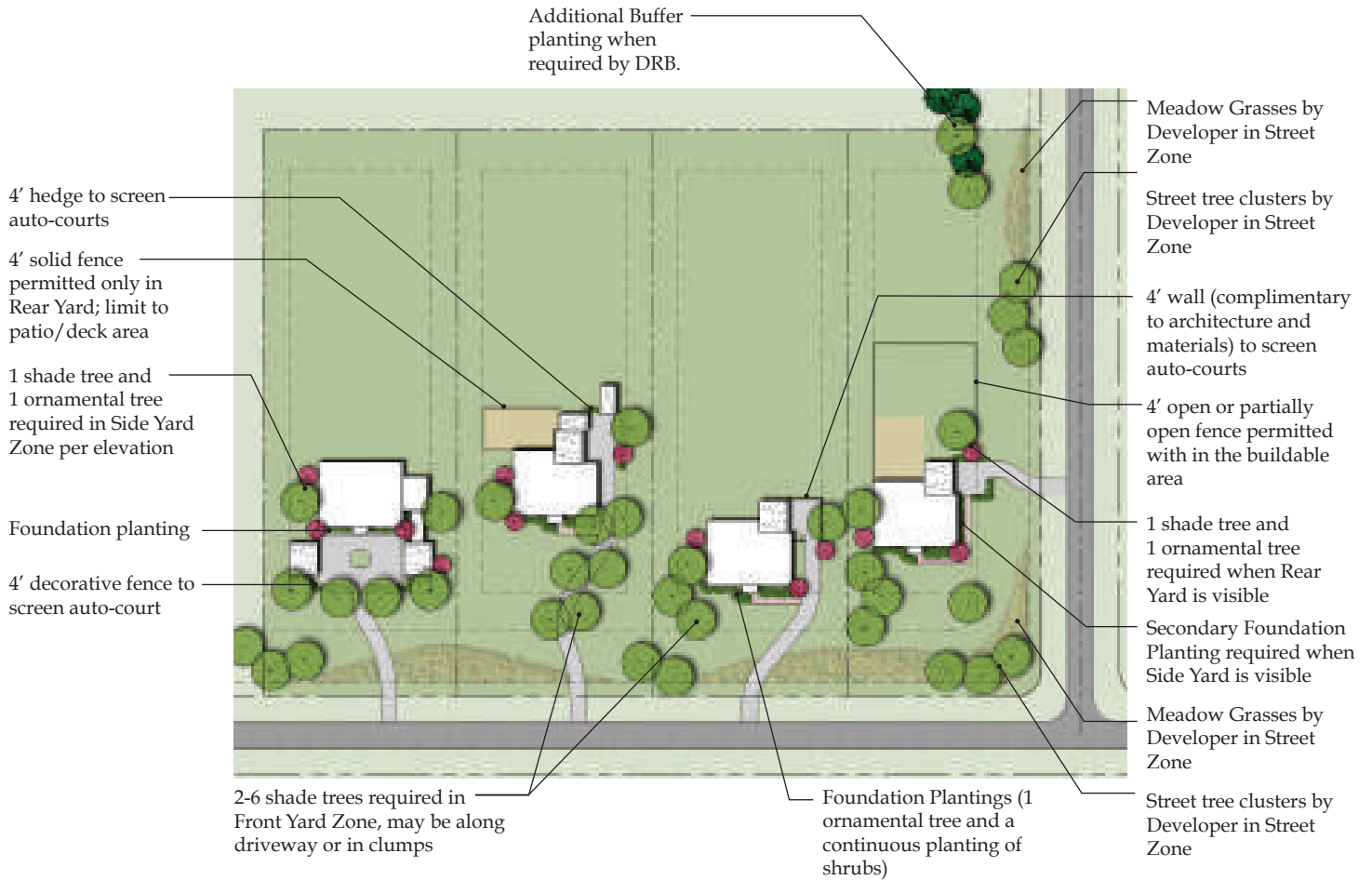
Landscape Requirements	Main Drive Lots	Cul de sac Lots	Creek Side Lots
c. Foundation Planting: Minimum Plant Quantities	The Landscape Plan must be approved by the DRB.		
d. Foundation Planting: Additional Plant Qualities	The Landscape Plan must be approved by the DRB.		
3. Tree Preservation and Replacement	The Landscape Plan must be approved by the DRB.		
4. Trees	<ul style="list-style-type: none"> • Front Yard Zone: Trees may be arranged along the driveway or in clumps with in the Front Yard Zone. <ul style="list-style-type: none"> • 30 feet from Street Zone-2 shade trees (min.) • 31-59 feet from Street Zone-4 shade trees (min.) • 60-90 feet from Street Zone-6 shade trees (min.) • Side Yard Zone: One shade tree and one ornamental tree is required in the Side Yard Zone per side elevation. Trees should be arranged to break up the building elevations or to correspond with building architecture. 		

Landscape Requirements	Main Drive Lots	Cul de sac Lots	Creek Side Lots
5. Plant Material Specifications at installation	<ul style="list-style-type: none"> Deciduous shade trees: 2.5 inch caliper Ornamental Trees: 1.5 inch caliper (if multi-stem: 6' tall) Small Shrubs (Plants that mature to a height of up to 36 inches) <ul style="list-style-type: none"> 18 inches minimum height Intermediate Shrubs (Plants shall mature to a height of 36 inches to 7 ft) <ul style="list-style-type: none"> 24 inches Minimum Height. All front-yard trees shall be selected from the approved plant list. All plants shall meet or exceed the standards defined in ANSI Z60.1: American Standards for Nursery Stock. 		
6. Lawn	For all lots, lawn may be seed or sod. Some lots will be required to have meadow grasses, to a varying degree, to the front of the house, in the Street Zone, these areas can be identified on the master plan.		
7. Service Screening	<ul style="list-style-type: none"> All utility meters, air conditioning equipment, exhaust pipes, valve covers, irrigation equipment, other service structures, and architectural bump-outs shall be located to the side or rear of the building and shall be screened from view from any street. Screen materials may include evergreen shrubs, a mix of evergreen and deciduous shrubs, decorative fences, or walls. All materials shall be consistent with the home's architecture and landscaping and shall reach a mature height that at minimum matches the height of the item being screened. Exposed PVC vents, pipes, and risers shall be painted to blend with architecture. Utilities permitted within front yards with DRB approval shall be screened. 		
8. Mailbox	Mailbox, post, and address numbers and name plates shall be of a standard style specified by the master developer.		
9. Recreational Facilities	e.g. pools, tennis courts and basketball courts, must be located at the rear of the house and require DRB approval. All ancillary structures require DRB approval.		
10. LP6 Fuel Tanks	All LP6 fuel tanks are to be buried.		
11. Satellite Dishes	All satellite dishes are limited to 2/lot and are to be hidden from the street.		

Fencing

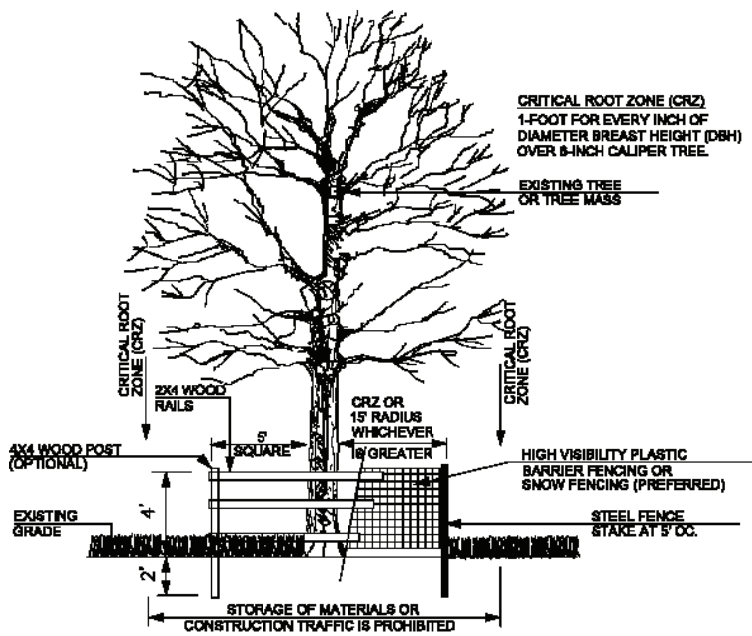
- 1) Permitted fencing:
 - a) Open fences: A fence constructed for its functional, ornamental or decorative effect and, when viewed at right angles, having not less than 50 percent of its vertical surface area open to light and air. See Detail for examples.
 - i) Open or partially open, (ornamental or decorative) fences shall be permitted and shall be no greater than four feet in height above the established grade, unless otherwise permitted herein. The partially open or open fence may be located only within the buildable area of the lot. These fences may be used to enclose the entire perimeter of the rear yard.
 - ii) Partially open or open accent fences may be located within the buildable area forward of the primary structure if limited to four feet in height and designed to only partially enclose an area.
 - iii) Wire mesh fencing may be permitted when permanently fastened to the inside of a permitted open or partially open fence, with DRB approval.
 - iv) Pool fencing shall be ornamental and the appearance and shall meet the approval of the DRB. Height and design parameters shall otherwise be governed by applicable state and local laws or health department regulations.
 - v) Open fences include 2, 3, and 4 rail fence, split rail fence, accent fence, and wrought iron fence.
 - vi) Partially open fences include picket fence, arbor fence, and trellis fence.
 - b) Solid fences: A fence designed to inhibit public view and provide seclusion and, when viewed at right angles, having more than 50% of its vertical surface area closed to light and air. See Detail for examples.
 - i) Solid fences shall be permitted only in rear yards and shall be no greater than four feet in height, unless otherwise permitted herein, and shall not be used to enclose the entire perimeter of the property.
 - ii) Such fences shall be located within the buildable area of the lot and only be used to enclose a deck or patio.
 - iii) Solid fences shall not be located within a required side and rear yard and design and appearance must be approved by the DRB.
 - iv) Solid fences include board on board fence, alternating board on board fence, louver fence, ventilating fence, solid picket fence, stockade fence, palisade fence, and wall, stone or brick.
- 2) A maximum of 20% of the lot may be fenced.
- 3) Prohibited fencing
 - a) Chainlink,
 - b) Electrified, barbed wire, razor wire, and stockade fences.
 - c) Vinyl clad, plastic or pvc (polyvinylchloride) fences.
- 4) Other fencing:
 - a) The DRB may permit other fences similar in character and design to one or more of the permitted fences herein, upon application.
- 5) The use of landscape buffers using mixed plant material is encouraged where screening is desired.

4. Single Family Lot Landscape Design Diagram



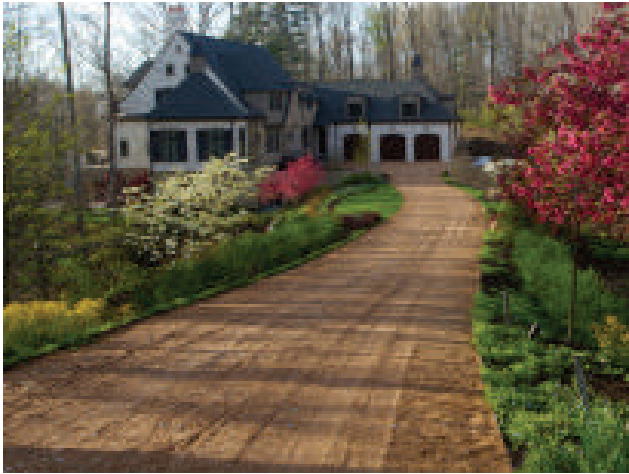
DARBY BRAESIDE

5. Details



a. Tree Protection Detail

6. Reference Images



DARBY BRAESIDE

Plant List: Front Yard Shade Trees	
Botanical Name	Common Name
Acer platanoides	Norway Maple
Acer rubrum	Red Maple
Acer saccharum	Sugar Maple
Acer x freemanii	Freeman Maple (various cultivars)
Betula nigra 'Heritage'	Heritage River Birch
Carpinus betulus	European Hornbeam
Carpinus caroliniana	American Hornbeam
Carya ovata	Shagbark Hickory
Corylus colurna	Turkish Filbert
Fagus grandiflora	American Beech
Fagus sylvatica	European Beech
Ginkgo biloba	Ginko
Gleditsia triacanthos var. inermis	Thornless Honeylocust
Gymnocladus dioica	Kentucky Coffeetree
Liquidambar styraciflua	Sweetgum
Liriodendron tulipifera	Tuliptree
Nyssa sylvatica	Blackgum
Quercus alba	White Oak
Quercus palustris	Pin Oak
Quercus rubra	Red Oak
Quercus shumardii	Shumard Oak
Ulmus x (various improved varieties)	Elm
Zelkova serrata	Zelkova

DARBY BRAESIDE

Plant List: Ornamental Trees	
Botanical Name	Common Name
Acer ginnala	Amur Maple
Acer griseum	Paperbark Maple
Acer palmatum	Japanese Maple
Acer tataricum	Tatarian Maple
Amelanchier laevis	Alleghany Serviceberry
Amelanchier x grandiflora	Apple Serviceberry
Betula nigra 'Fox Valley'	Fox Valley River Birch
Cercis canadensis	Redbud
Cornus alternifolia	Pagoda Dogwood
Cornus kousa chinensis	Chinese Dogwood
Cornus mas	Cornelian Cherry
Crataegus (various)	Hawthorn
Halesia carolina	Carolina Silverbell
Magnolia virginiana	Sweetbay Magnolia
Malus (various)	Flowering Crabapple
Prunus (various)	Flowering Cherry / Plum
Quercus glandulifera	Konara Oak
Sassafras albidum	Sassafras
Syringa reticulata	Japanese Tree Lilac
<p>Notes: Each species of plant has unique growth characteristics. Likewise, each species of plant has varying needs for particular site conditions. Plants from this list should be matched to appropriate locations, considering the unique conditions of each site, including soil characteristics, drainage, micro climate and seasonal changes, maintenance availability. Plants should be scrutinized for ultimate size, growth rate, and need for maintenance, so as not to over-grow their intended locations. No plant stops growing once it reaches it's "mature" size. It is recommended that a horticulturist and/or a landscape architect be consulted when choosing landscape materials and locations.</p>	

FEMA Flood Plain affects Lots 1 thru 13 and is shown on sheets 12 & 13. Flood plain is shown based on Flood Insurance Rate Map No. 3908080139C dated October 6, 2006, revised to reflect LOMR effective January 11, 2008.



SHEET INDEX

ENGINEER

OWNER

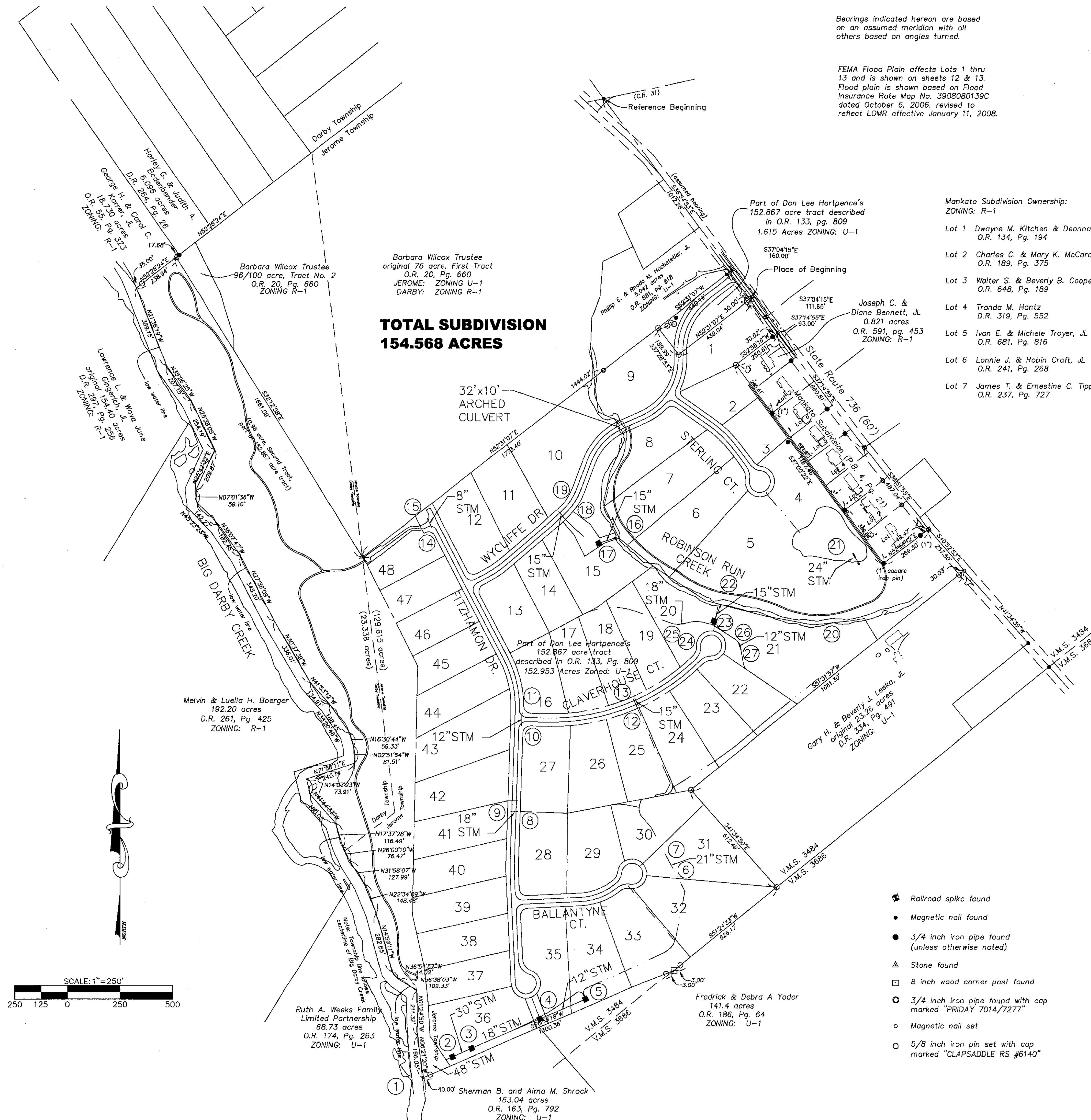
SURVEYOR

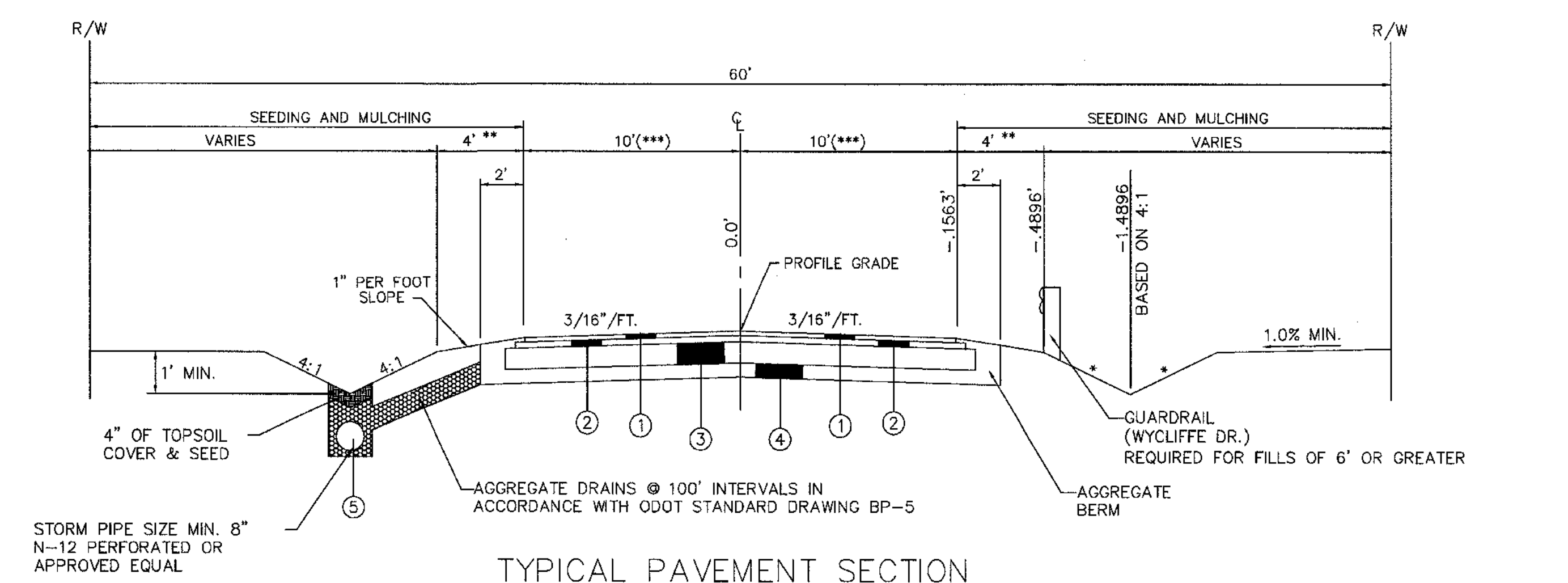
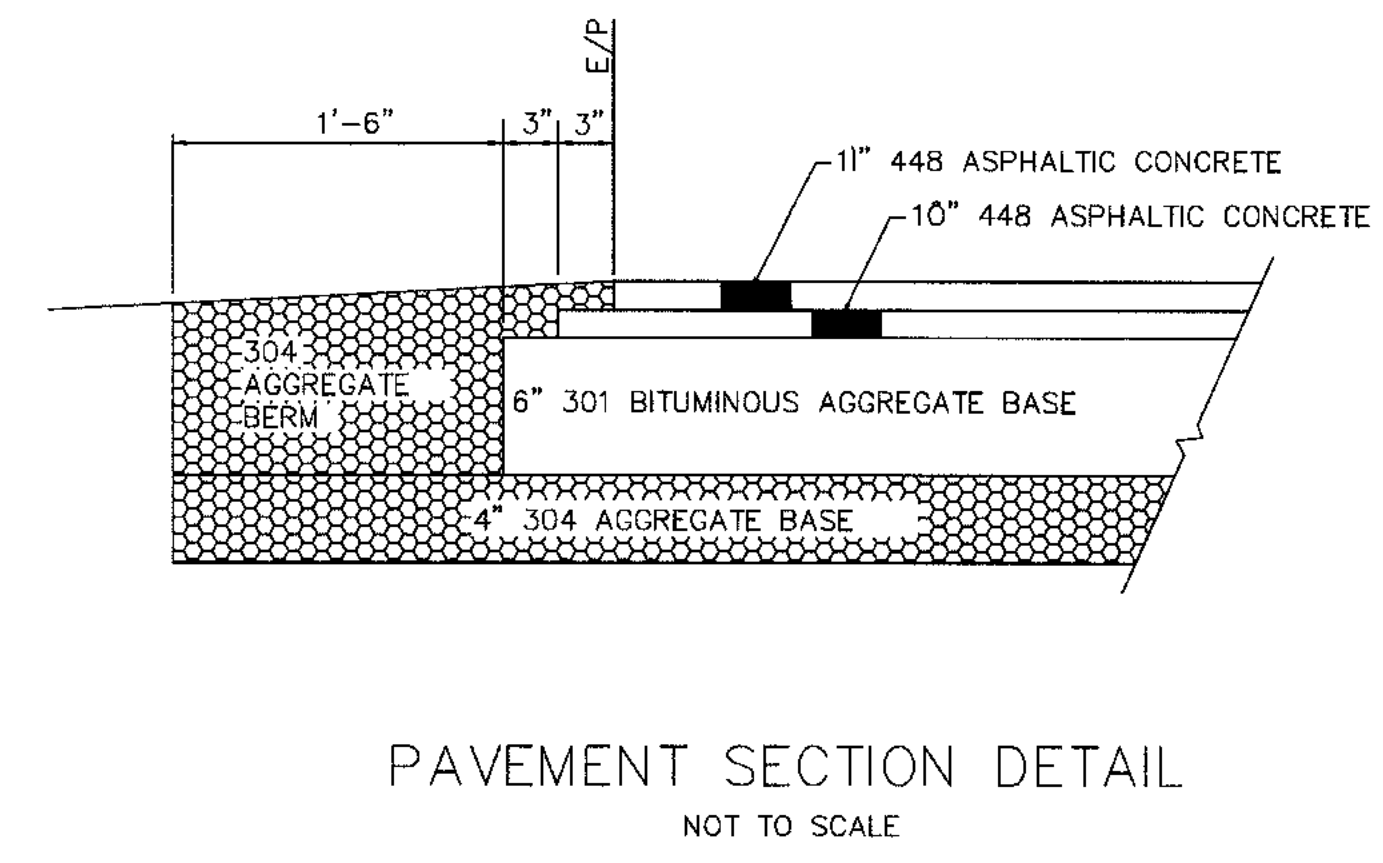
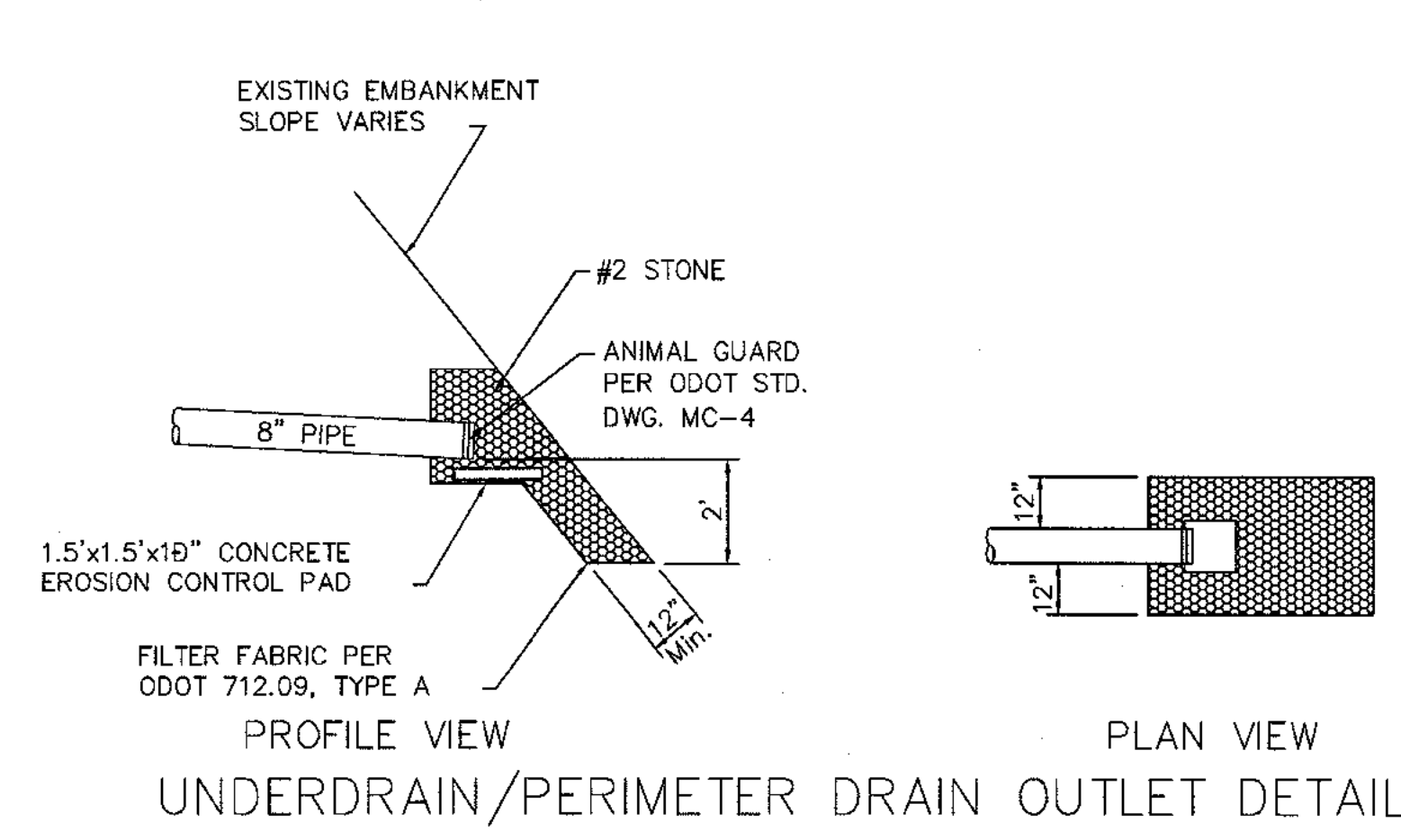
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TITLE SHEET

ISSUED:	
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	07-19-2010
	07-18-2012
	05-18-2015
Construction	
As Built	

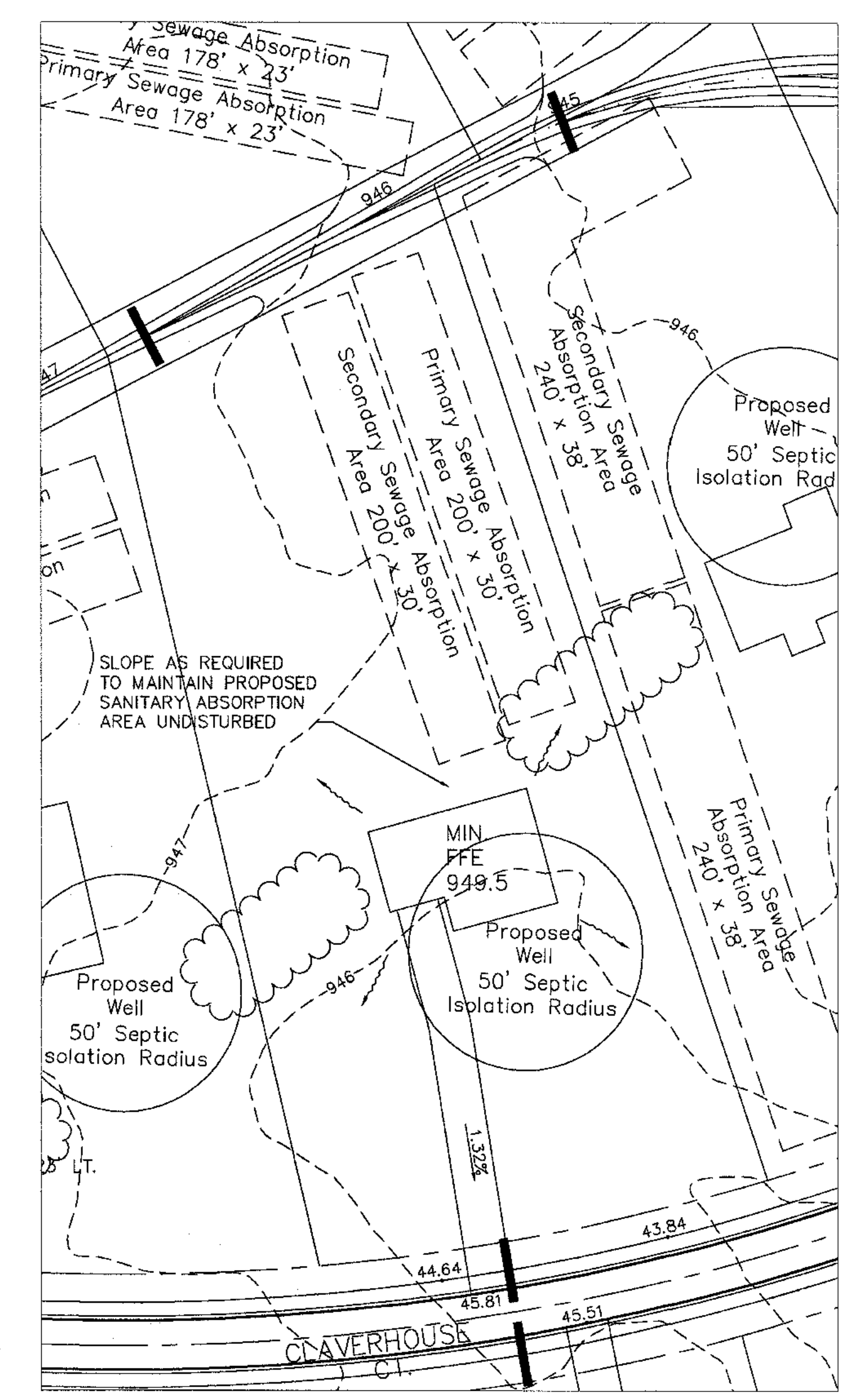
1 of 30





LEGEND:

- ① 11" ITEM 448 ASPHALTIC CONCRETE
 - ② 10" ITEM 448 ASPHALTIC CONCRETE
 - ③ 6" ITEM 301 BITUMINOUS AGGREGATE BASE IN 2 LIFTS
 - ④ 4" ITEM 304 AGGREGATE BASE
 - ⑤ SEE PAVEMENT UNDERDRAIN DETAIL UNION COUNTY ENGINEER DWG. NO: 10
- *** 12' WIDTH FROM S.R. 736 THROUGH STA. 6+81.15 WYCLIFFE DR.
- ** 6' AT LOCATIONS OF GUARDRAIL
- * SEE CROSS SECTIONS SHEETS 16 THRU 29 4:1 DESIRABLE MAXIMUM 3:1 ABSOLUTE MAXIMUM



LOT GRADING NOTES

MIN. FFE XXX.XX

INDICATES THE MINIMUM FIRST FLOOR ELEVATION OF THE PROPOSED HOUSE. THE ELEVATION IS BASED ON A GROUND ELEVATION ADJACENT TO THE STRUCTURE WHICH IS 1.5' BELOW THIS MINIMUM ELEVATION. THE MINIMUM ELEVATION ADJACENT TO THE STRUCTURE IS REQUIRED TO ENSURE POSITIVE DRAINAGE AWAY FROM THE STRUCTURE AND TO THE PROPOSED "SEWER ABSORPTION AREAS" WHICH ARE NOT TO BE DISTURBED BY THE GRADING ACTIVITIES.

THE CONTRACTOR SHALL MINIMIZE CONSTRUCTION TRAFFIC ON LOTS AND MAKE EVERY EFFORT TO LIMIT THE EXTENT OF THE WORK OUTSIDE THE PROPOSED DRAINAGE EASEMENTS SET ASIDE FOR INSTALLATION OF PROPOSED DRAINAGE SWALES.

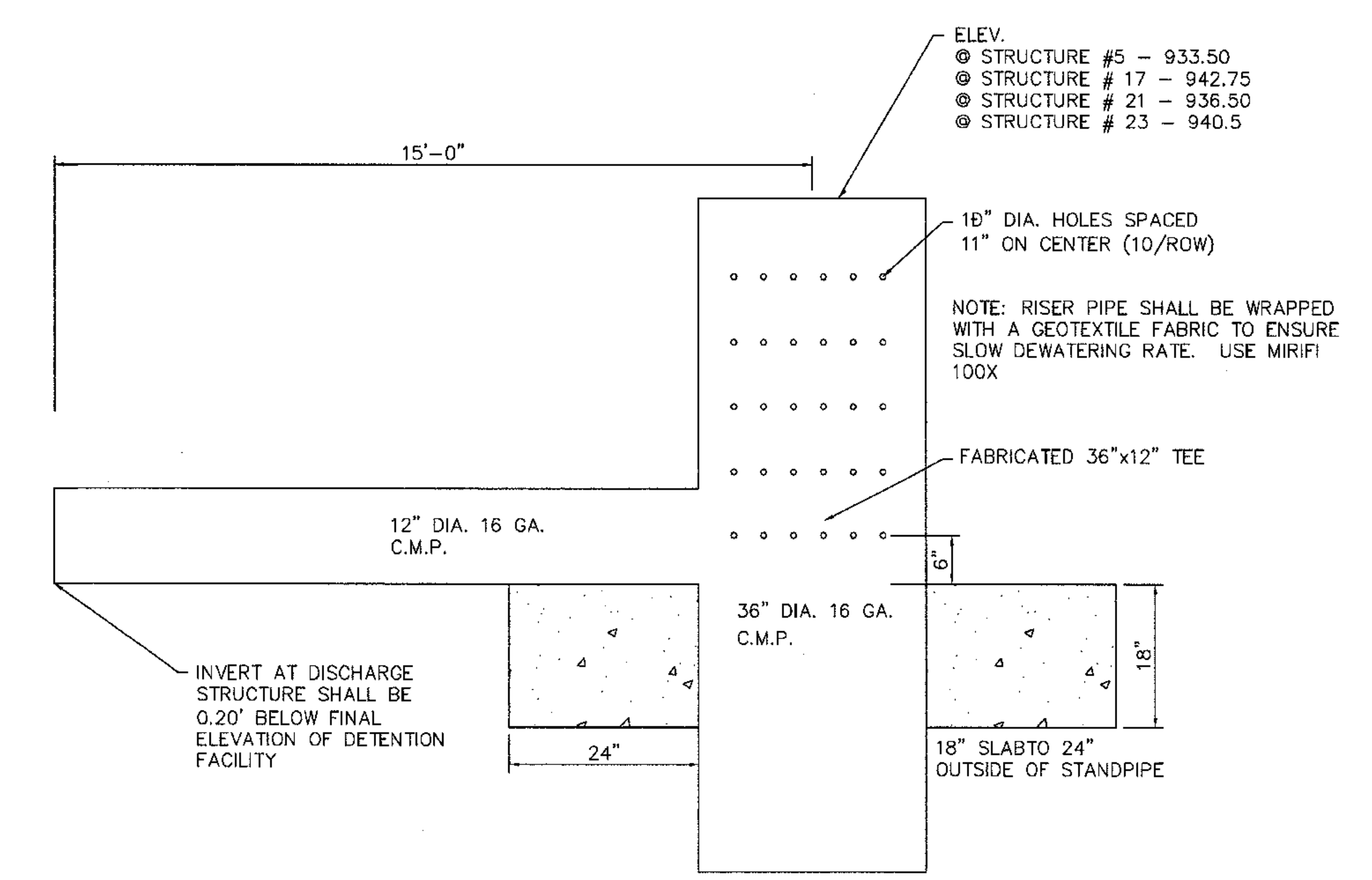
FINAL GRADING OF LOTS BY HOME BUILDERS SHALL ALSO MAINTAIN EXISTING GRADES IN AREAS OF "SEWER ABSORPTION". NO FILL, CLAY OR OTHERWISE, SHALL BE PLACED WITHIN THE LIMITS DEPICTED ON THE GRADING PLAN.

ELEVATIONS AT THE END OF DRIVES INDICATE PROPOSED EDGE OF PAVEMENT BASED ON ROAD PROFILE AND CROSS SECTION. SLOPE PERCENTAGE INDICATED ON DRIVE BASED ON GRADE DIFFERENCE BETWEEN EDGE OF PAVEMENT AND FINISH GRADE AT FOUNDATION. ROADSIDE DITCH IS TYPICALLY A MINIMUM OF 1.5' BELOW THE EDGE OF PAVEMENT GRADE.

DRIVE CULVERTS ARE REQUIRED FOR ALL LOTS NOT ASSOCIATED WITH A HIGH POINT IN THE ROAD PROFILE.

WHERE GRADE PERMITS, AND FOR LOTS ADJACENT TO PROPOSED DRAINAGE SWALES, THE CONTRACTOR MAY INSTALL UNDERGROUND DRAINAGE TILE TO DIRECT ROOF RUNOFF.

LOT CONTRACTORS ARE NOT PERMITTED TO CONNECT TO ROADSIDE UNDERDRAINS.



TEMPORARY SEDIMENTATION CONTROL PIPE

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DARBY BRAESIDE	
TYPICAL SECTION & DETAILS	
ISSUED:	
Preliminary	07-17-2008
	07-19-2010
	07-18-2012
	05-18-2015
Construction	
As Built	

Estimate of Quantities			
Item	Quant.	Unit	Description
DRAINAGE			
601	468	CY	ROCK CHANNEL PROTECTION TYPE C W/FILTER
603	48	LF	8" CONDUIT, TYPE B
603	72	LF	12" CONDUIT, TYPE C
603	105	LF	12" CONDUIT, TYPE B
603	36	LF	15" CONDUIT, TYPE B
603	308	LF	15" CONDUIT, TYPE C
603	116	LF	18" CONDUIT, TYPE B
603	352	LF	18" CONDUIT, TYPE C
603	40	LF	21" CONDUIT, TYPE B
603	128	LF	24" CONDUIT, TYPE C
603	100	LF	30" CONDUIT, TYPE C
603	152	LF	48" CONDUIT, TYPE C
604	2	EA	HEADWALL, 15" PIPE, HW-2.1
604	1	EA	HEADWALL, 24" PIPE, HW-2.1
604	1	EA	HEADWALL, 48" PIPE, HW-2.1
604	2	EA	CATCH BASIN CB 2-2-A
604	2	EA	CATCH BASIN CB 2-2-B
604	3	EA	CATCH BASIN CB 2-4
SPEC	4	EA	6" WATER QULALITY RISER (COMPLETE)
ROADWAY			
203	?	HR	PROOF ROLLING
203	21,702	SY	SUBGRADE COMPACTION
203	16,731	CY	EXCAVATION INCLUDING EMBANKMENT CONSTRUCTION
301	3,235.13	CY	BITUMINOUS AGGREGATE BASE
304	2,411.36	CY	AGGREGATE BASE
304	532.27	CY	AGGREGATE BERM
402	647.46	CY	ITEM 448 11" ASPHALT CONCRETE, AC-20
404	925	CY	ITEM 448 10" ASPHALT CONCRETE, AC-20
605	15,345	LF	8" PIPE UNDERDRAIN
659	67,659	SY	SEEDING & MULCHING
EROSION CONTROL			
207	4	EA	TEMPORARY SEDIMENT STACK
207	-	SY	TEMPORARY SEEDING AND MULCHING
207	76	EA	SEDIMENT BARRIER IN DRAINAGE WAY
207	LS	LF	SEDIMENT FILTER FABRIC FENCE

ESTIMATES ONLY. THE CONTRACTOR SHALL CONSTRUCT THE PROJECT IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS AND SHALL NOT RELY ON QUANTITIES LISTED OR NOT LISTED HEREON.

GENERAL NOTES

THE CURRENT UNION COUNTY AND OHIO DEPARTMENT OF TRANSPORTATION CONSTRUCTION AND MATERIAL SPECIFICATIONS INCLUDING ALL SUPPLEMENTS THERETO, TOGETHER WITH THE REQUIREMENTS OF UNION COUNTY IN FORCE ON THE DATE OF CONTRACT, SHALL GOVERN ALL MATERIALS, METHODS OF CONSTRUCTION, AND WORKMANSHIP INVOLVED IN THE IMPROVEMENTS SHOWN ON THESE PLANS, EXCEPT AS SUCH SPECIFICATIONS ARE MODIFIED BY THE FOLLOWING SPECIFICATIONS OR BY THE CONSTRUCTION DETAILS SET FORTH HEREIN.

THE CONTRACTOR SHALL NOTIFY UNION COUNTY ENGINEER 24 HOURS PRIOR TO CONSTRUCTION.

THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS.

THE CONTRACTOR SHALL CONFINE HIS ACTIVITIES TO THE PROPOSED ON-SITE CONSTRUCTION AREAS OR THE EXISTING RIGHT-OF-WAYS, CONSTRUCTION AND PERMANENT EASEMENTS AND SHALL NOT TRESPASS UPON OTHER PRIVATE PROPERTY WITHOUT THE WRITTEN CONSENT OF THE OWNER. IN GENERAL, LOTS SHALL BE PROTECTED FROM DISTURANCE OR CONSTRUCTION TRAFFIC SO THAT FUTURE ON-SITE SANITARY SYSTEMS REMAIN VIABLE.

ALL ITEMS OF WORK CALLED FOR ON THE PLANS FOR WHICH NO SPECIFIC METHOD OF PAYMENT IS PROVIDED SHALL BE PERFORMED BY THE CONTRACTOR AND THE COST OF SAME SHALL BE INCLUDED IN THE PRICE BID FOR THE VARIOUS RELATED ITEMS.

ALL FIELD TILE BROKEN DURING EXCAVATION SHALL BE REPLACED TO ORIGINAL CONDITION OR CONNECTED TO THE STORM SEWER SYSTEM AS DIRECTED BY THE ENGINEER.

THE CONTRACTOR SHALL CAREFULLY PRESERVE BENCH MARKS, PROPERTY CORNERS, REFERENCE POINTS, STAKES AND OTHER SURVEY REFERENCE MONUMENTS OR MARKERS. IN CASES OF WILLFUL OR CARELESS DESTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORATION OF MARKERS. RESETTING OF MARKERS SHALL BE PERFORMED BY AN OHIO PROFESSIONAL SURVEYOR.

THE CONTRACTOR SHALL DISPOSE OF ALL SURPLUS EXCAVATION, AS DIRECTED BY THE OWNER.

THE DESIGN ENGINEER WILL NOT BE RESPONSIBLE FOR MEANS, METHODS, PROCEDURES, TECHNIQUES, OR SEQUENCES OF CONSTRUCTION THAT ARE NOT SPECIFIED HEREIN. THE DESIGN ENGINEER WILL NOT BE RESPONSIBLE FOR SAFETY ON THE JOB SITE, OR FOR FAILURE BY THE CONTRACTOR TO PERFORM WORK ACCORDING TO CONTRACT DOCUMENTS.

THE CONTRACTOR AND SUB-CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR COMPLYING WITH ALL FEDERAL, STATE AND LOCAL SAFETY REQUIREMENTS, TOGETHER WITH EXERCISING PRECAUTIONS AT ALL TIMES FOR THE PROTECTION OF PERSONS (INCLUDING EMPLOYEES) AND PROPERTY. IT IS ALSO THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND SUB-CONTRACTOR TO INITIATE, MAINTAIN AND SUPERVISE ALL SAFETY REQUIREMENTS, PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK.

ALL TRAFFIC CONTROL DEVICES SHALL BE FURNISHED, ERECTED, MAINTAINED AND REMOVED BY THE CONTRACTOR IN ACCORDANCE WITH THE "OHIO MANUAL OF TRAFFIC CONTROL DEVICES FOR CONSTRUCTION AND MAINTENANCE OPERATIONS", COPIES OF WHICH ARE AVAILABLE FROM THE OHIO DEPARTMENT OF TRANSPORTATION, BUREAU OF TRAFFIC, 25 SOUTH FRONT STREET, COLUMBUS, OHIO 43215.

THE IDENTITY AND LOCATION OF THE EXISTING UNDERGROUND FACILITIES KNOWN TO BE LOCATED IN THE CONSTRUCTION AREA HAVE BEEN SHOWN ON THE PLANS AS ACCURATELY AS PROVIDED BY THE OWNER OF THE UNDERGROUND UTILITY. UNION COUNTY AND/OR ENGINEER ASSUMES NO RESPONSIBILITY AS TO THE ACCURACY OR THE DEPTHS OF THE UNDERGROUND FACILITIES WHETHER SHOWN ON THE PLANS OR NOT.

SUPPORT, PROTECTION AND RESTORATION OF ALL EXISTING UTILITIES AND APPURTENANCES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE COST OF THIS WORK SHALL BE INCLUDED IN THE PRICE BID FOR THE VARIOUS ITEMS.

THE CONTRACTOR SHALL CAUSE NOTICE TO BE GIVEN TO THE OHIO UTILITIES PROTECTION SERVICE (TELEPHONE 800-362-2764 - TOLL FREE) AND TO THE OWNERS OF UNDERGROUND UTILITY FACILITIES SHOWN ON THE PLANS WHO ARE NOT MEMBERS OF A REGISTERED UNDERGROUND PROTECTION SERVICE IN ACCORDANCE WITH SECTION 153.64 OF THE REVISED CODE. THE ABOVE MENTIONED NOTICE SHALL BE GIVEN AT LEAST TWO WORKING DAYS PRIOR TO START OF CONSTRUCTION.

UNLESS OTHERWISE NOTED ON THE PLANS ALL STORM SEWERS SHALL BE SMOOTH WALLED ADS N-12 PIPE AS MANUFACTURED BY ADVANCED DRAINAGE SYSTEMS INCORPORATED. THIS ALSO INCLUDES ANY AND ALL UNDERDRAIN PIPES FOR THE ROADWAY/LEACHFIELD SYSTEMS INSTALLED FOR THE PROJECT. GRANULAR BACKFILL SHALL BE USED IN ALL INSTANCES OF PAVEMENT CROSSINGS. MATERIALS SHALL BE COMPACTED GRANULAR MATERIAL, ITEM 310 TYPE A GRADING (NO GRITS ALLOWED), PLACED WITHIN LIMITS SHOWN ON THE PLAN INCLUDING AROUND ALL INLET STRUCTURES. GRANULAR BACKFILL SHALL EXTEND FROM THE BOTTOM OF THE TRENCH TO A PLANE 6-INCHES BELOW THE SUBGRADE.

WHERE THE STORM SEWER CROSSES A PROPOSED RIGHT-OF-WAY THE TRENCH BACKFILL SHALL BE COMPACTED GRANULAR MATERIAL, ITEM 310 TYPE A GRADING (NO GRITS ALLOWED), FROM THE BOTTOM OF THE TRENCH TO A PLANE 6-INCHES BELOW THE SUBGRADE. THE LIMITS OF PLACEMENT SHALL BE FROM RIGHT-OF-WAY LINE TO RIGHT-OF-WAY LINE. ALL OTHER TRENCH BACKFILL SHALL BE COMPACTED TYPE C, UNLESS OTHERWISE NOTED ON THE PLANS. COST OF BACKFILL TO BE INCLUDED IN THE PRICE BID FOR THE VARIOUS SEWER ITEMS.

PIPE WITH LESS THAN ONE FOOT OF COVER TO SURFACE OF PAVEMENT SHALL BE REINFORCED CONCRETE PIPE, CLASS V, OR SHALL BE CONCRETE ENCASED.

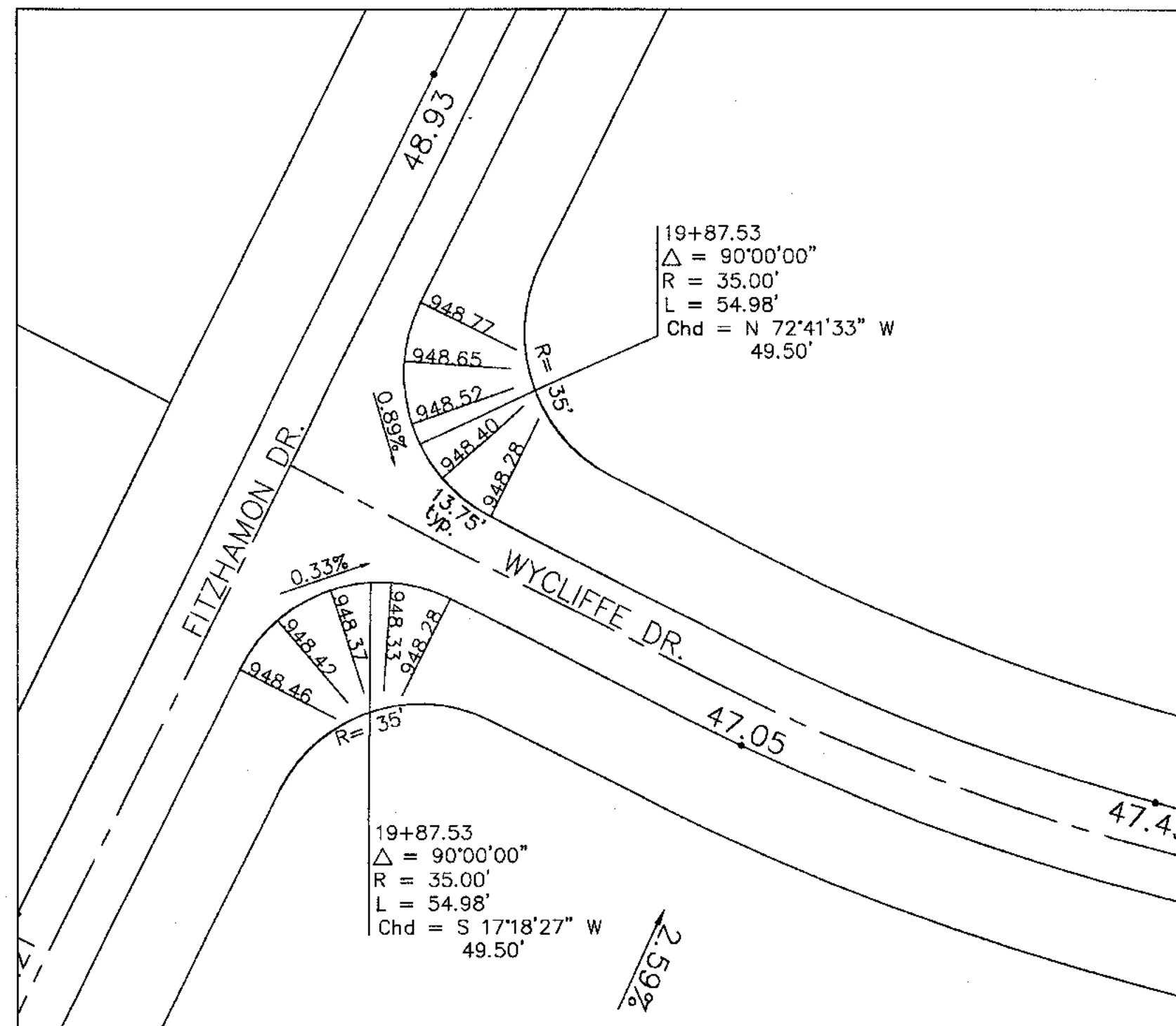
CONTRACTOR SHALL MAKE PROVISIONS FOR OUTLETTING ROADWAY UNDERDRAINS. THESE SHALL INCLUDE, WHERE APPLICABLE, CROSSING OF STREETS, CONNECTIONS TO HEADWALLS, AND OUTLETTING INTO DITCHES PER UNDERDRAIN OUTLET DETAIL.

UTILITIES

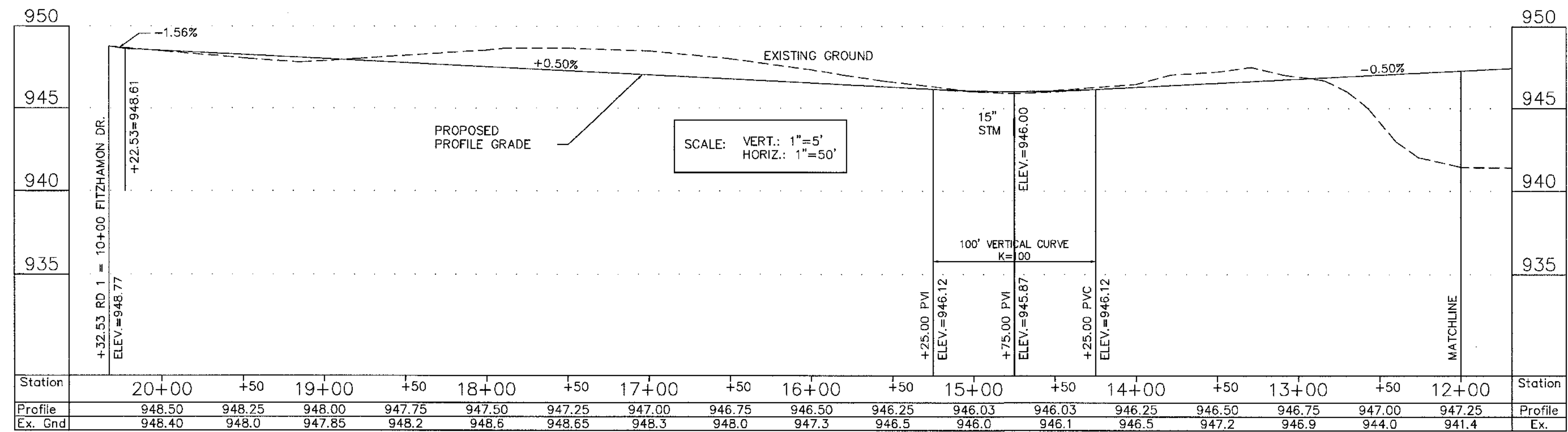
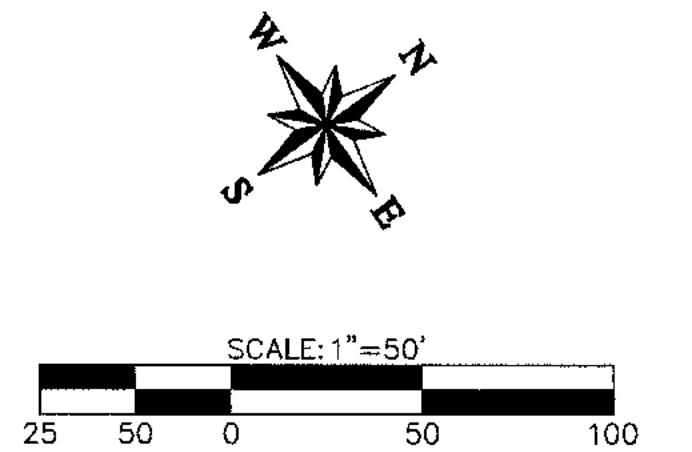
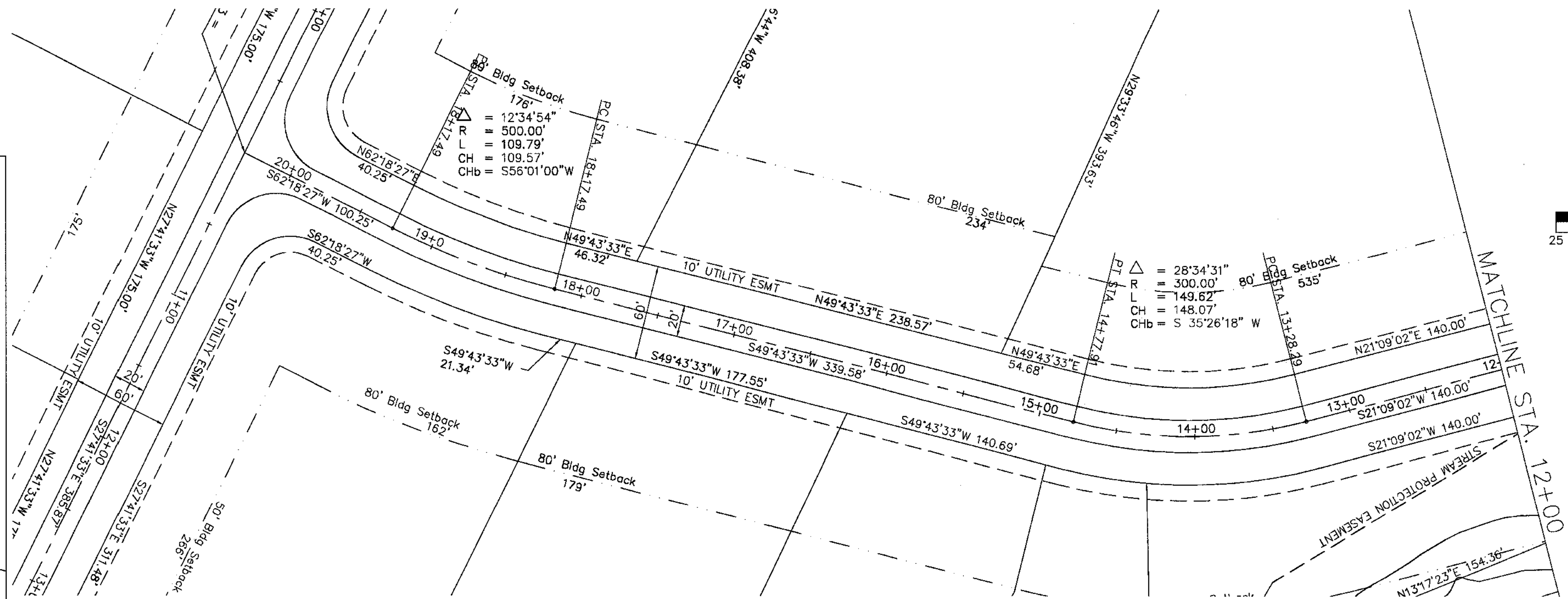
THE CONTRACTOR SHALL PROVIDE 4" PVC CASING PIPE FOR THE PURPOSE OF GAS LINE CROSSINGS WHERE NOTED ON THE PLAN PRIOR TO PLACEMENT OF ASPHALT PAVEMENT. VERIFY REQUIRED DEPTH BASED ON STORM PIPE CLEARANCES PROVIDING 1' FROM THE BOTTOM OF THE PIPE AS WELL AS MATERIAL SPECIFICATION PRIO TO INSTALLATION.

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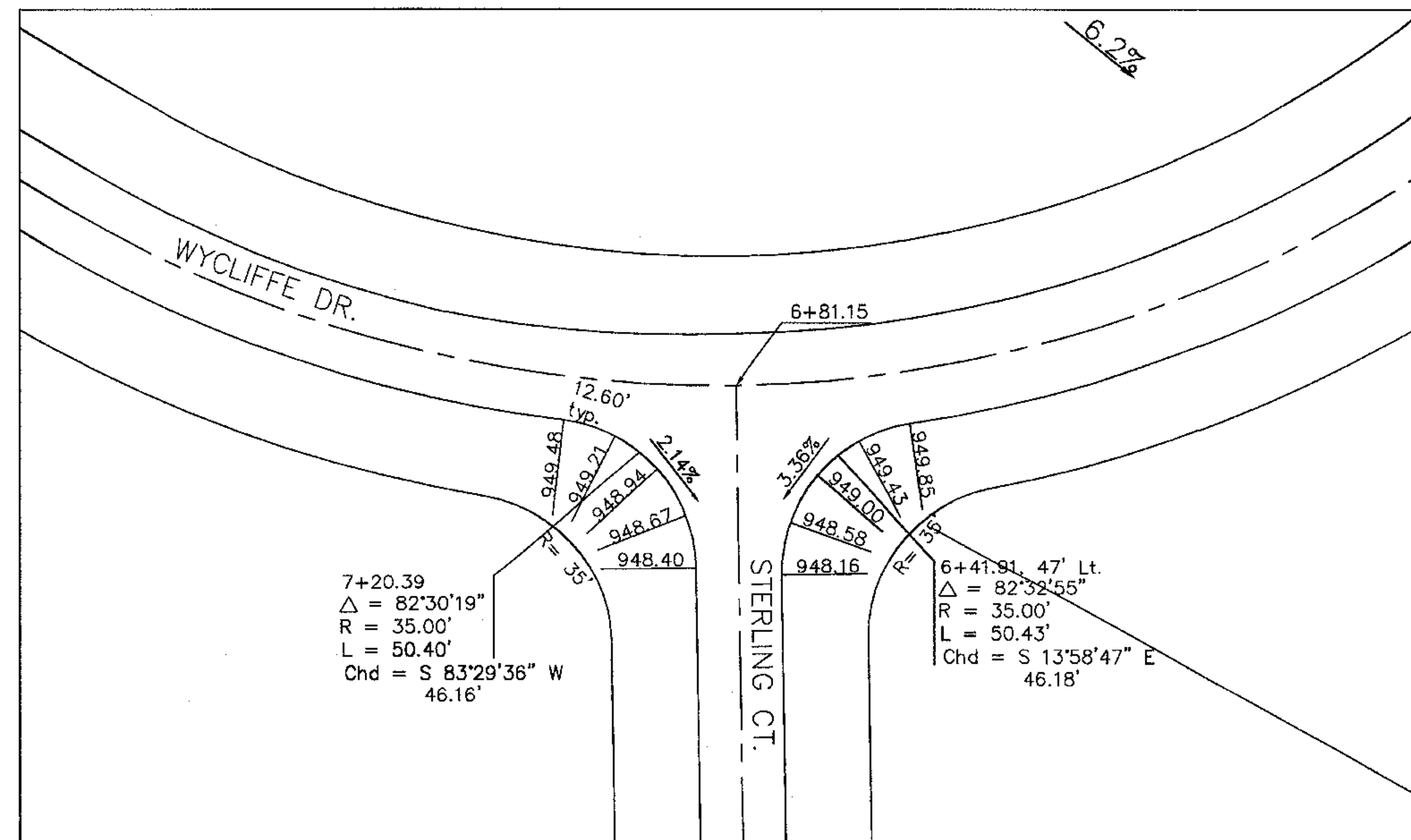
DARBY BRAESIDE	
GENERAL NOTES & QUANTITIES	
ISSUED:	
Preliminary	07-17-2008
	07-19-2010
	07-18-2012
	05-18-2015
Construction	
As Built	
3 of 30	



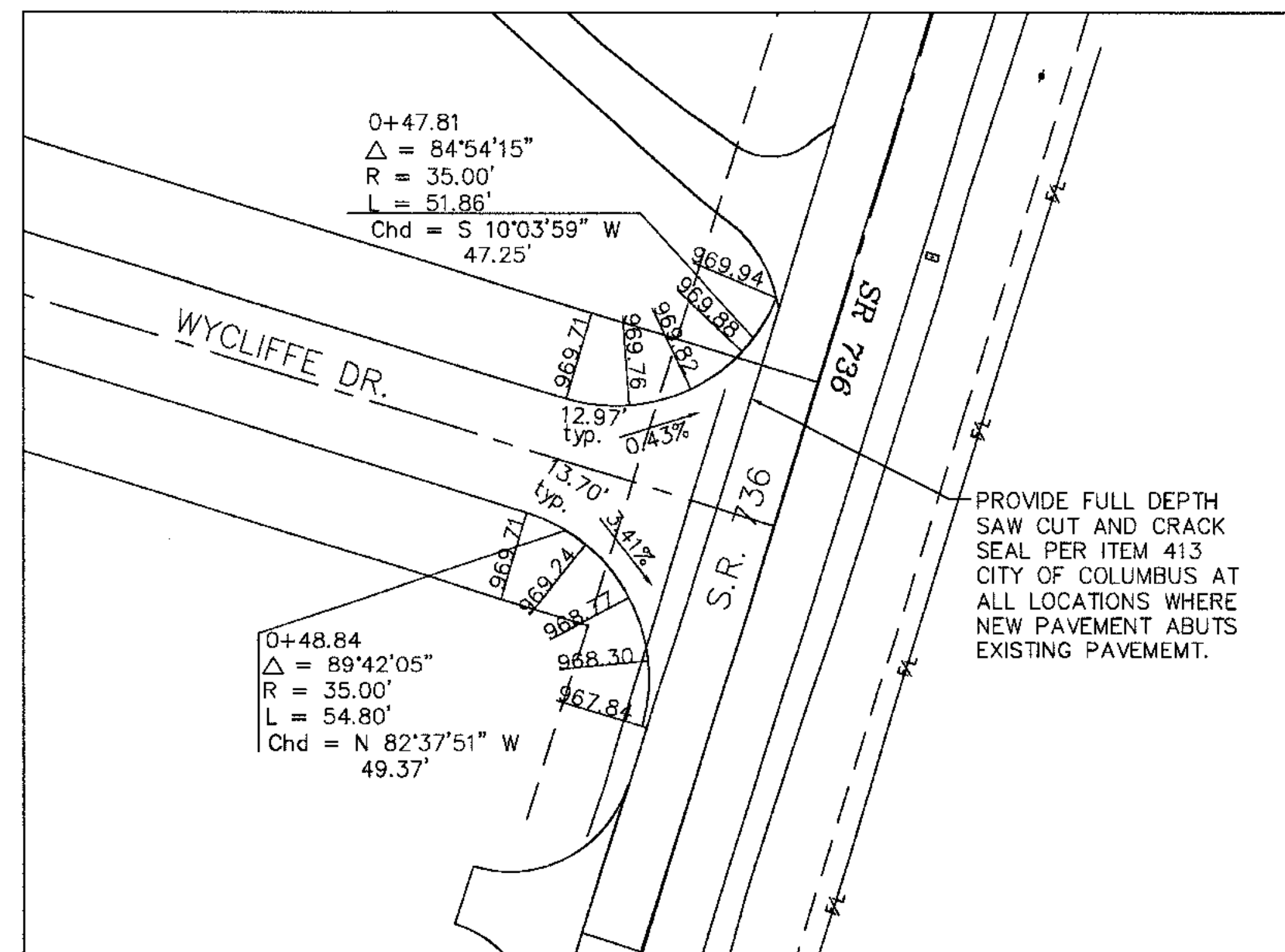
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WYCLIFFE DR. PROFILE



INTERSECTION DETAIL
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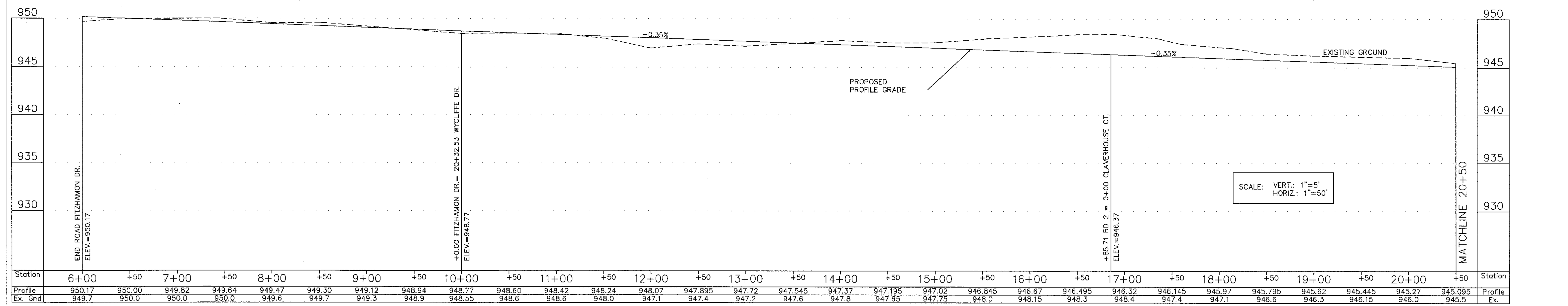
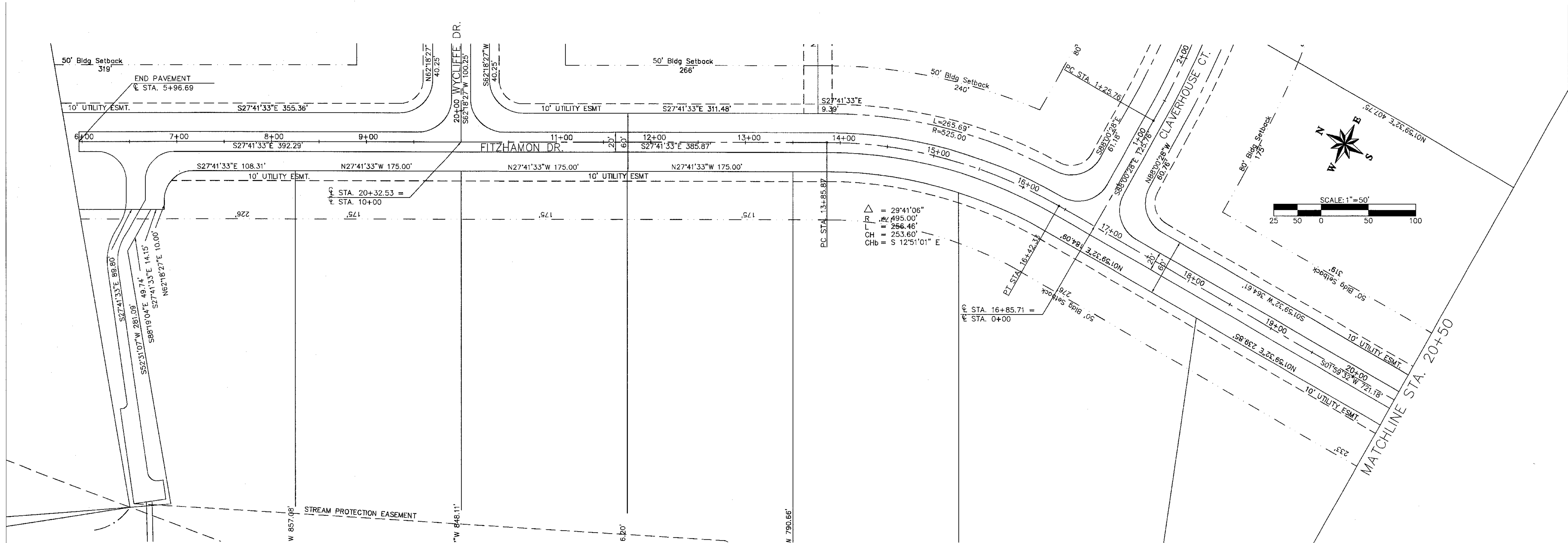


INTERSECTION DETAIL
 SCALE: 1"=30'

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DARBY BRAESIDE
 PLAN/PROFILE WYCLIFFE DR.

ISSUED:	
Preliminary	07-17-2008
	07-19-2010
	07-18-2012
	05-18-2015
Construction	
As Built	



FITZHAMON DR. PROFILE

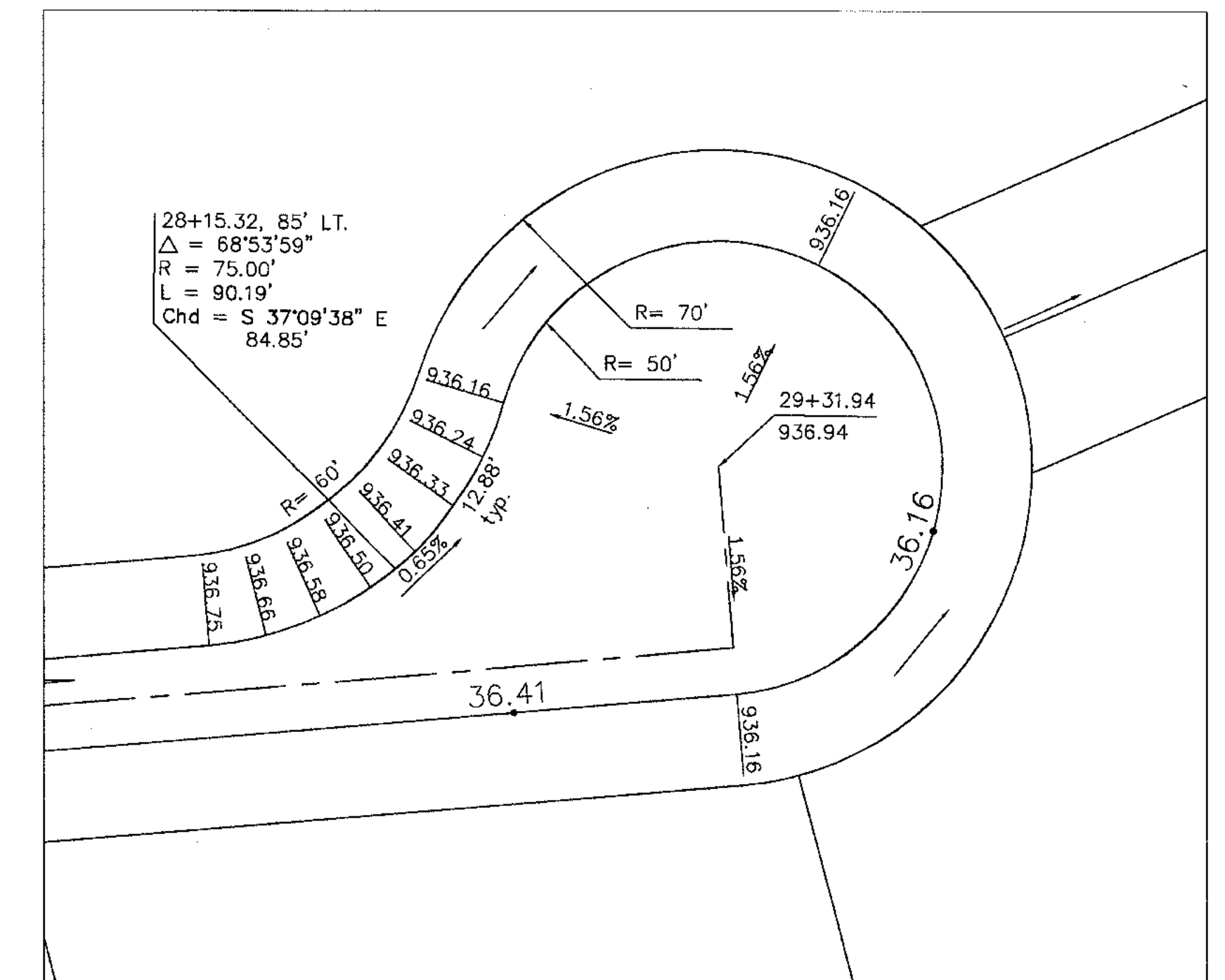
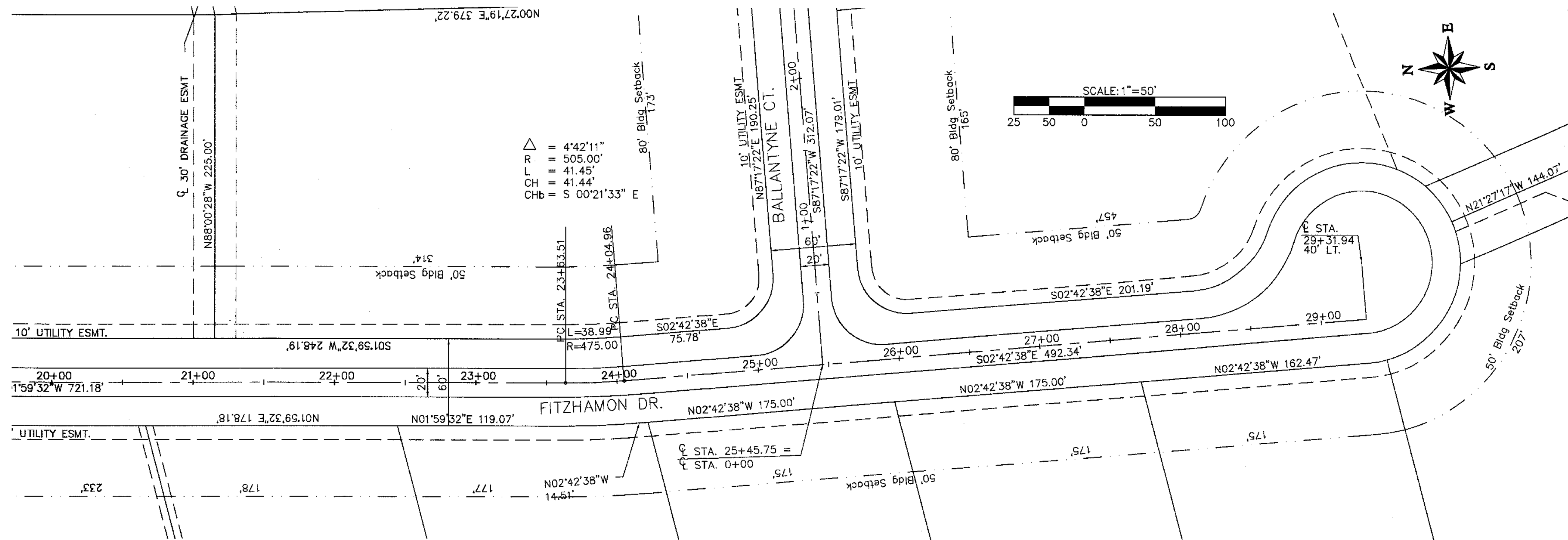
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DARBY BRAESIDE

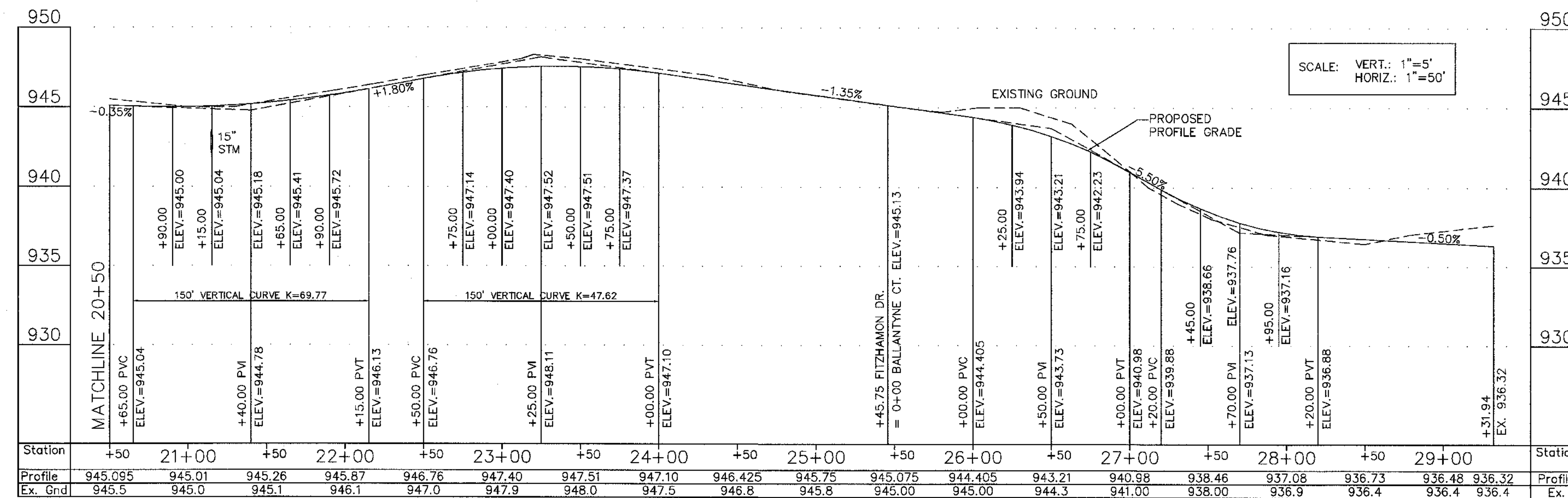
PLAN/PROFILE FITZHAMON DR.

ISSUED:	
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	07-19-2010
	07-18-2012
	05-18-2015
Construction	
As Built	

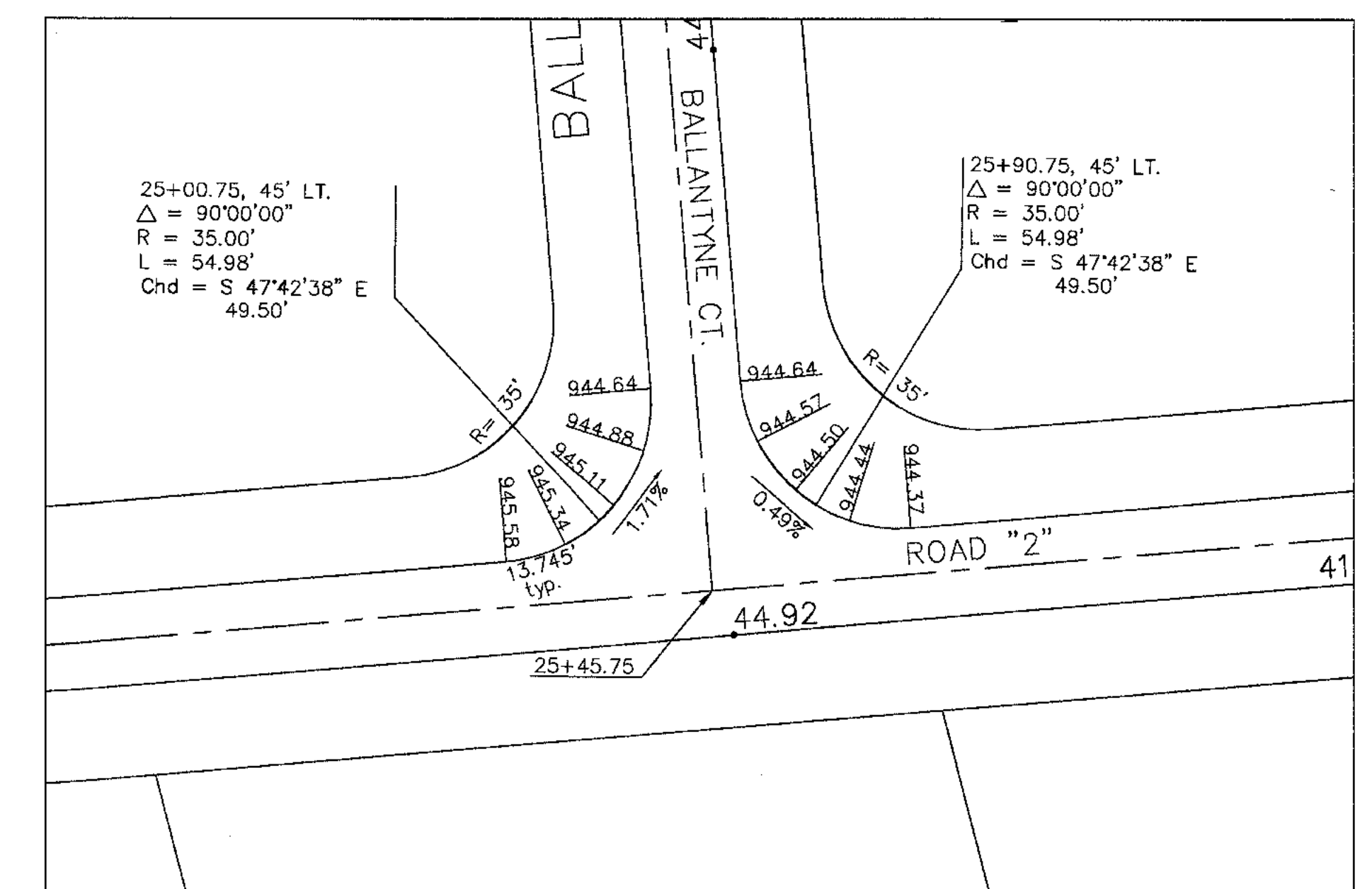
6 of 30



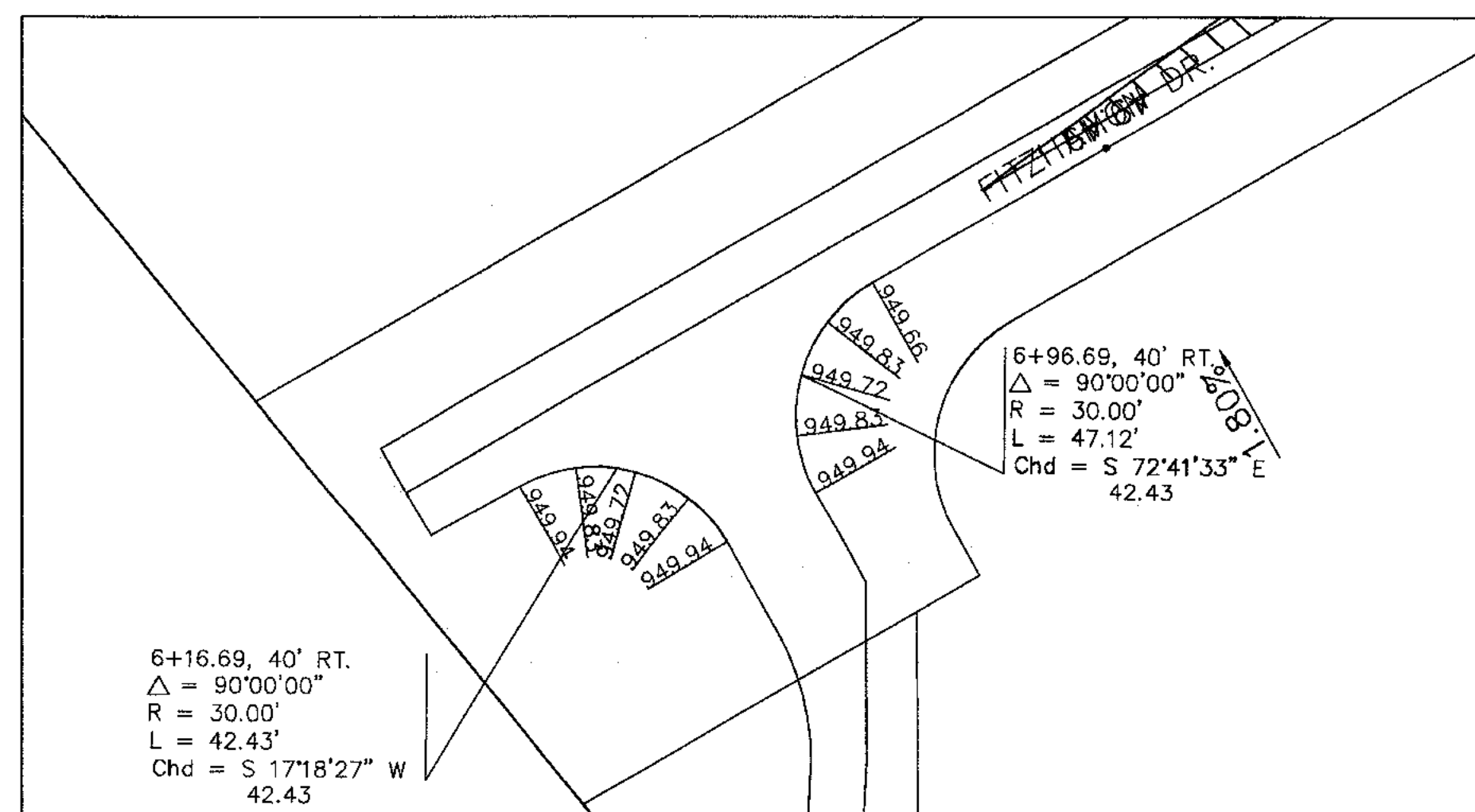
FITZHAMON DR. CUL-DE-SAC DETAIL
SCALE: 1"=30'



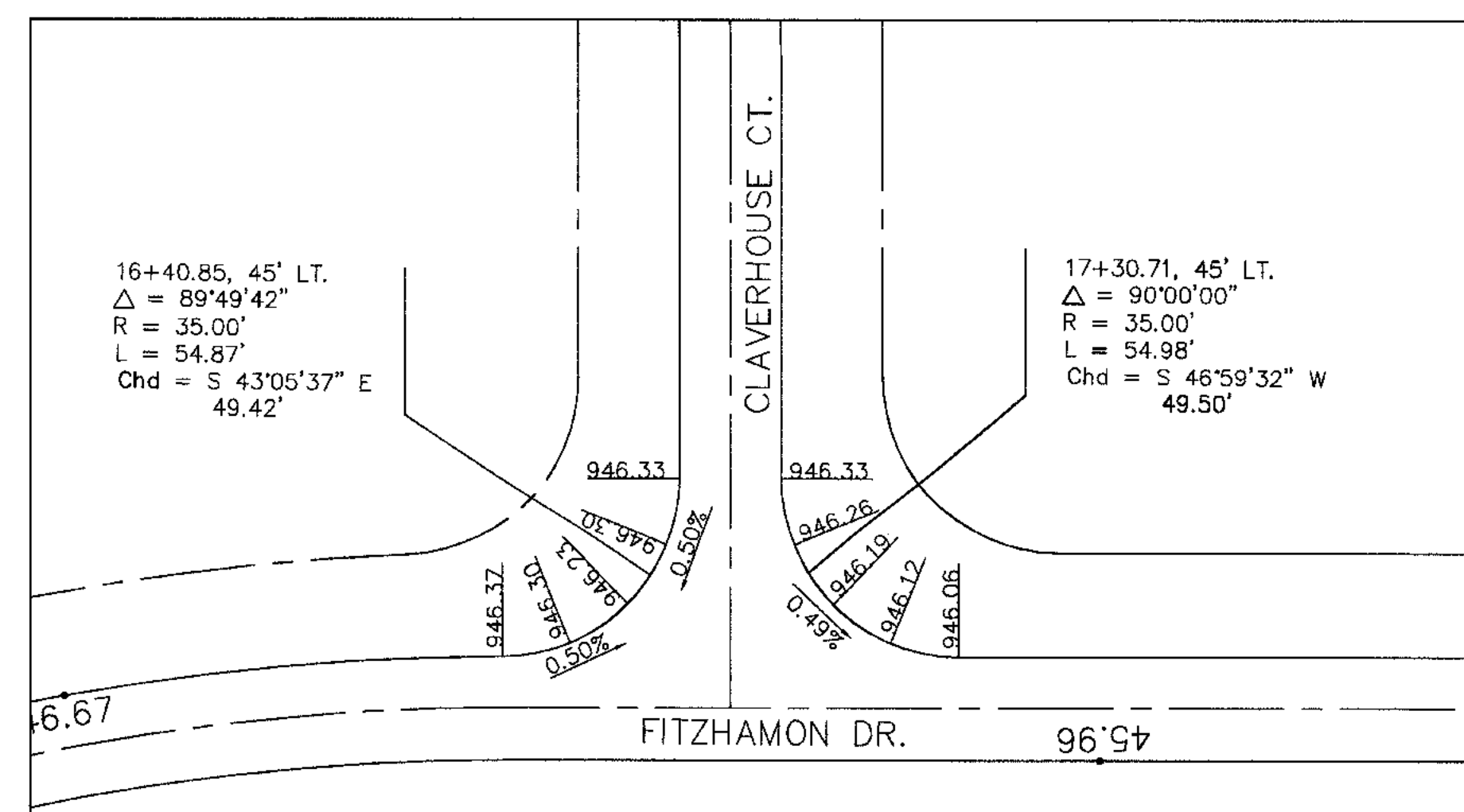
FITZHAMON DR. PROFILE



INTERSECTION DETAIL
SCALE: 1"=30'



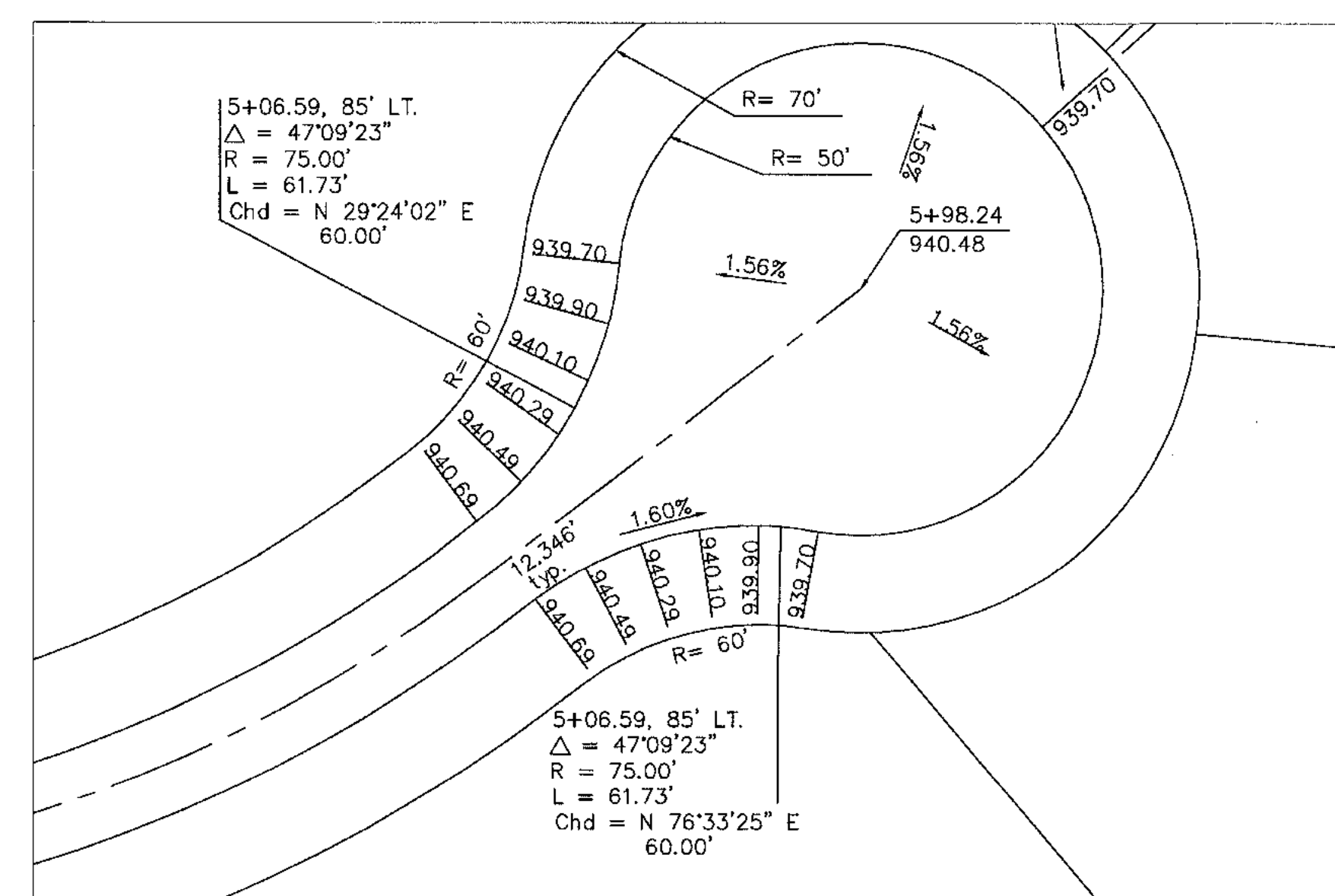
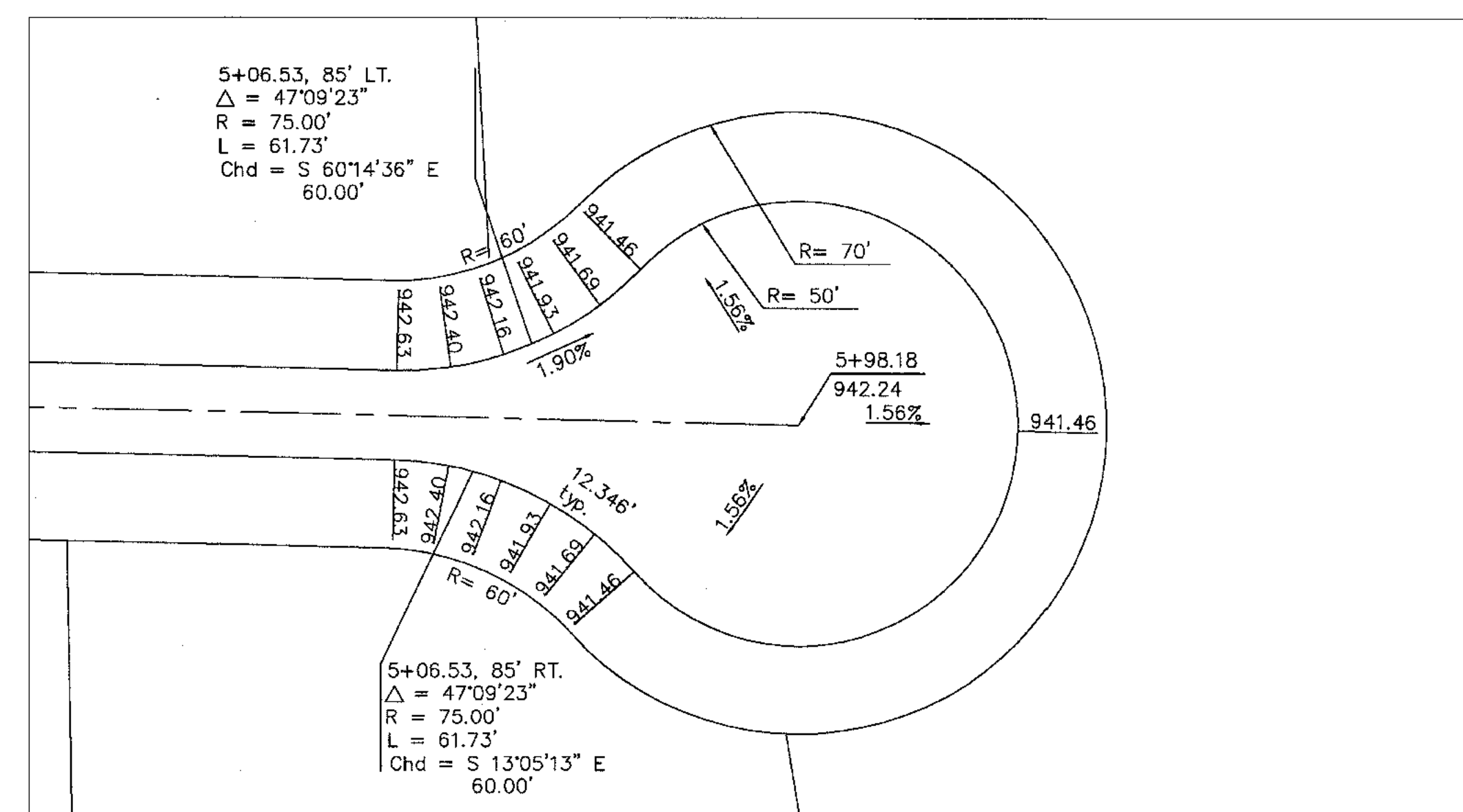
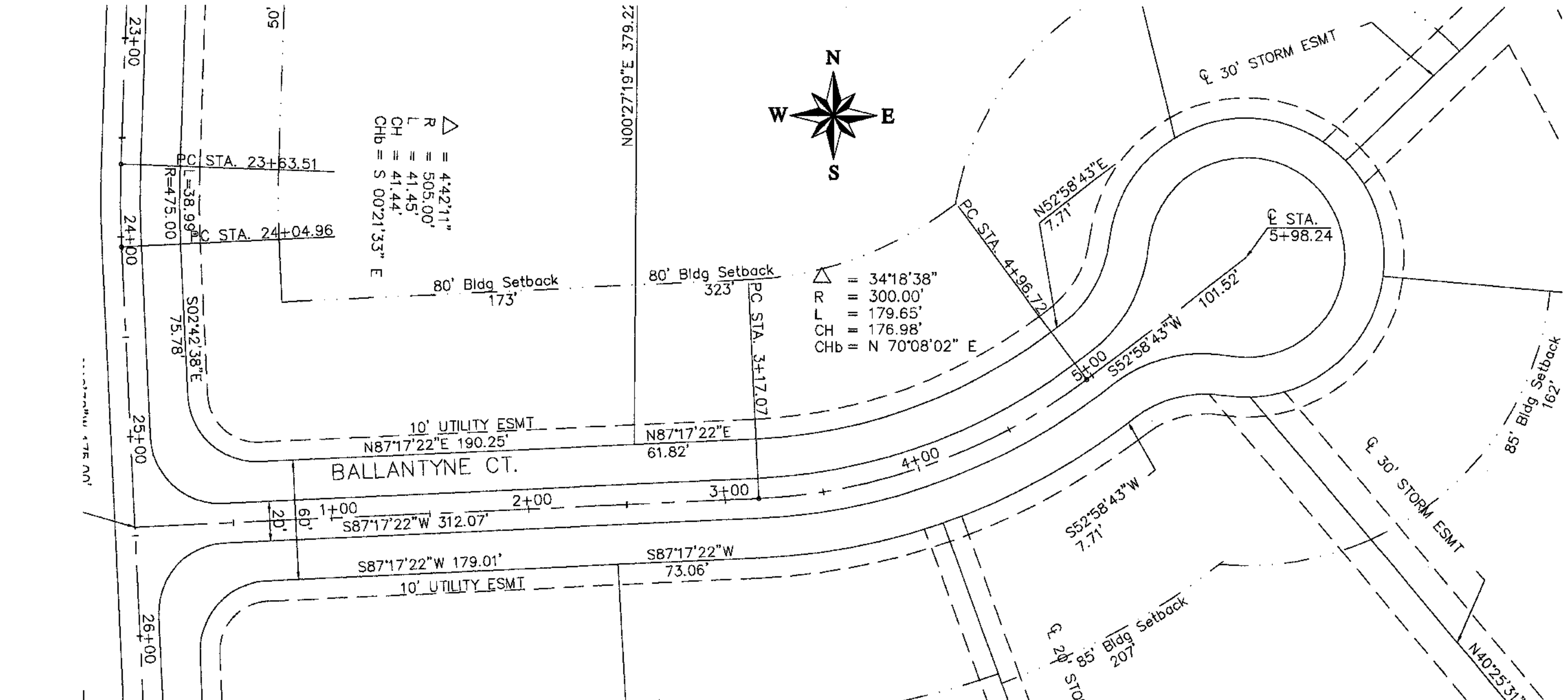
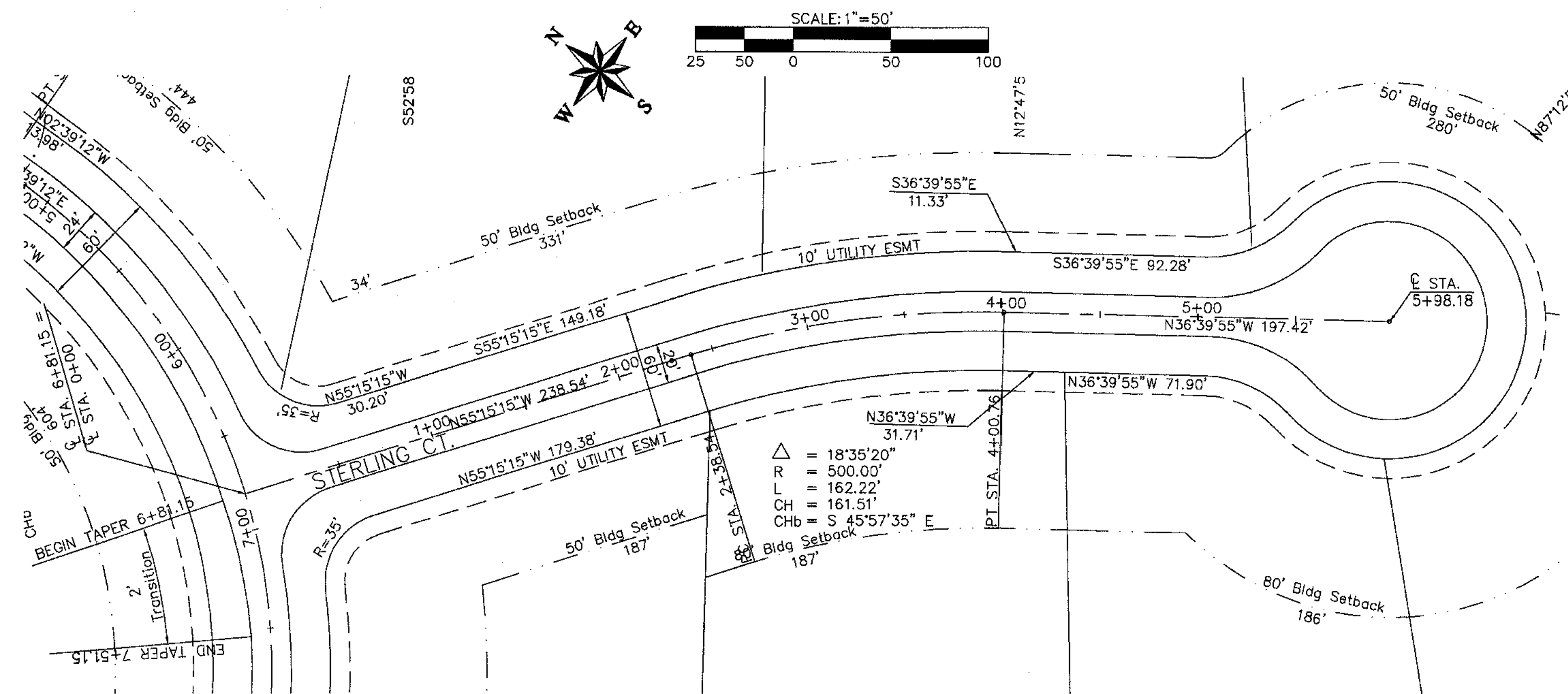
INTERSECTION DETAIL
SCALE: 1"=30'



INTERSECTION DETAIL
SCALE: 1"=30'

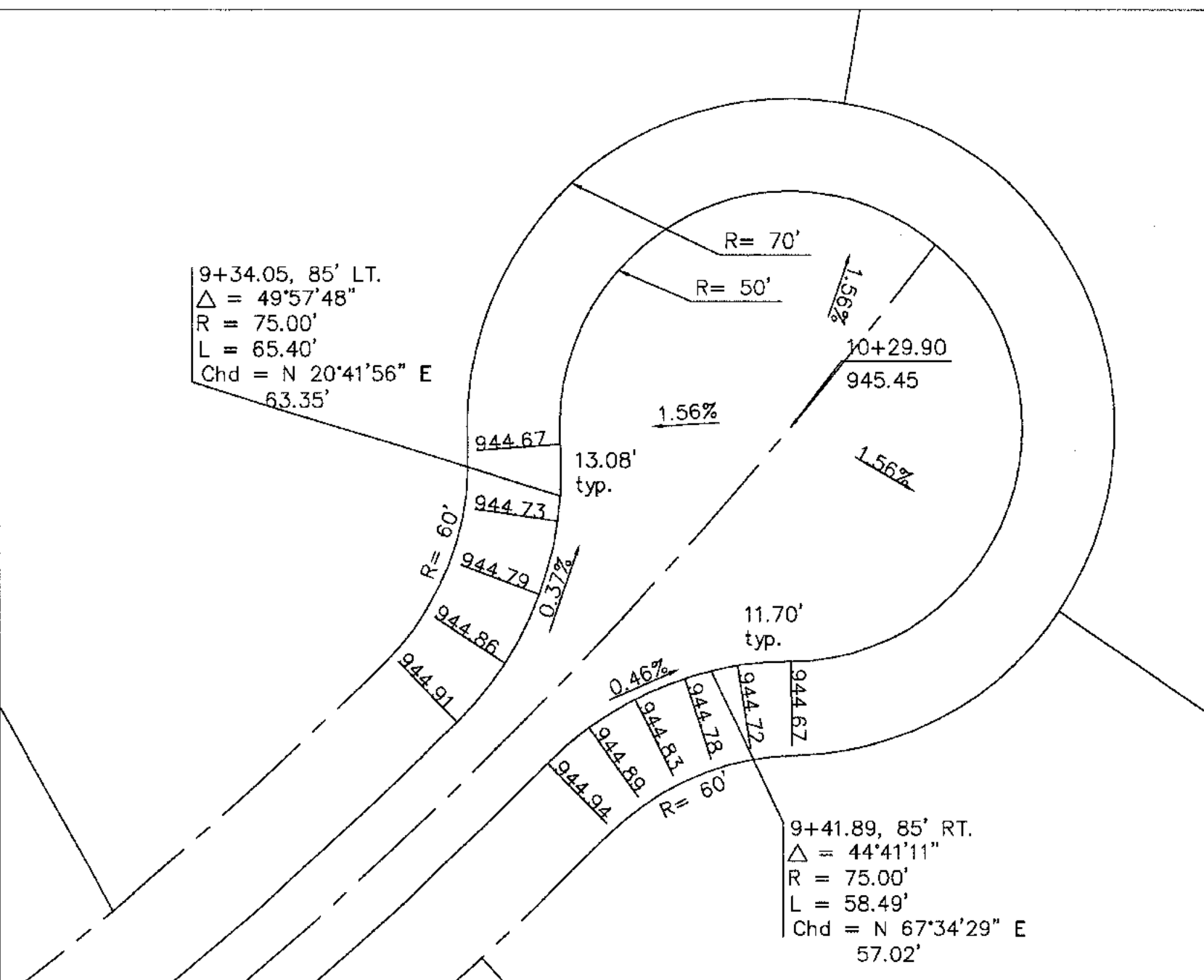
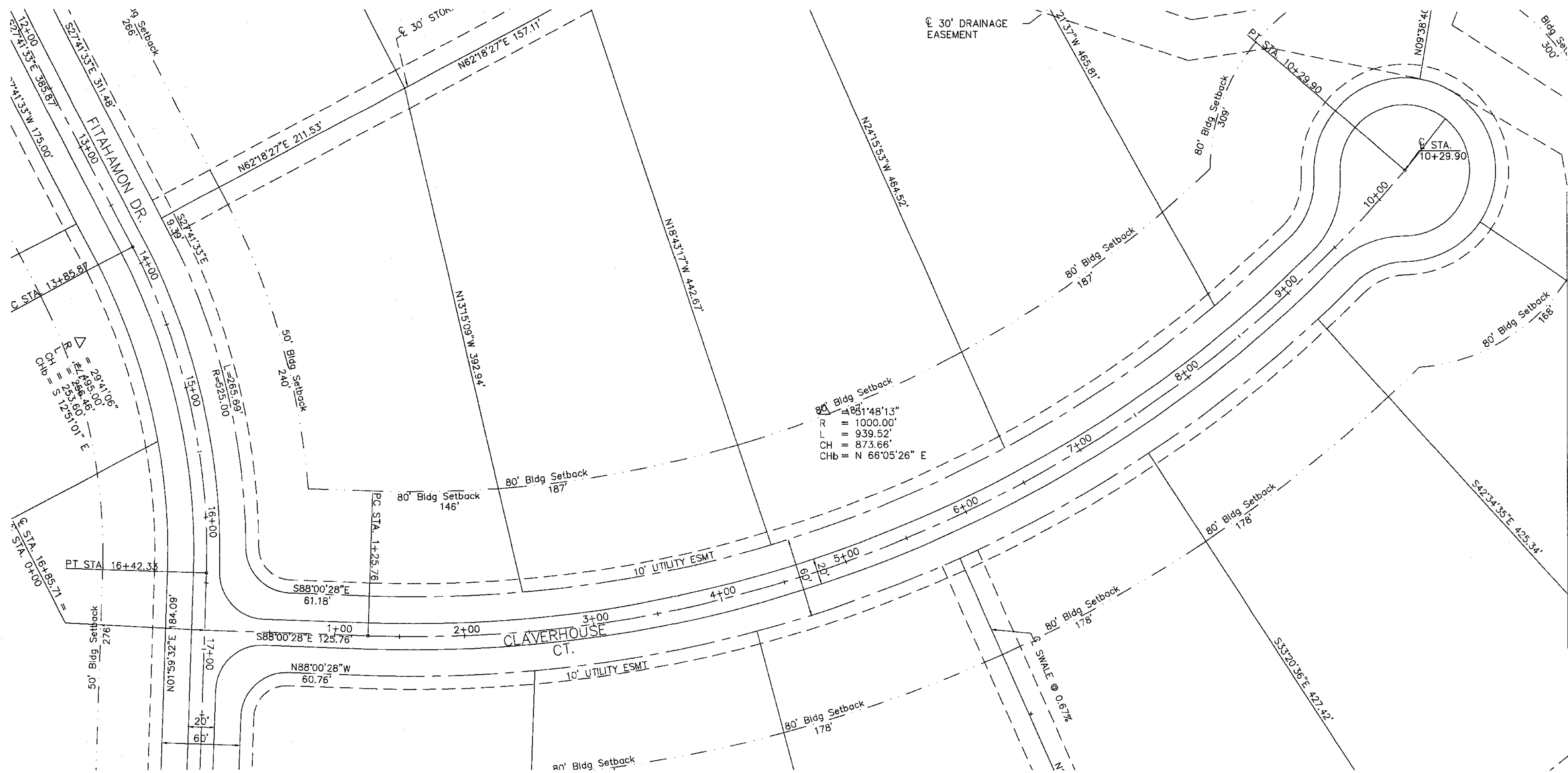
THIS IS NOT A
STAMPED OR
SIGNED DRAWING

DARBY BRAESIDE	
PLAN/PROFILE FITZHAMON DR.	
ISSUED:	
Preliminary	07-17-2008
	07-19-2010
	07-18-2012
Construction	05-18-2015
As Built	

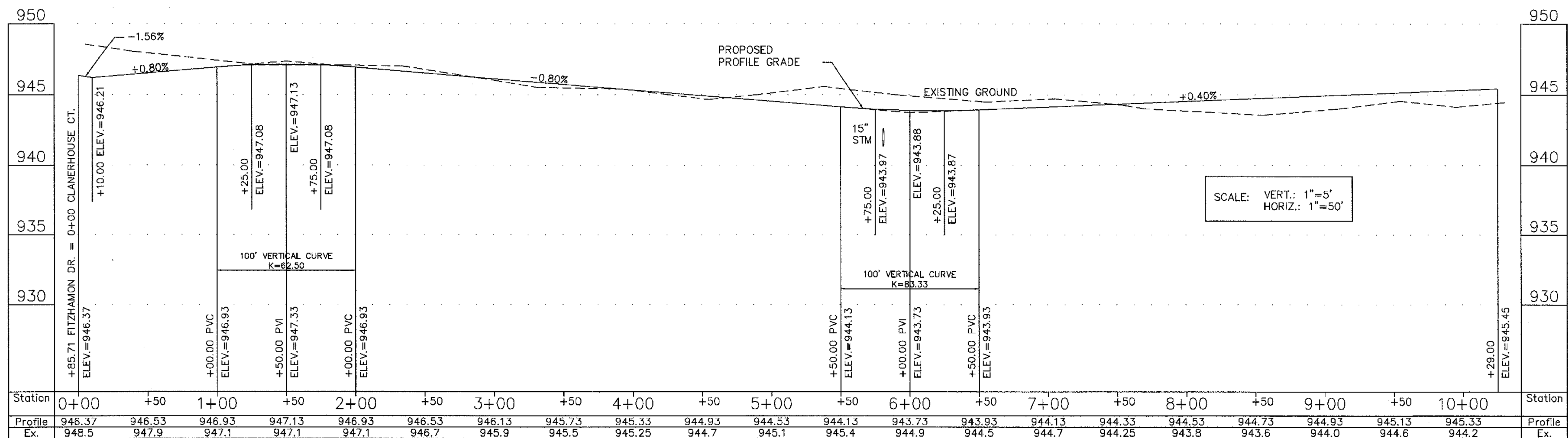


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STAMPED OR
SIGNED DRAWING

DARBY BRAESIDE	
PLAN PROFILE STERLING CT. & BALLANTYNE CT.	
ISSUED:	
Preliminary	07-17-2008
	07-19-2010
	07-18-2012
	05-18-2015
Construction	
As Built	



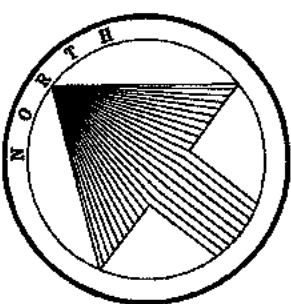
CLAVERTHOUSE CT. DETAIL
SCALE: 1"=30'



CLAVERTHOUSE CT. PROFILE

THIS IS NOT A
STAMPED OR
SIGNED DRAWING

DARBY BRAESIDE	
PLAN/PROFILE CLAVERTHOUSE CT.	
ISSUED:	
Preliminary	07-17-2008
	07-19-2010
	05-18-2015
Construction	
As Built	



SCALE: 1"=60'

60' 30' 0 60' 120'

ALPINE FILTER EROSION CONTROL DEVICE
 SEDIMENT FILTER IN DRAINAGE WAY 200' O/C
 OVERLAND FLOODWAY
 SILT FENCE
 FGE FINISHED GRADE ELEVATION
 DRIVE INLET PER UCE DRAWING #15

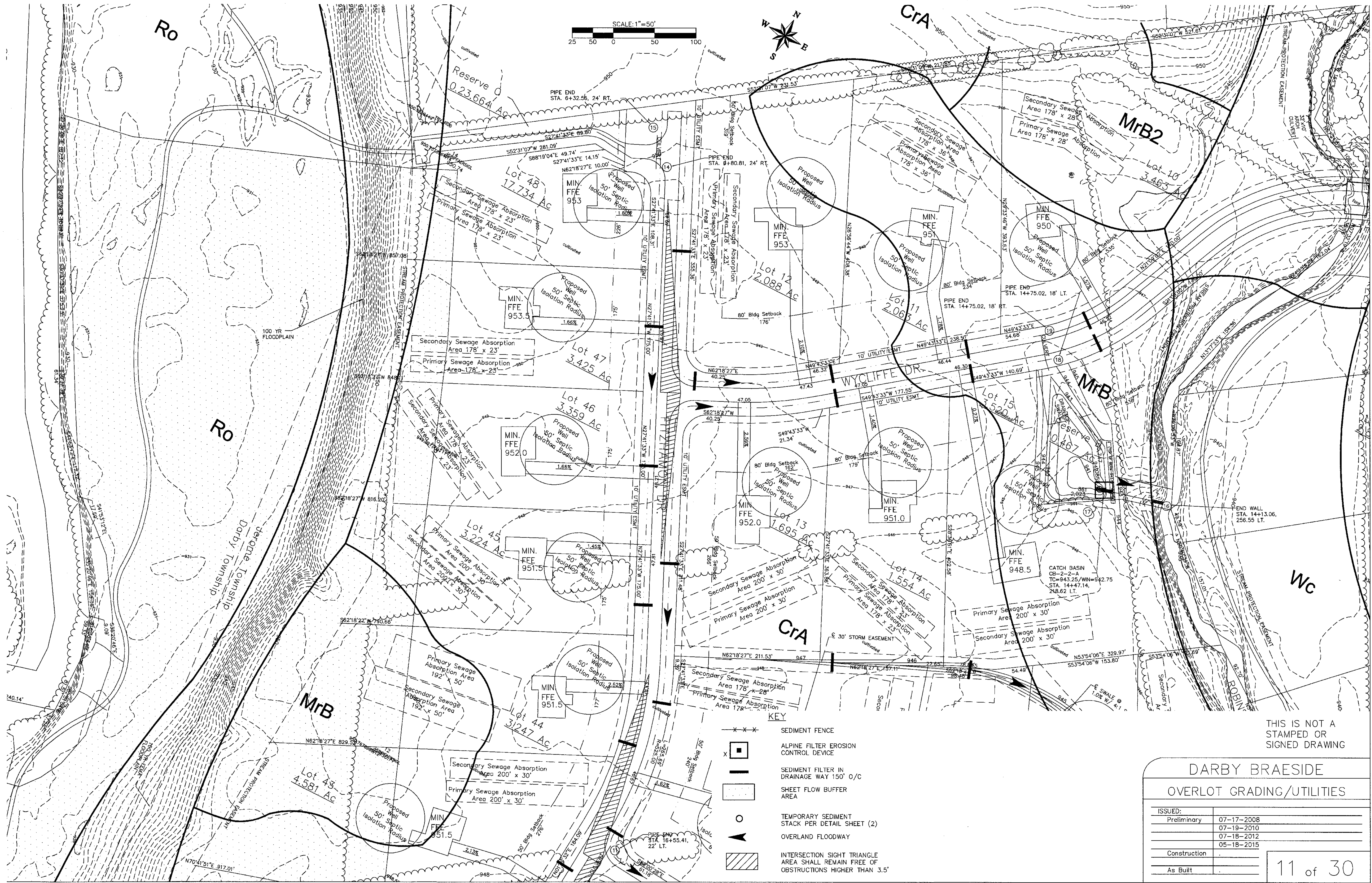
ISSUED:	
Preliminary	07-17-2008
	07-19-2010
	07-18-2012
Construction	.
As Built	

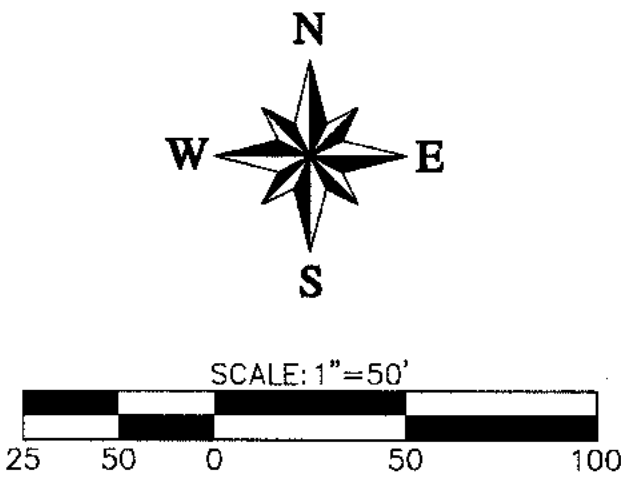
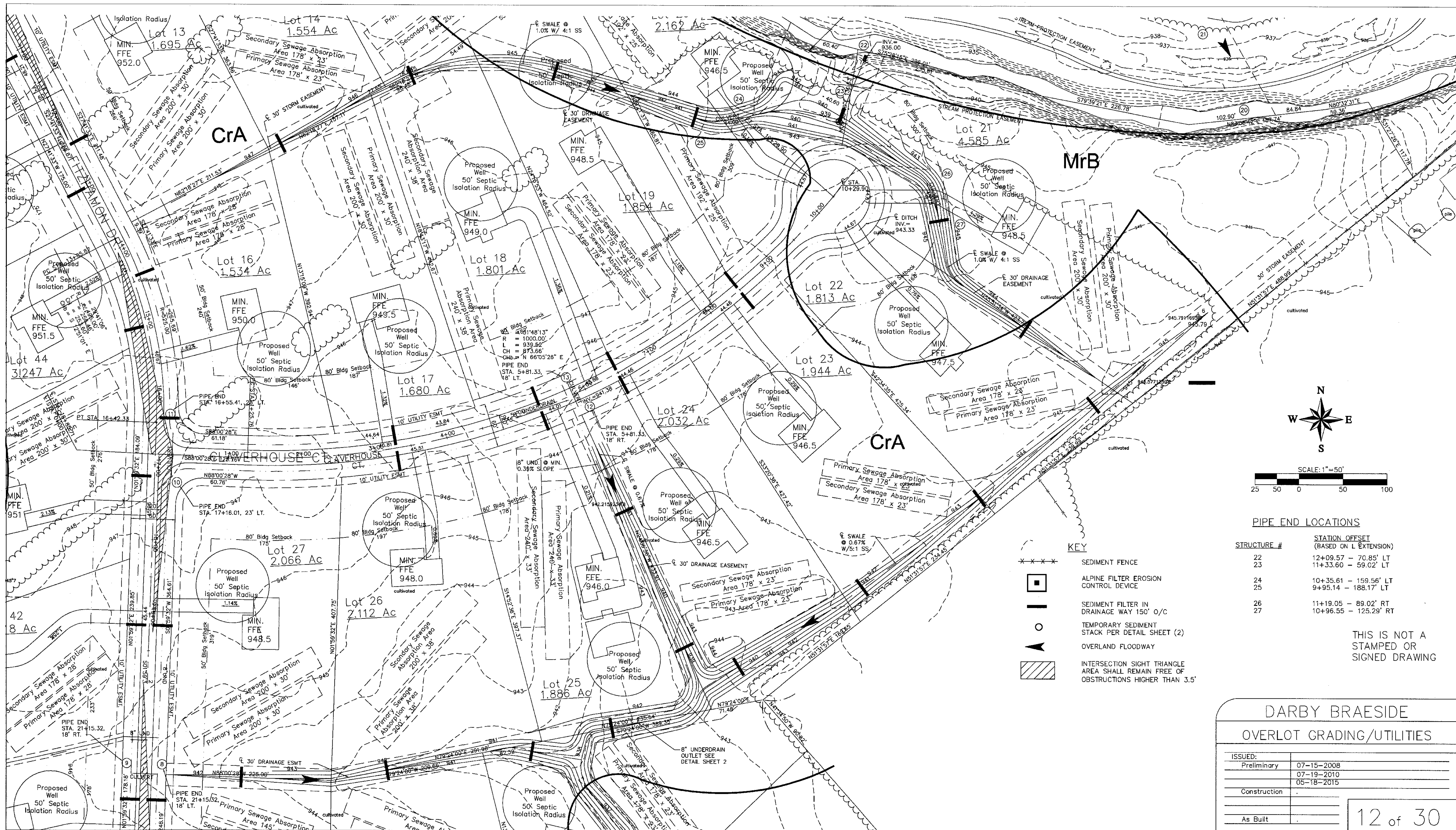
10 30

10 30

2 WORKING DAYS
BEFORE YOU DIG

CALL TOLL FREE 800-362-2764
CITY UTILITIES PROTECTION SERVICE





PIPE END LOCATIONS

STRUCTURE #	STATION OFFSET (BASED ON L EXTENSION)
22	12+09.57 - 70.85' LT
23	11+33.60 - 59.02' LT
24	10+35.61 - 159.56' LT
25	9+95.14 - 188.17' LT
26	11+19.05 - 89.02' RT
27	10+96.55 - 125.29' RT

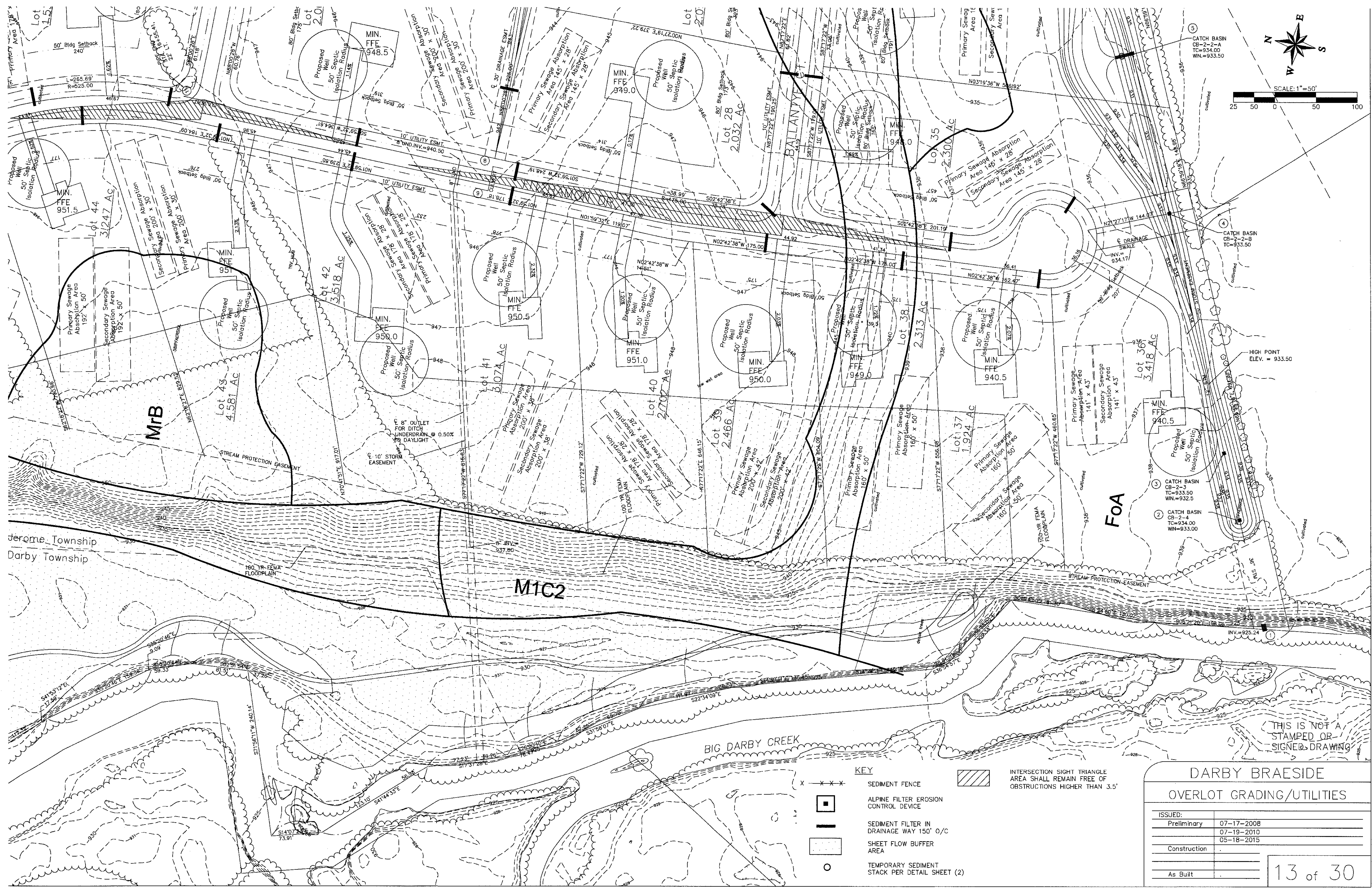
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DARBY BRAESIDE

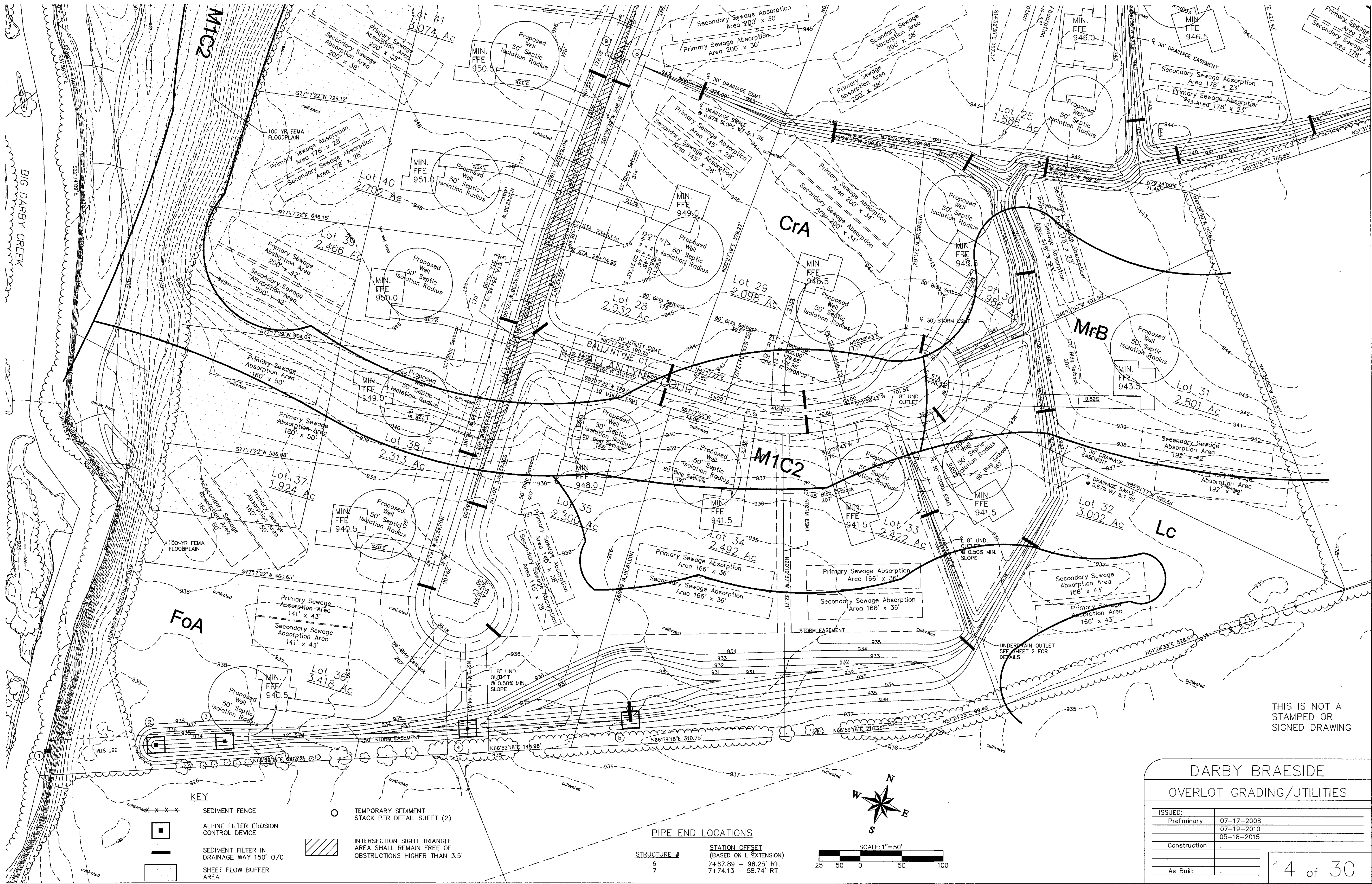
OVERLOT GRADING/UTILITIES

ISSUED:	
Preliminary	07-15-2008
	07-19-2010
	05-18-2015
Construction	
As Built	

12 of 30



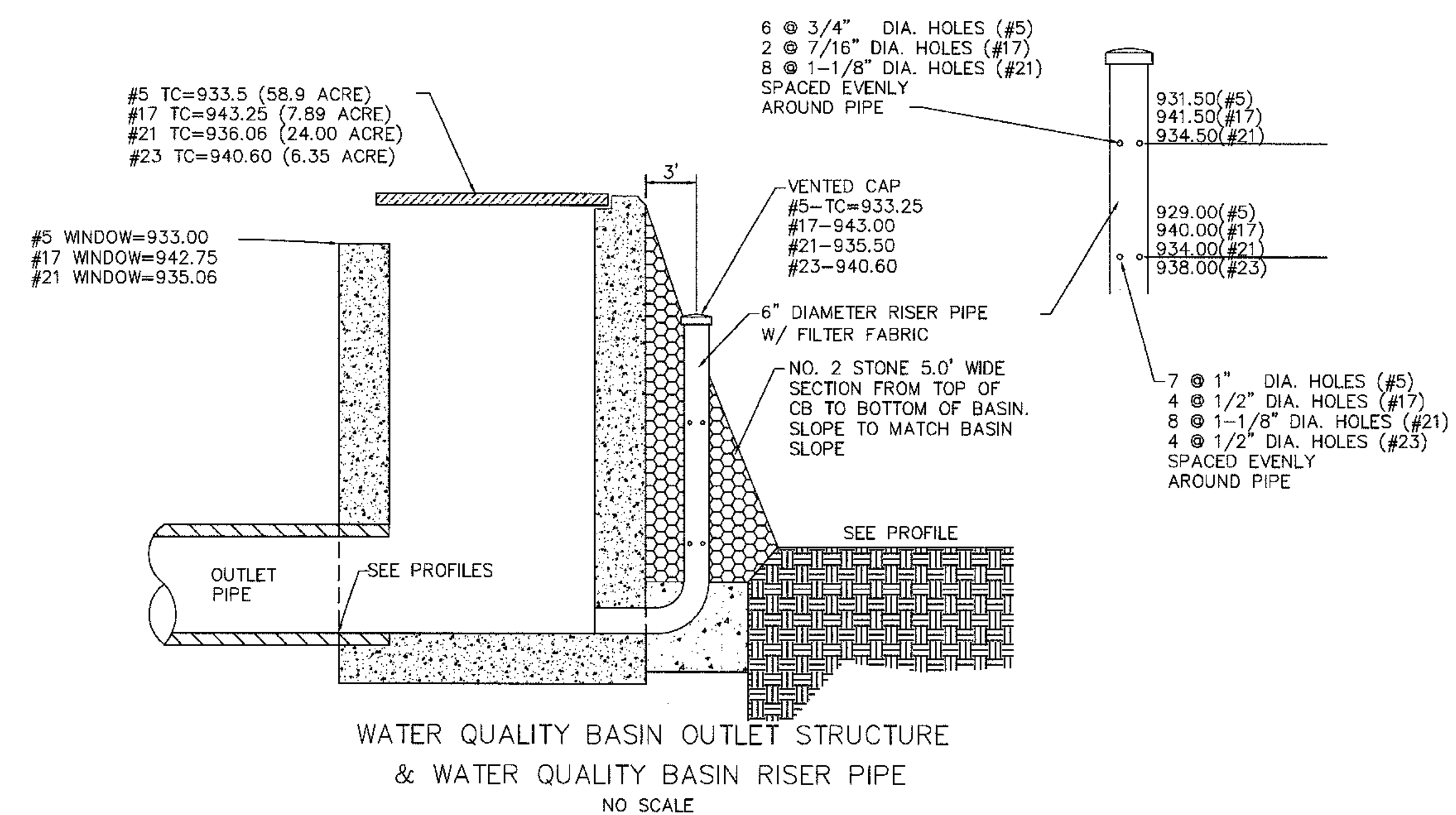
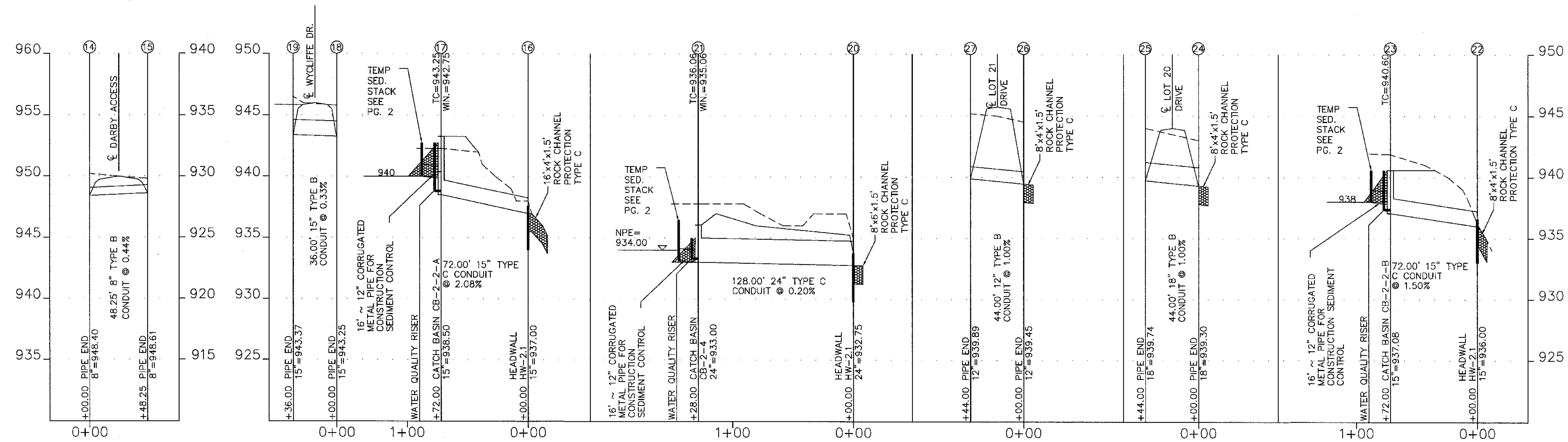
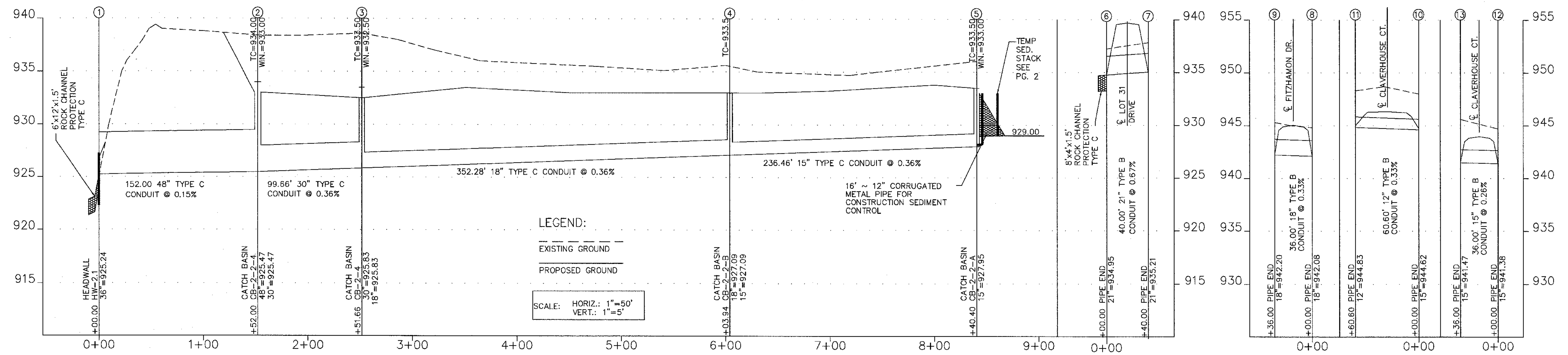
DARBY BRAESIDE	
OVERLOT GRADING/UTILITIES	
ISSUED:	
Preliminary	07-17-2008
	07-19-2010
	05-18-2015
Construction	
As Built	



THIS IS NOT A
STAMPED OR
SIGNED DRAWING

DARBY BRAESIDE
OVERLOT GRADING/UTILITIES

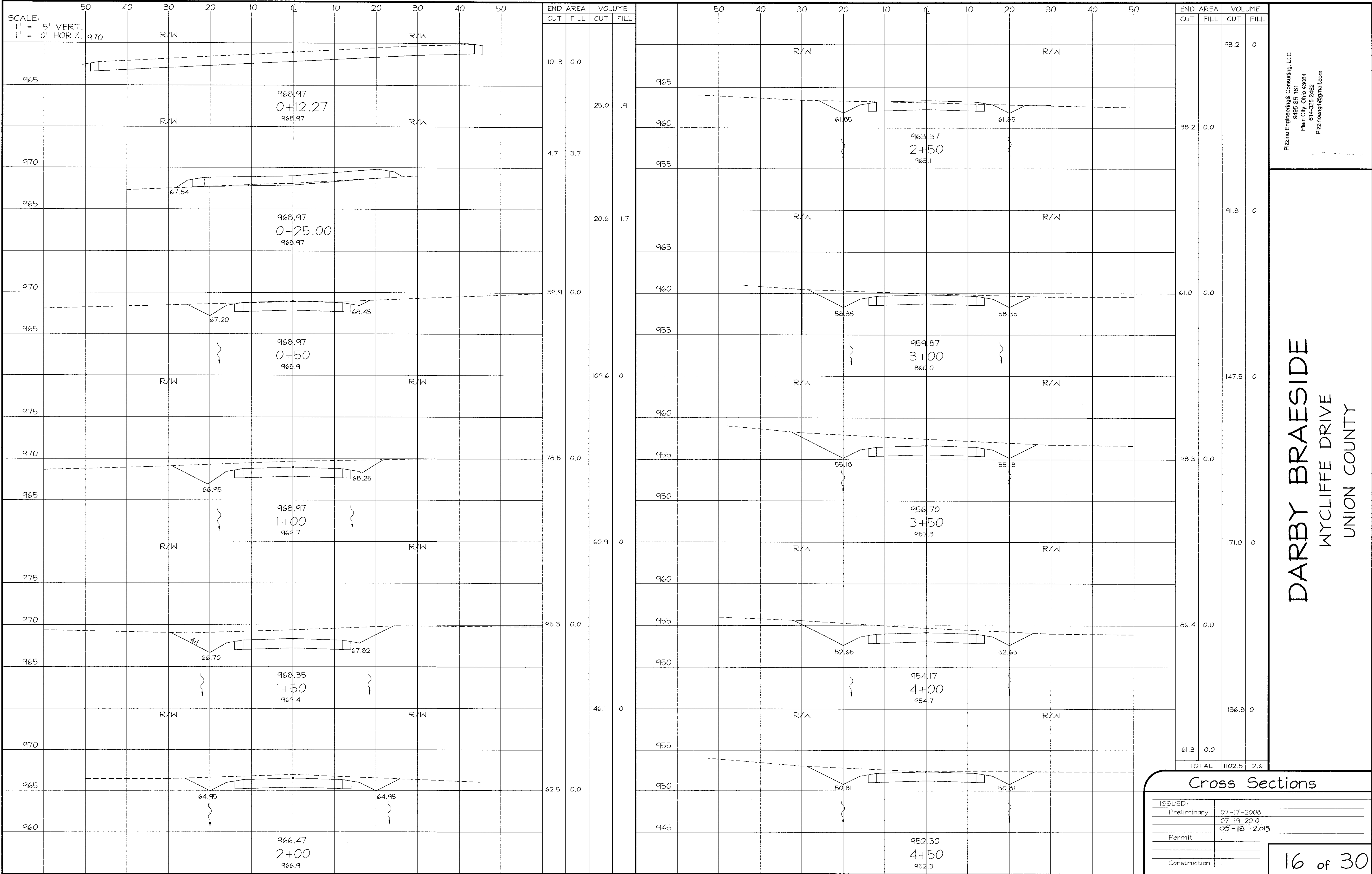
ISSUED:	
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	07-19-2010
Construction	05-18-2015
As Built	

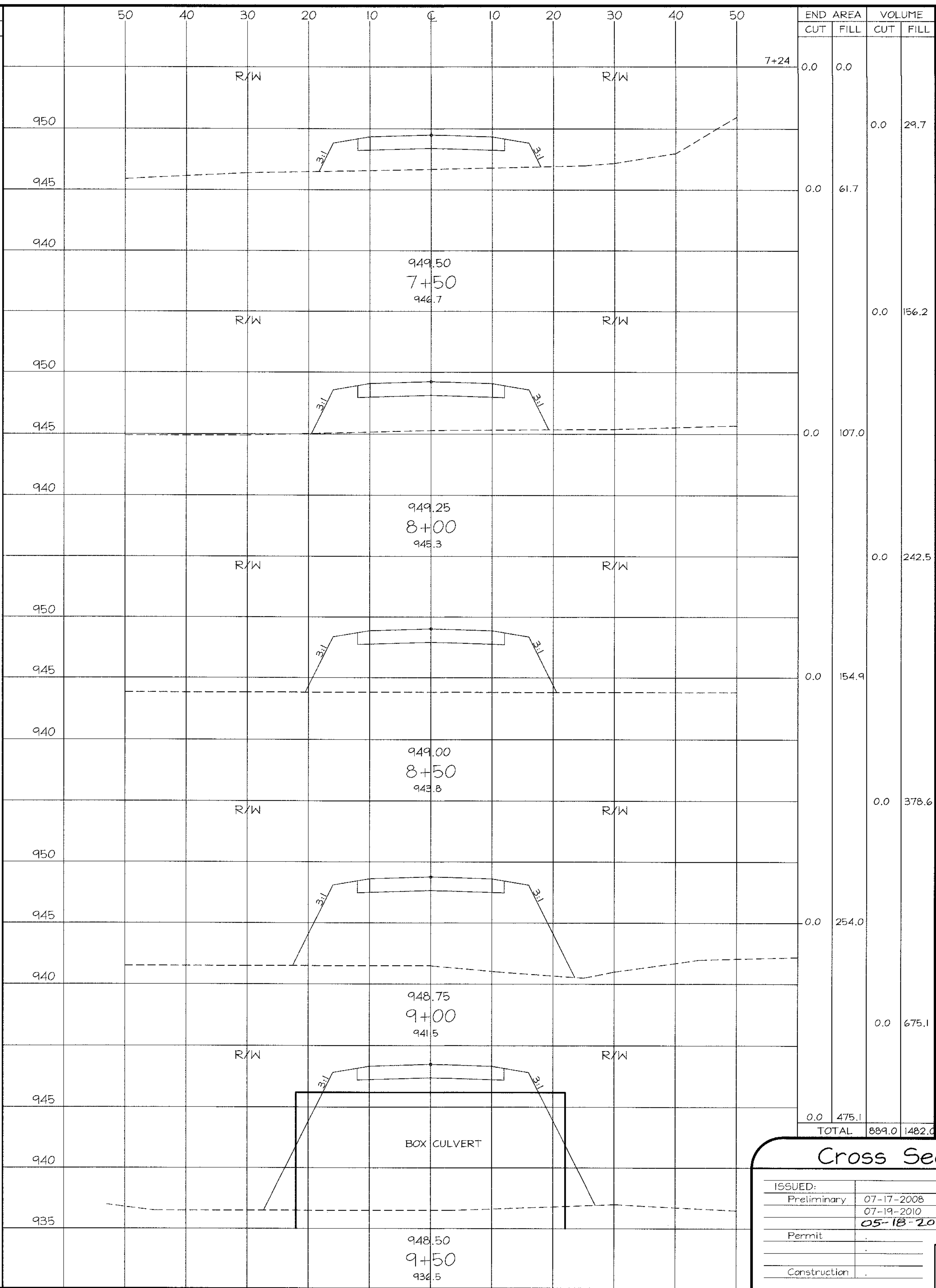
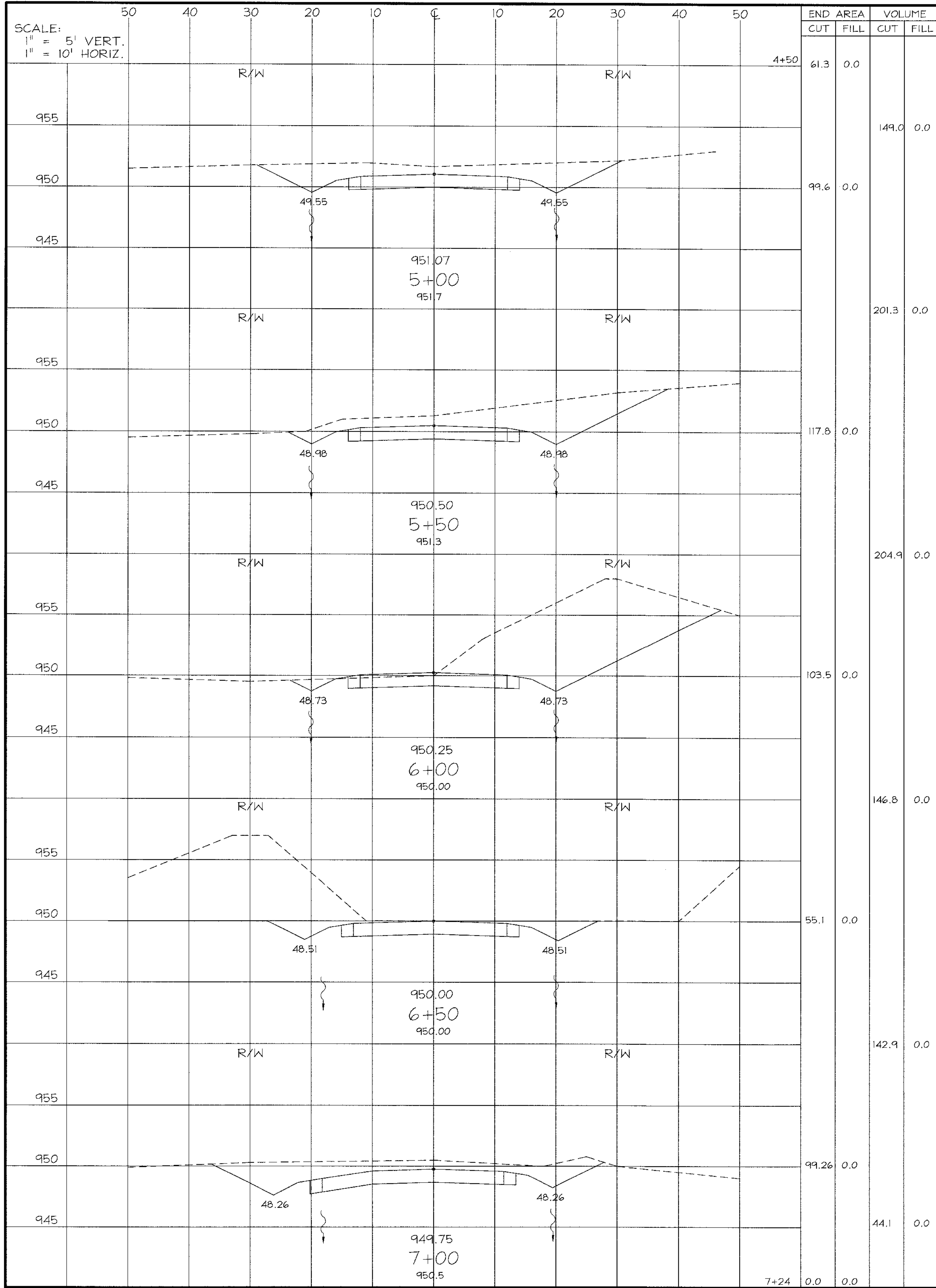


THIS IS NOT A
 STAMPED OR
 SIGNED DRAWING

DARBY BRAESIDE STORM PROFILES

ISSUED:	
Preliminary	07-17-2008
	07-19-2010
	07-18-2012
	05-18-2015
Construction	
As Built	



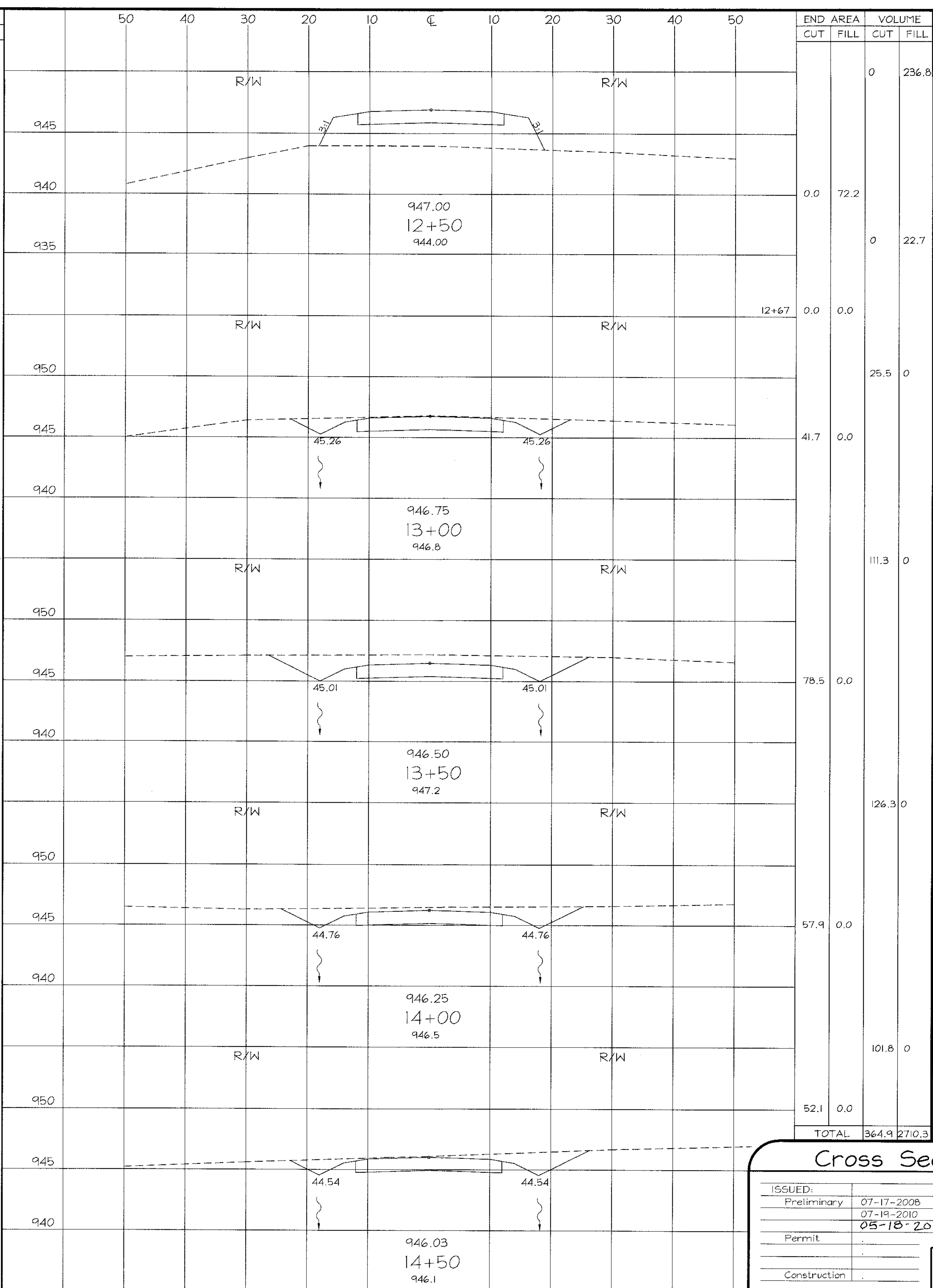
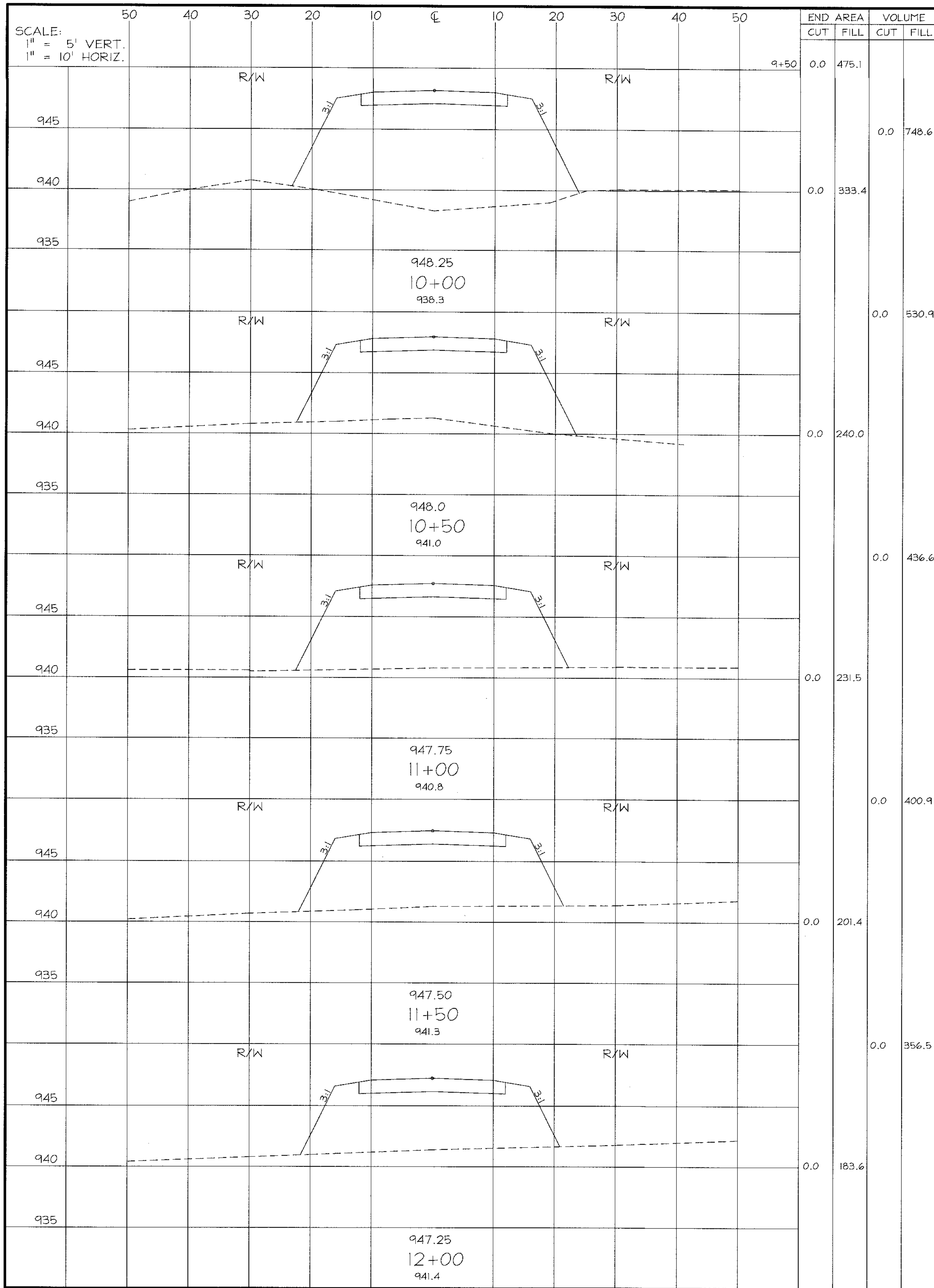


DARBY BRAESIDE
WYCLIFFE DRIVE
UNION COUNTY

PIZZINO ENGINEERING & CONSULTING, LLC
9495 SR 161
Plain City, Ohio 43084
614-325-2482
Pizzinoeng1@gmail.com

ISSUED:
Preliminary 07-17-2008
07-19-2010
Permit 05-18-2015
Construction

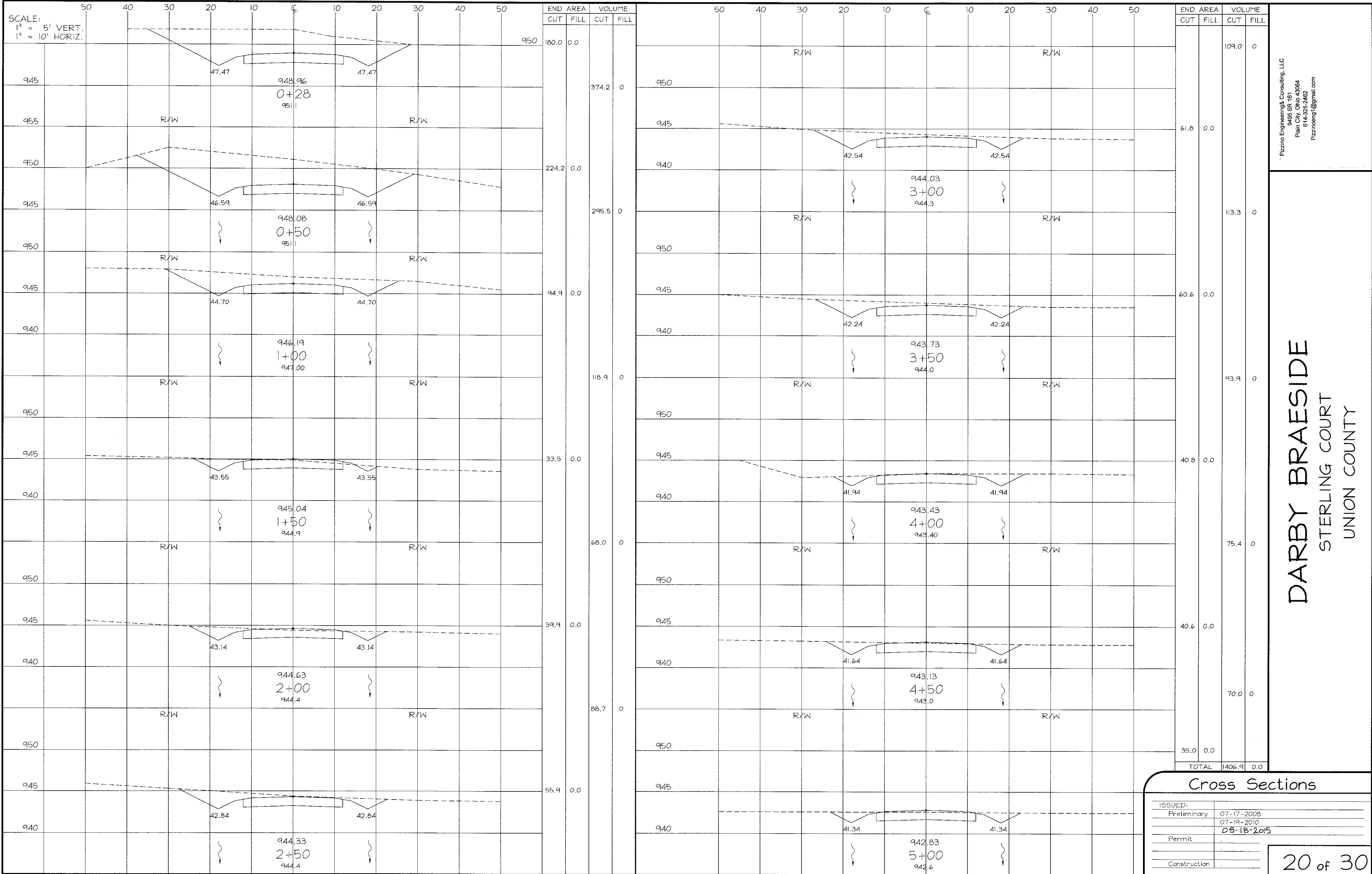
17 of 30

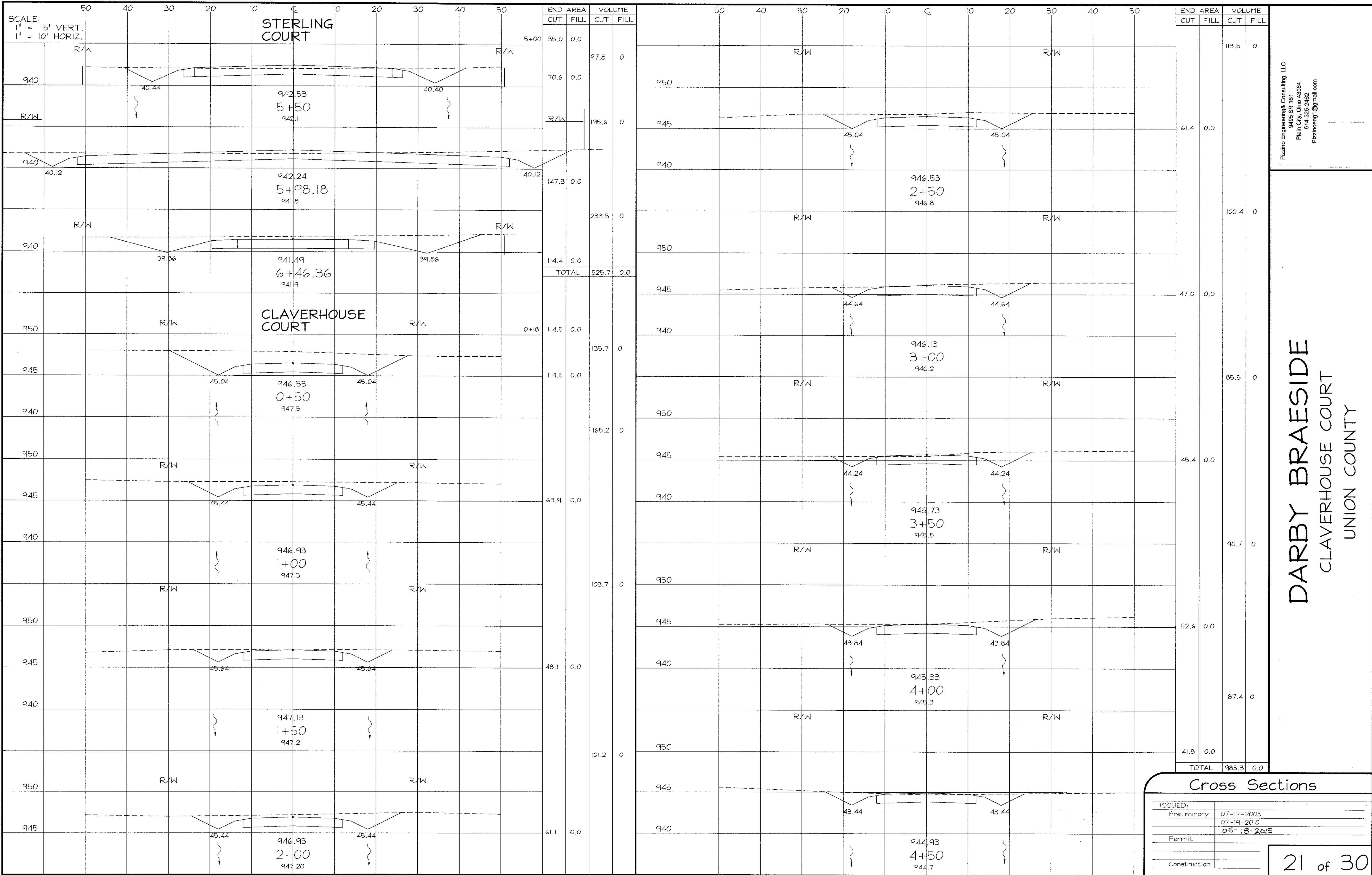


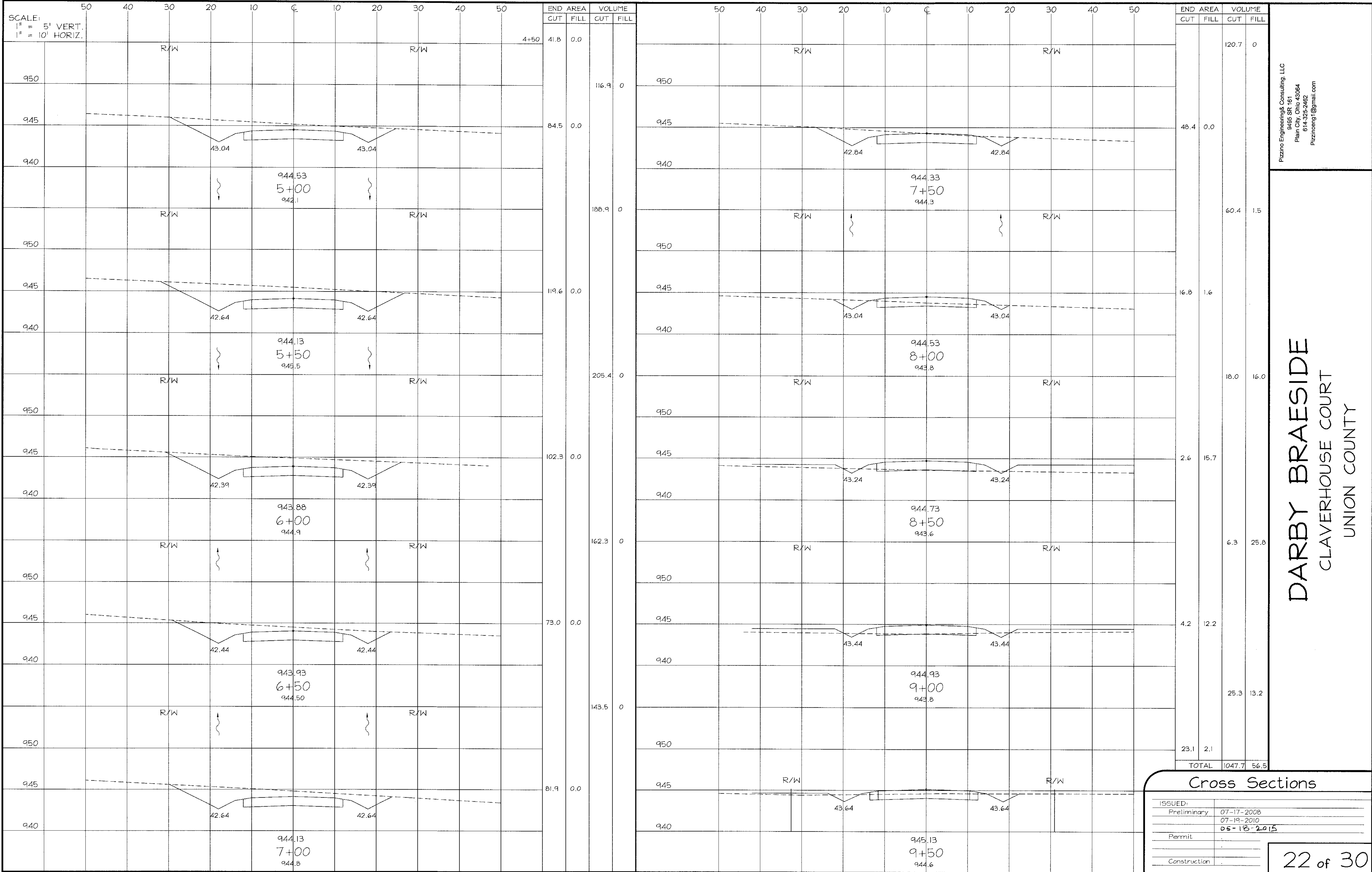
DARBY BRAESIDE
WYCLIFFE DRIVE
UNION COUNTY

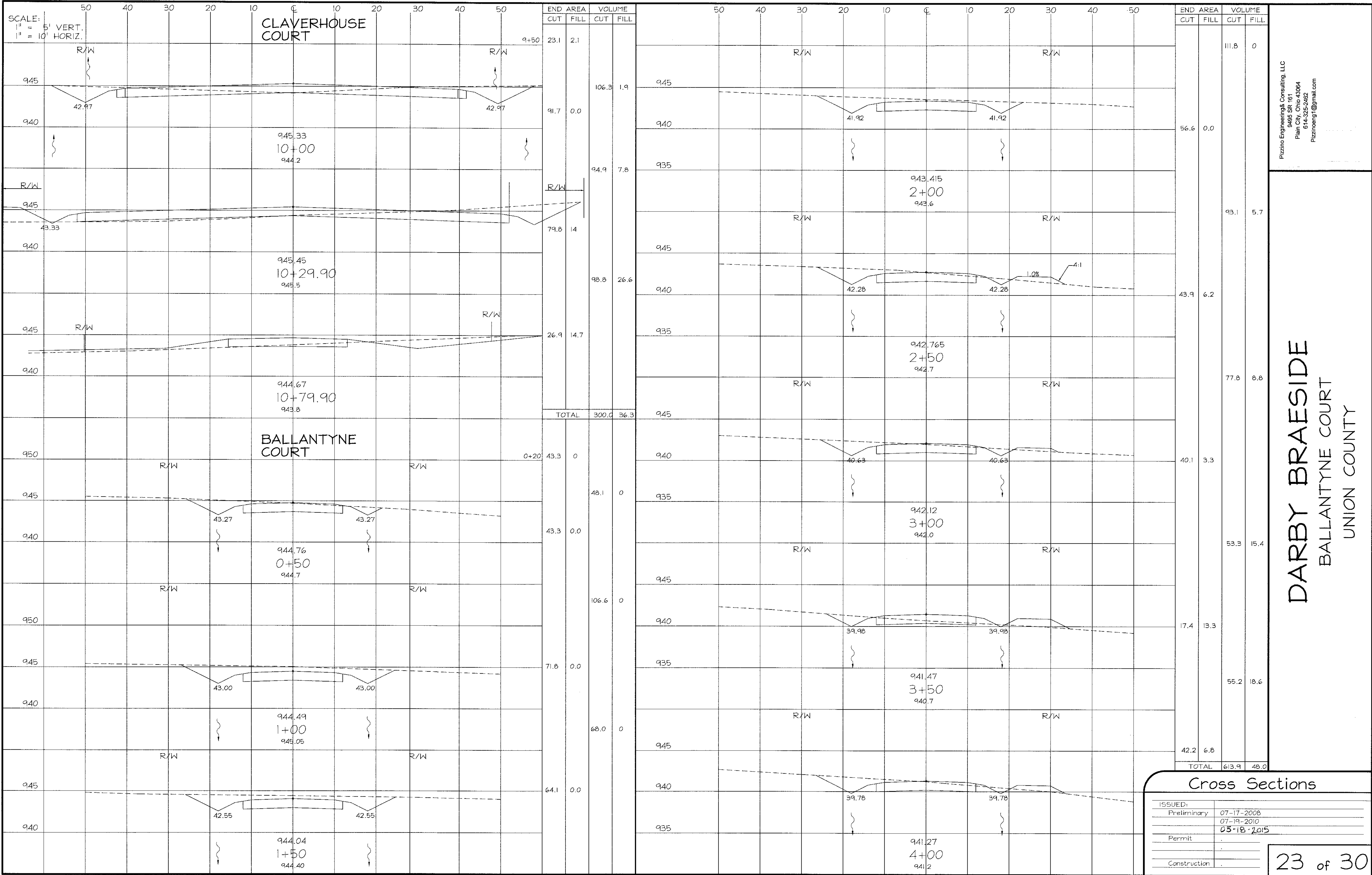
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07-19-2010
Permit 05-18-2015
Construction

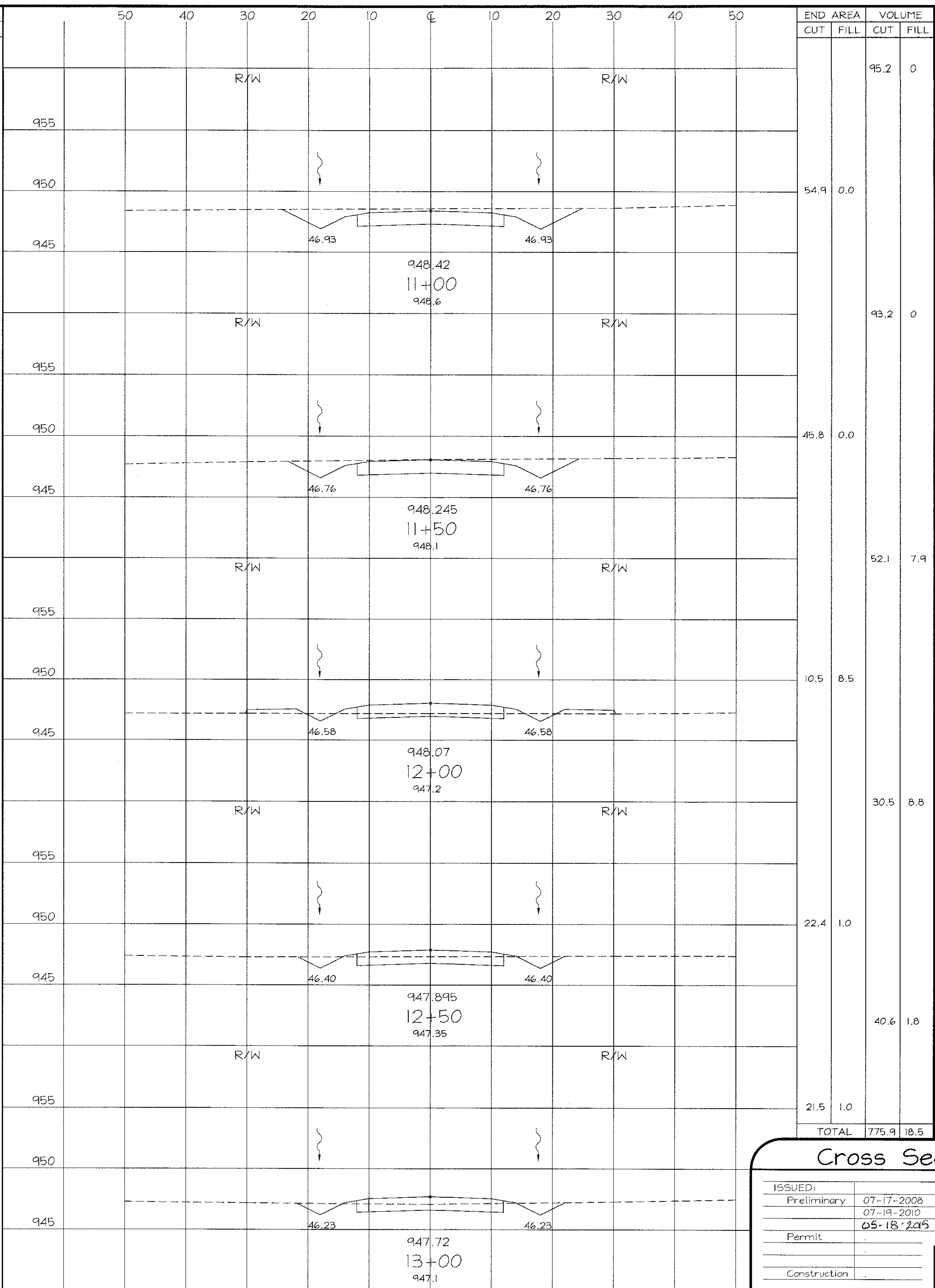
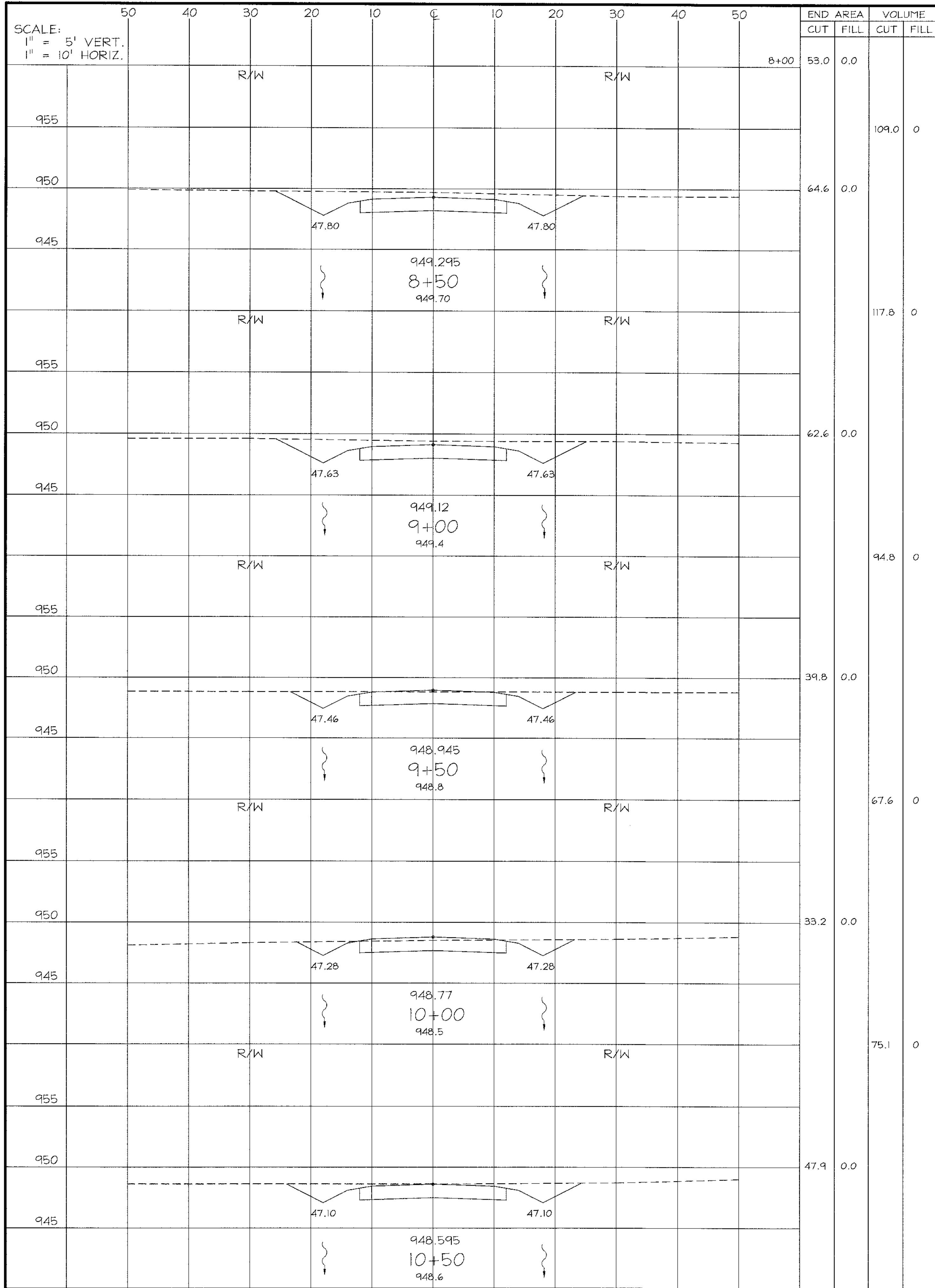
18 of 30











Pizzino Engineering & Consulting, LLC
9495 SR 161
Plain City, Ohio 43064
614-323-2462
Pizzinoengr@gmail.com

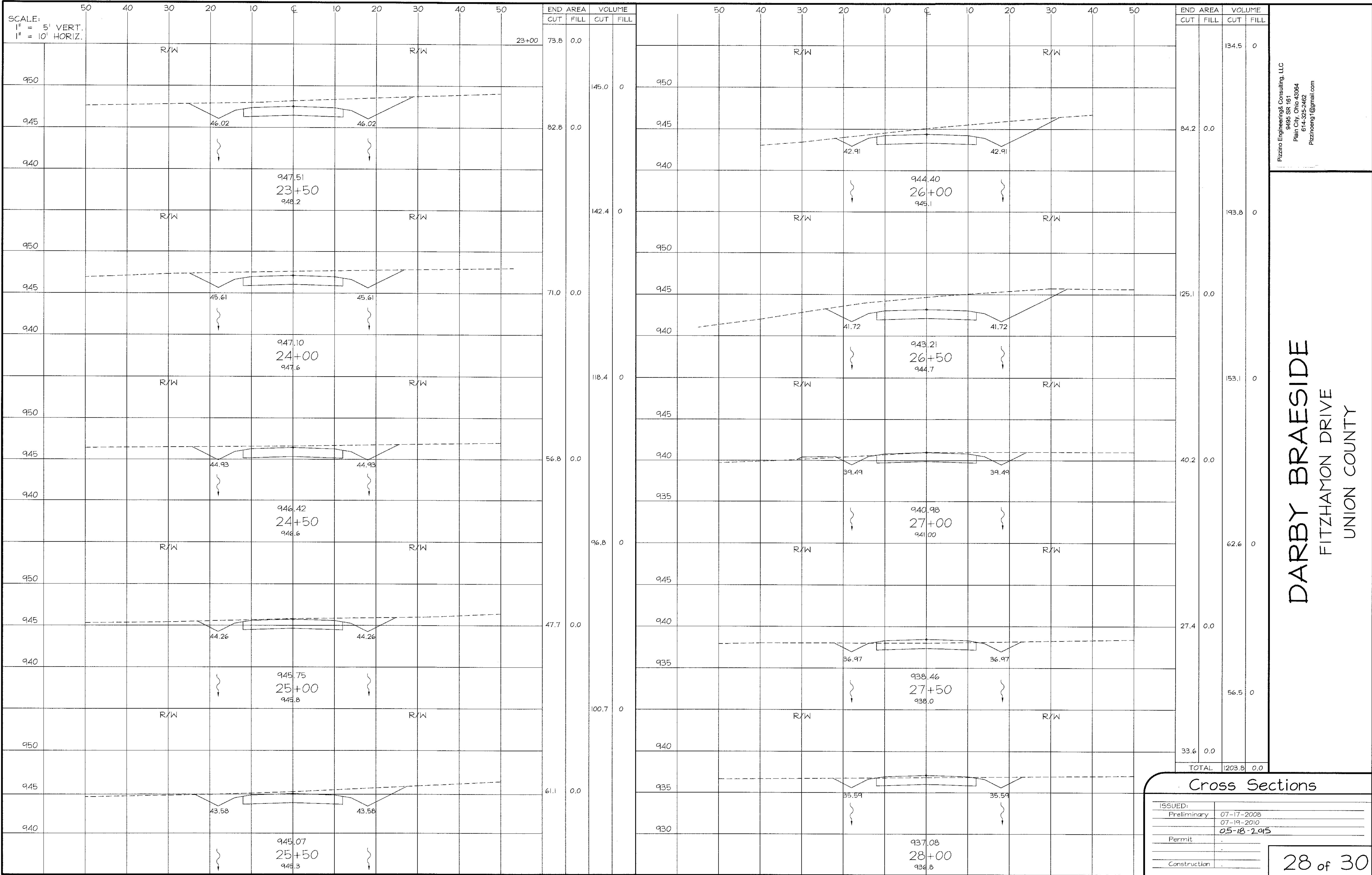
DARBY BRAESIDE

FITZHAMON DRIVE

UNION COUNTY

ISSUED:
Preliminary 07-17-2008
07-19-2010
05-18-2015
Permit
Construction

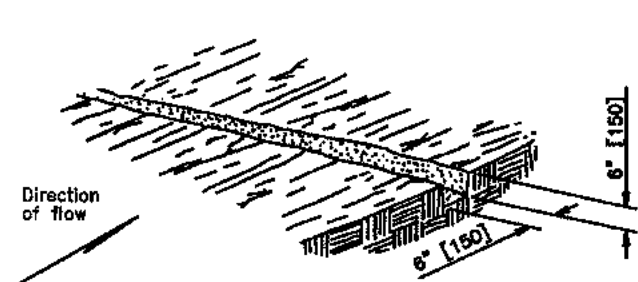
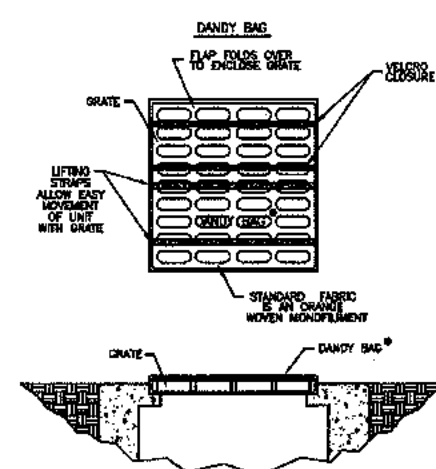
25 of 30



DANDY BAG®
Installation and Maintenance Guidelines

Installation: The empty Dandy Bag should be placed over the grate as the grate stands on end. If using optional oil absorbents, place absorbent pillow in pouch, on the bottom (below-grade side) of the unit. Attach absorbent pillow to tether loop. Tuck the enclosure flap inside to completely enclose the grate. Holding the lifting devices (do not rely on lifting devices to support the entire weight of the grate), place the grate into its frame.

Maintenance: Remove all accumulated sediment and debris from surface and vicinity of unit after each storm event. Remove sediment that has accumulated within the containment area of the Dandy Bag as needed. If using optional oil absorbents, remove and replace absorbent pillow when near saturation.

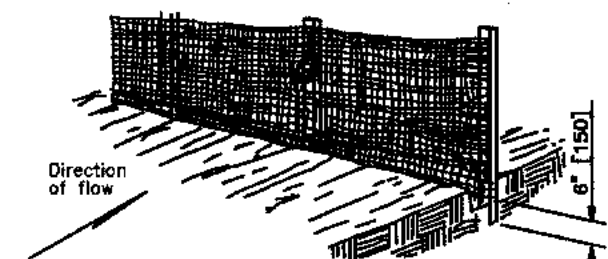


STEP 1

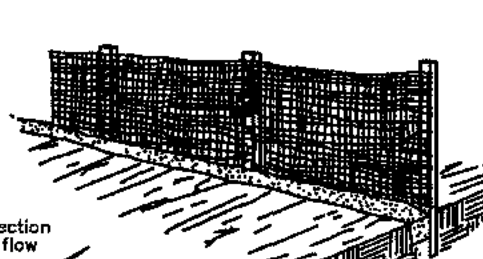
MATERIALS: Furnish 30" [0.8 m] wide filter fabric with sound wood supports with maximum on-center spacing of 10' [3.0 m]. Use filter fabric conforming to 712.09 Type C. The Contractor may elect to use straw or hay bales. Use 30" [760] long 2"x4" [50x100] wooden stakes, reinforcing bars or fence posts for the straw or hay bales.

CONSTRUCTION: Trench the filter fabric fence as detailed. The Contractor may elect to trench the fence detailed on steps 1 through 3 in one plowing operation.

PERIMETER FILTER FABRIC FENCE



STEP 2

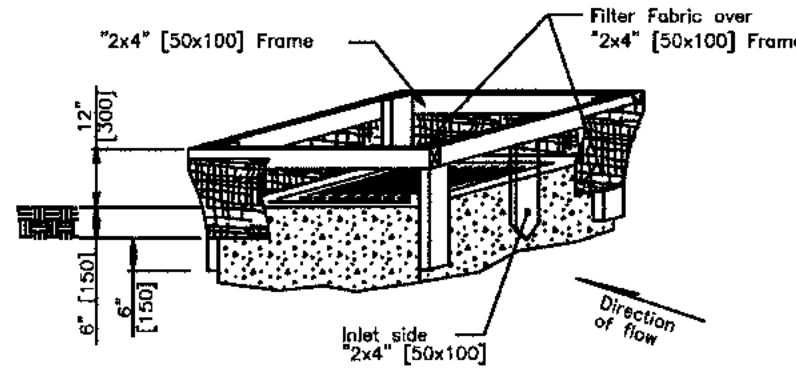


STEP 3

NOTES

When straw or hay bales are used conform to the following: Tightly place each bale adjacent to one another. Entrench 2' [60] to 3' [75] into the ground prior to staking. Firmly stake each bale with at least two stakes. Use loose hay or straw to fill the voids under or between the bales.

INLET PROTECTION



INLET PROTECTION

NOTES

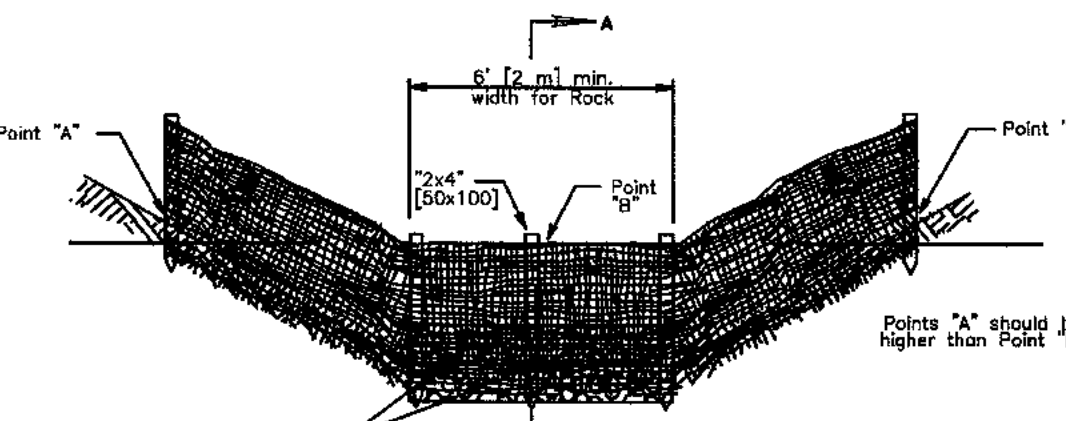
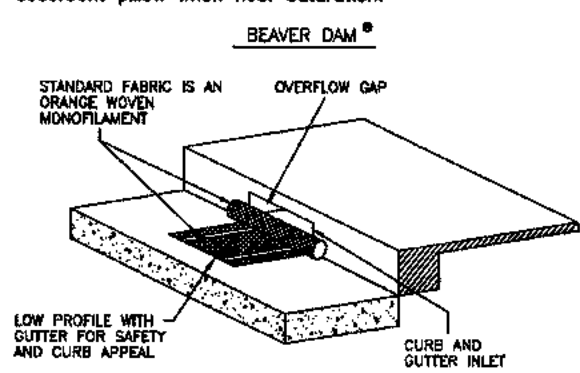
MATERIALS: Furnish inlet protection consisting of 18" [0.5 m] wide filter fabric fence with a securely rolled 2"x4" [50x100] wood frame with a vertically driven 2"x4" [50x100] stake in the center of the structure. Use filter fabric conforming to 712.09 Type C.

CONSTRUCTION: Construct an 18" [0.5 m] wide filter fabric fence supported ground a storm drain inlet or catch basin with a securely rolled 2"x4" [50x100] wood frame. Excavate a 6" [150] trench around the inlet, and drive support posts 6" [150] below the excavated trench bottom. Stretch the fabric around the frame. Secure it tightly ensuring that 6" [150] of fabric is in the trench. Overlap the fabric on one side of the inlet so that the fabric ends are not attached to the same post. Backfill and compact the excavated soil tightly onto the fabric. Place a vertical 2"x4" [50x100] in the center of the inlet so that the top is at the top of the fence and the bottom is at least 6" [150] below the bottom of the ditch.

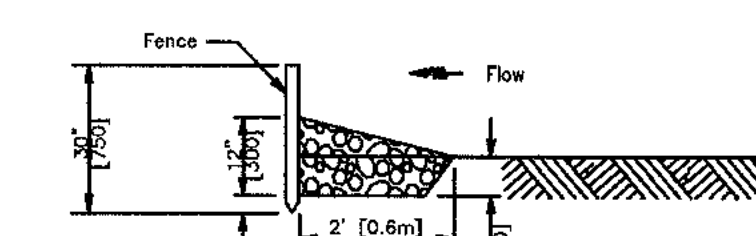
BEAVER DAM®
Installation and Maintenance Guidelines

Installation: The empty Beaver Dam should be placed over the grate as the grate stands on end. If using optional oil absorbents, place absorbent pillow on pouch, on the bottom (below-grade side) of the unit. Attach absorbent pillow to tether loop. Tuck the enclosure flap inside to completely enclose the grate. Holding the lifting devices (do not rely on lifting devices to support the entire weight of the grate), place the grate into its frame. The Beaver Dam should be partially blocking the curb hood when installed properly.

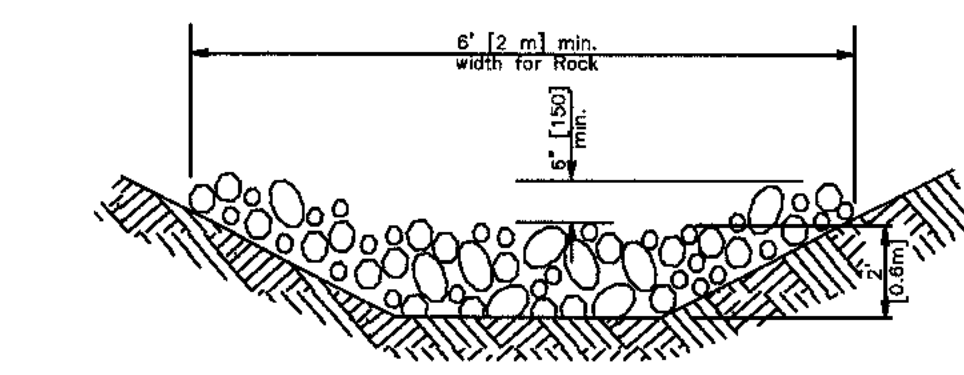
Maintenance: Remove all accumulated sediment and debris from surface and vicinity of unit after each storm event. Remove sediment that has accumulated within the containment area of the Beaver Dam as needed. If using optional oil absorbents, remove and replace absorbent pillow when near saturation.



ELEVATION VIEW OF FLAT BOTTOM DITCH

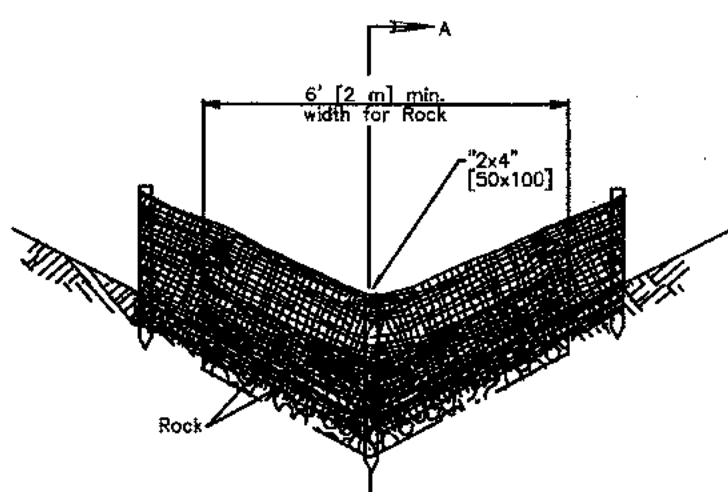


SIDE VIEW OF FLAT BOTTOM AND V DITCH



ELEVATION VIEW
ROCK CHECK

DITCH CHECKS



ELEVATION VIEW OF "V" DITCH

NOTES

FILTER FABRIC DITCH CHECKS:

- MATERIALS:** Furnish filter fabric ditch checks consisting of the following materials:
- 30" [0.8 m] wide filter fabric with sound wood supports with maximum on-center spacing of 10' [3.0 m]. Use filter fabric conforming to 712.09 Type C.
 - A vertically driven 2"x4" [50x100] stake in the center of the ditch.
 - Gravel or limestone material conforming to one of the following gradations No. 1 through No. 4 on Table 703.01-1.

CONSTRUCTION: Trench the filter fabric fence as detailed for PERIMETER FILTER FABRIC FENCE. (see Sheet 2/2). Place a vertical 2"x4" [50x100] stake in the center of the ditch with the top level to the top of the fence and at least 6" [150] below the bottom of the ditch. Excavate for and place the gravel or limestone on the upstream side of the ditch check.

ROCK CHECKS:

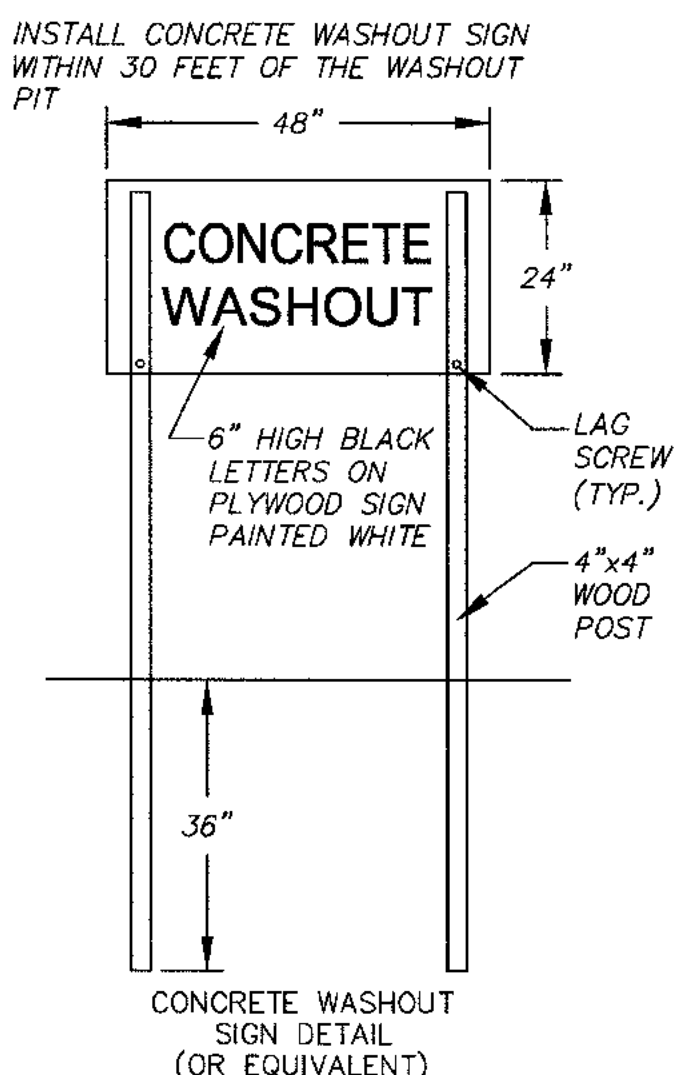
CONSTRUCTION: Place the rock outside the traffic clear zone in the ditch.

EROSION CONTROL SCHEDULE

EROSION CONTROL MEASURE	MAINTENANCE	INSTALLATION SCHEDULE
STONE ENTRANCE	AS NEEDED	PRIOR TO START OF CONSTRUCTION
SILT FENCE	WEEKLY/AFTER STORMS AS NEEDED	PRIOR TO START OF CONSTRUCTION
EXISTING INLET PROTECTION	WEEKLY/AFTER STORMS AS NEEDED	PRIOR TO START OF CONSTRUCTION
TREE PROTECTION	WEEKLY/AFTER STORMS AS NEEDED	PRIOR TO START OF CONSTRUCTION
TEMPORARY DIVERSIONS	WEEKLY/AFTER STORMS AS NEEDED	DURING ROUGH GRADING
TEMPORARY SEEDING	WATER AS NEEDED	AFTER ROUGH GRADING
PERMANENT SEEDING	WATER AS NEEDED	AFTER FINISH GRADING
EROSION CONTROL MATTING	WEEKLY/AFTER STORMS AS NEEDED	AFTER FINISH GRADING
STRAW BALES	WEEKLY/AFTER STORMS AS NEEDED	AFTER FINISH GRADING
INLET PROTECTION	WEEKLY/AFTER STORMS AS NEEDED	AFTER INSTALLATION OF INLETS
SEED AND SOD FINISHED UNITS	WATER AS NEEDED	AFTER FINISH GRADING
REMOVAL OF STRAW BALES		AFTER ALL AREAS ARE STABLE
REMOVAL OF SILT FENCE		AFTER ALL AREAS ARE STABLE
REMOVAL OF INLET PROTECTION		AFTER ALL AREAS ARE STABLE

TEMPOARY SEEDING SCHEDULE

TYPE OF SEED	SEEDING DATES	LBS/1000 SQ. FT.
ANNUAL RYE GRASS	MARCH 1ST TO SEPT. 1ST.	1 LBS.
WHEAT OR RYE	AUG. 15TH TO OCT. 15TH.	4 LBS.



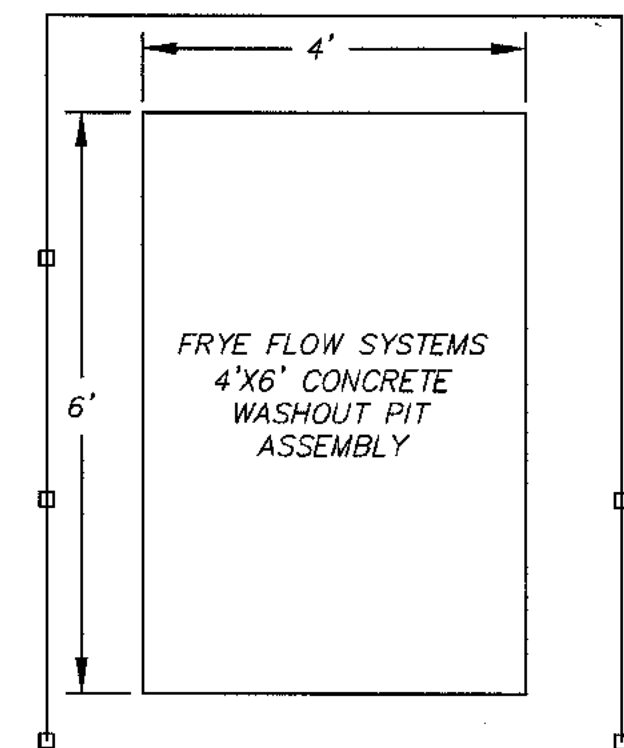
CONCRETE WASHOUT
SIGN DETAIL
(OR EQUIVALENT)

INSTALLATION

- INSERT REBAR INTO POCKETS OF DEBRIS BAG.
- INSTALL FRYEFLOW SYSTEMS DEBRIS BAG INTO ANGLE IRON FRAME.
- MAKE SURE ANGLE IRON SETS BEHIND REBAR BRACKETS.
- MAKE SURE FRAME AND BAG IS SET ON FLAT SURFACE.

MAINTENANCE

- ONCE DEBRIS BAG IS FULL, USE HANDLES PROVIDED TO LIFT OUT OF FRAME.
- REMOVE REBAR FROM SIDE POUCHES.
- INSERT NEW FRYEFLOW SYSTEMS DEBRIS BAG.
- PROPERLY DISPOSE OF USED BAG OF CONCRETE WASTE.



PLAN
NOT TO SCALE

CONCRETE WASHOUT PIT DETAIL

DARBY BRAESIDE

Erosion Control

ISSUED:	
Preliminary	07-17-2008
	07-19-2010
	07-18-2012
Construction	
As Built	

FEMA Flood Plain affects Lots 1 thru 13 and is shown on sheets 12 & 13. Flood plain is shown based on Flood Insurance Rate Map No. 3908080139C dated October 6, 2006, revised to reflect LOMR effective January 11, 2008.



SHEET INDEX

ENGINEEROWNERSURVEYOR

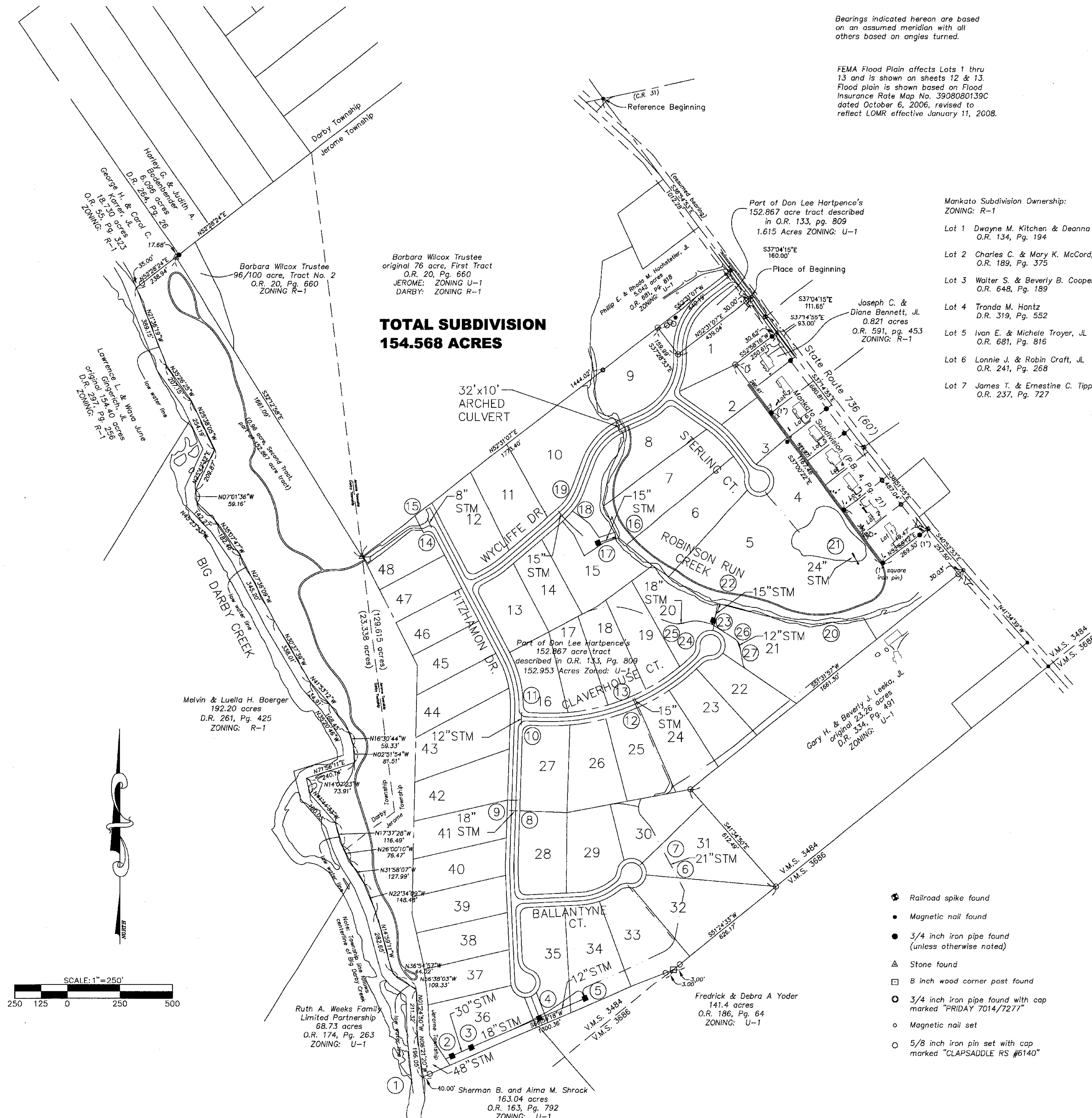
THIS IS NOT A
STAMPED OR
SIGNED DRAWING

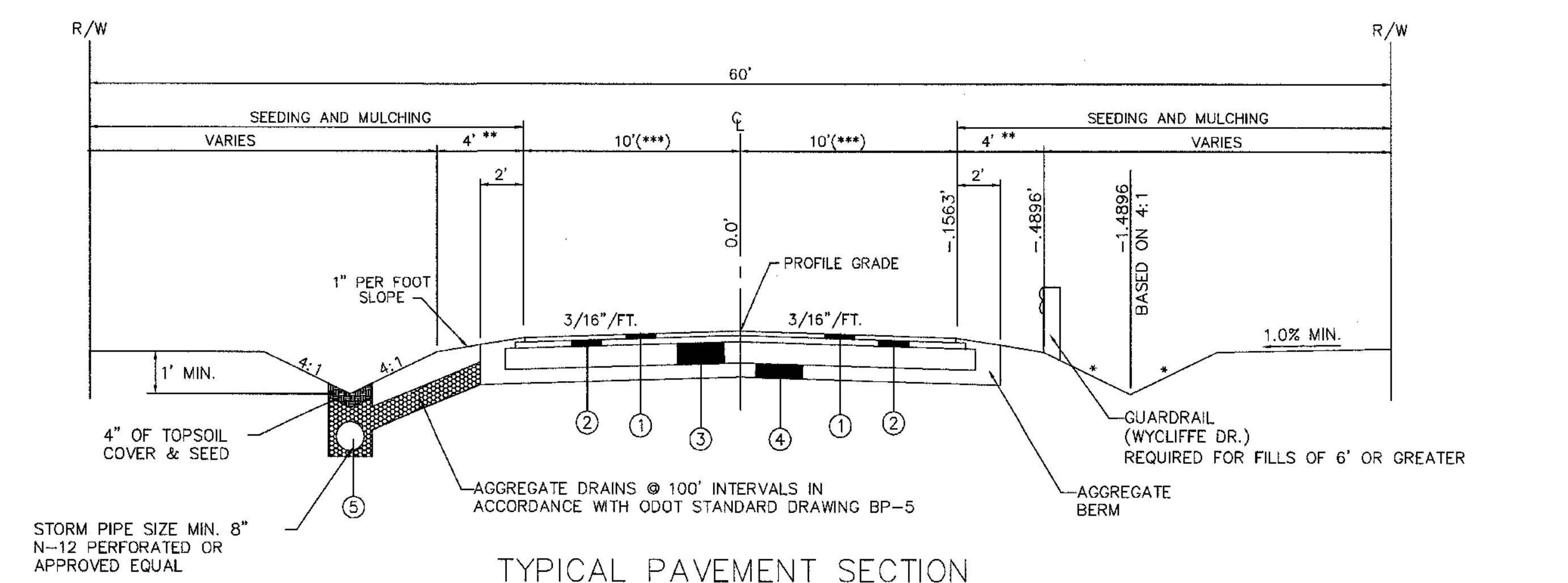
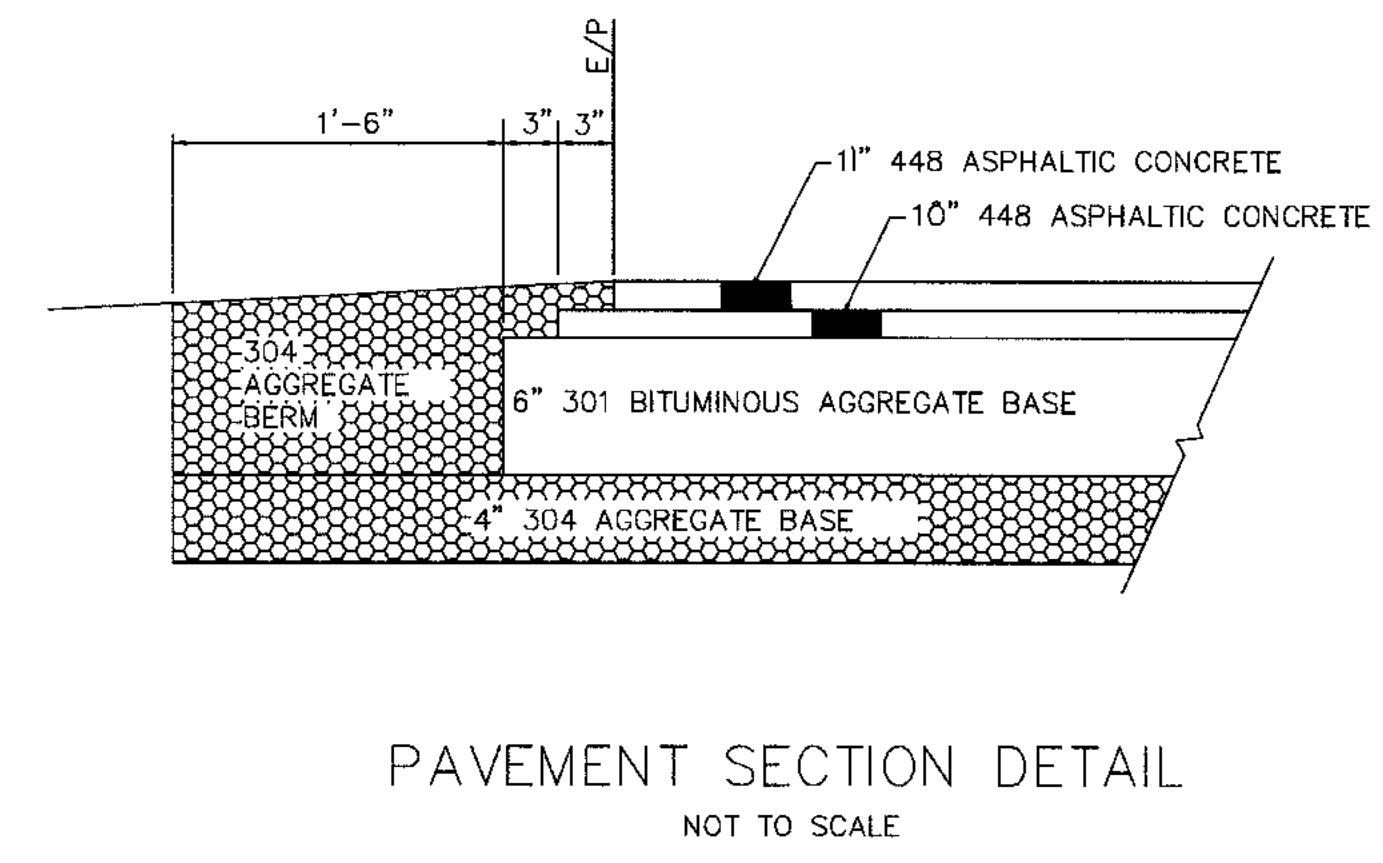
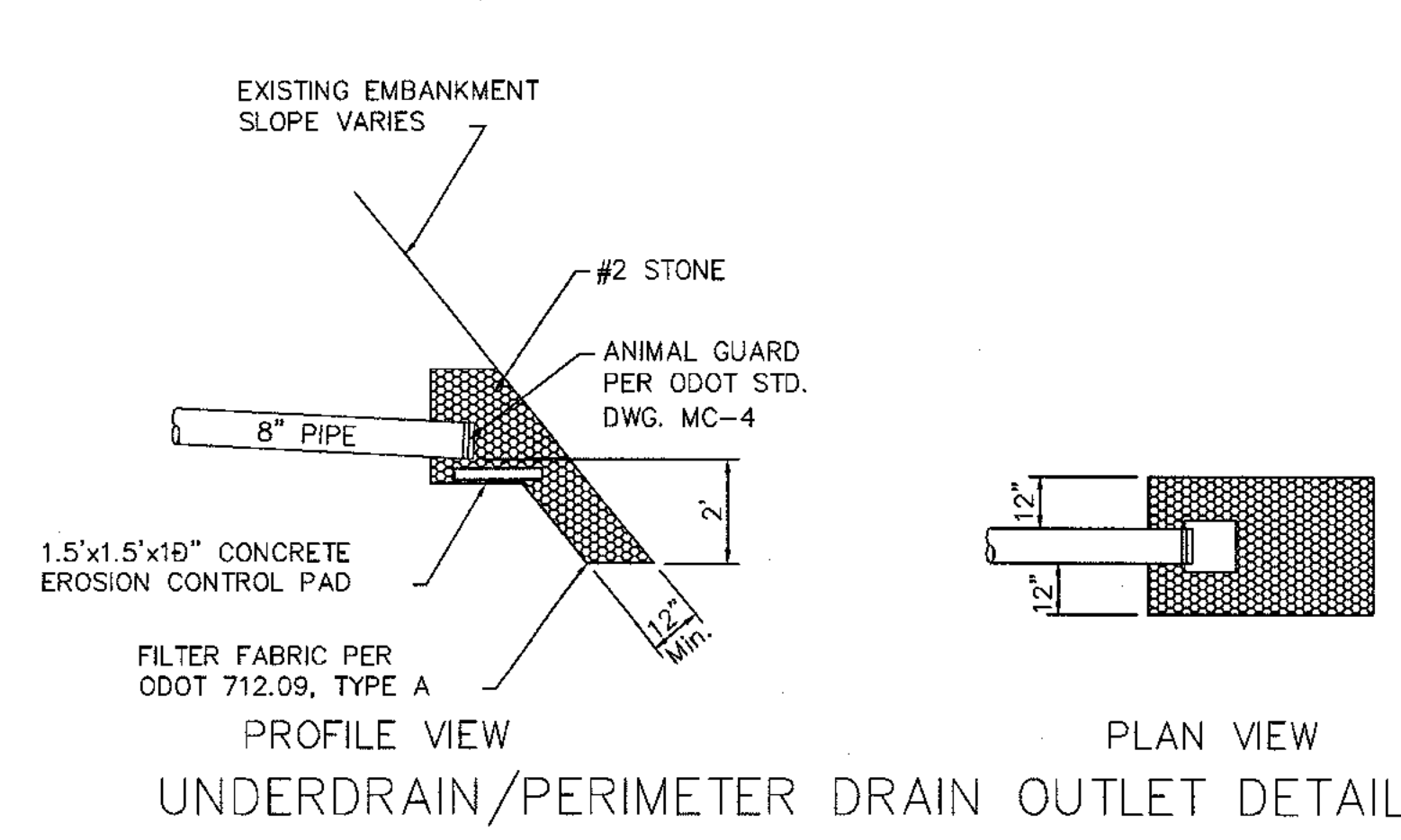
TITLE SHEET

ISSUED:	
Preliminary	07-17-2008
	07-19-2010
	07-18-2012
	05-18-2015
Construction	
As Built	

1 of 30

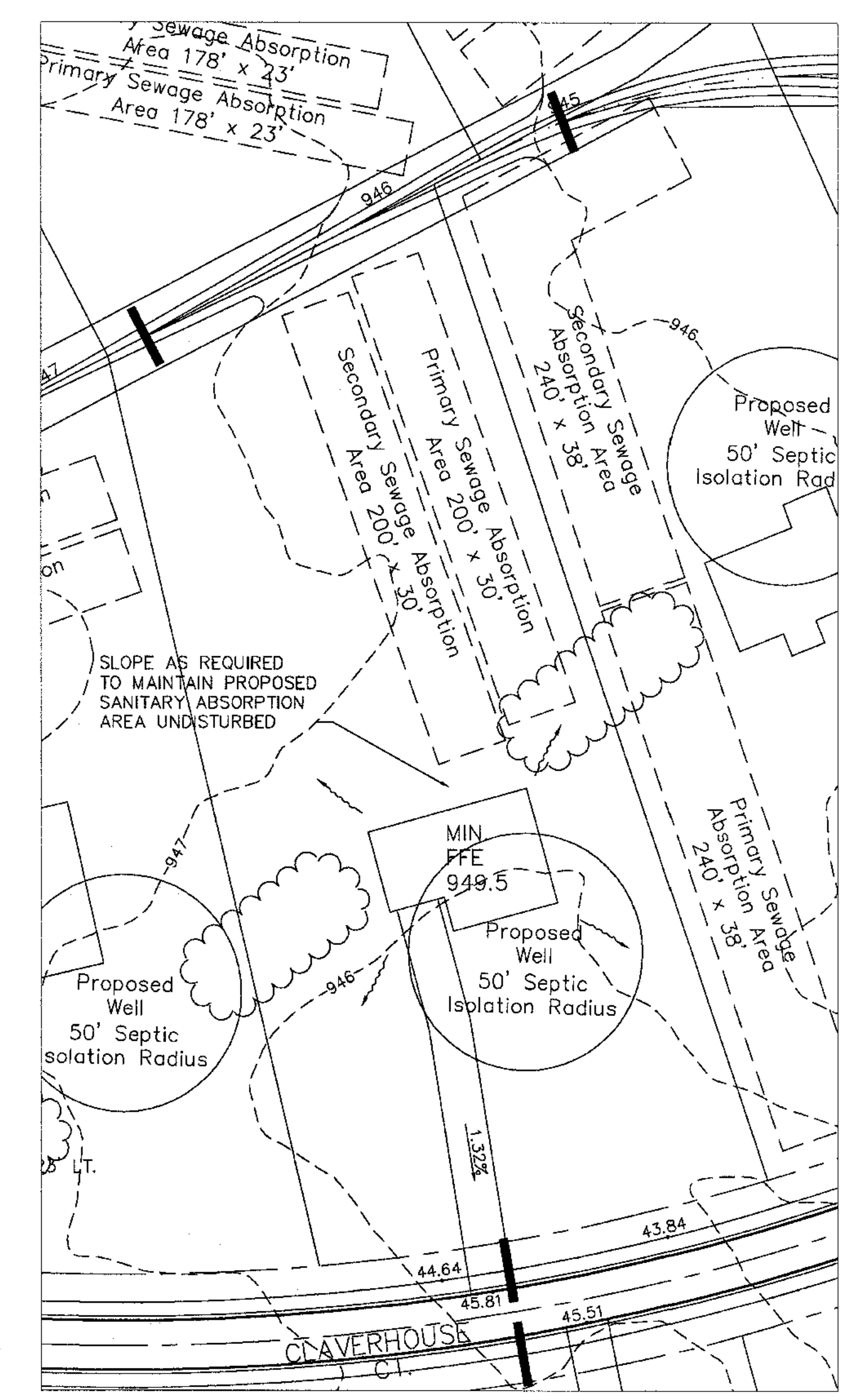
1 of 30





LEGEND:

- ① 11" ITEM 448 ASPHALTIC CONCRETE
 - ② 10" ITEM 448 ASPHALTIC CONCRETE
 - ③ 6" ITEM 301 BITUMINOUS AGGREGATE BASE IN 2 LIFTS
 - ④ 4" ITEM 304 AGGREGATE BASE
 - ⑤ SEE PAVEMENT UNDERDRAIN DETAIL UNION COUNTY ENGINEER DWG. NO: 10
- *** 12' WIDTH FROM S.R. 736 THROUGH STA. 6+81.15 WYCLIFFE DR.
- ** 6' AT LOCATIONS OF GUARDRAIL
- * SEE CROSS SECTIONS SHEETS 16 THRU 29 4:1 DESIRABLE MAXIMUM 3:1 ABSOLUTE MAXIMUM



LOT GRADING NOTES

MIN. FFE XXX.XX

INDICATES THE MINIMUM FIRST FLOOR ELEVATION OF THE PROPOSED HOUSE. THE ELEVATION IS BASED ON A GROUND ELEVATION ADJACENT TO THE STRUCTURE WHICH IS 1.5' BELOW THIS MINIMUM ELEVATION. THE MINIMUM ELEVATION ADJACENT TO THE STRUCTURE IS REQUIRED TO ENSURE POSITIVE DRAINAGE AWAY FROM THE STRUCTURE AND TO THE PROPOSED "SEWER ABSORPTION AREAS" WHICH ARE NOT TO BE DISTURBED BY THE GRADING ACTIVITIES.

THE CONTRACTOR SHALL MINIMIZE CONSTRUCTION TRAFFIC ON LOTS AND MAKE EVERY EFFORT TO LIMIT THE EXTENT OF THE WORK OUTSIDE THE PROPOSED DRAINAGE EASEMENTS SET ASIDE FOR INSTALLATION OF PROPOSED DRAINAGE SWALES.

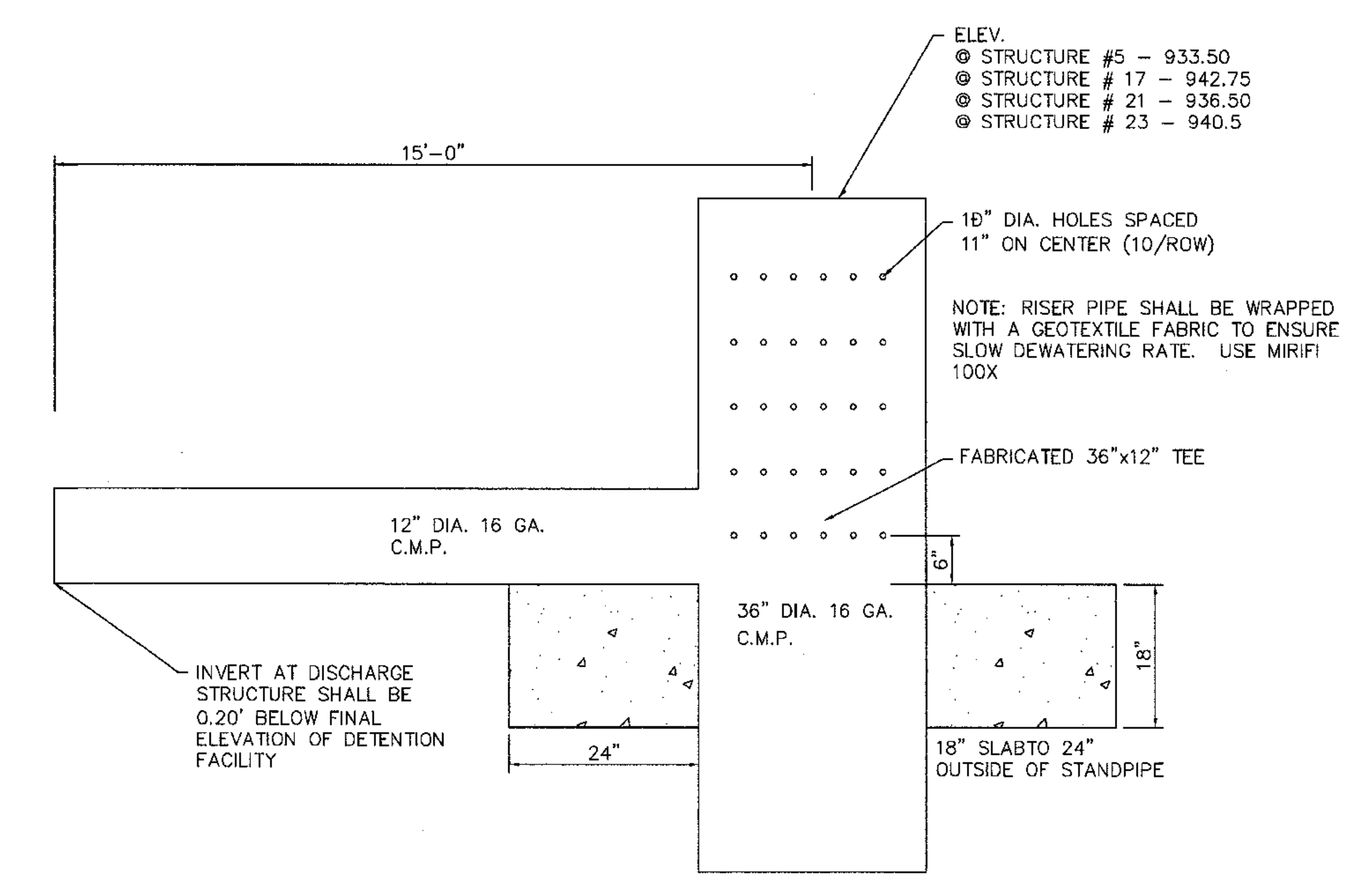
FINAL GRADING OF LOTS BY HOME BUILDERS SHALL ALSO MAINTAIN EXISTING GRADES IN AREAS OF "SEWER ABSORPTION". NO FILL, CLAY OR OTHERWISE, SHALL BE PLACED WITHIN THE LIMITS DEPICTED ON THE GRADING PLAN.

ELEVATIONS AT THE END OF DRIVES INDICATE PROPOSED EDGE OF PAVEMENT BASED ON ROAD PROFILE AND CROSS SECTION. SLOPE PERCENTAGE INDICATED ON DRIVE BASED ON GRADE DIFFERENCE BETWEEN EDGE OF PAVEMENT AND FINISH GRADE AT FOUNDATION. ROADSIDE DITCH IS TYPICALLY A MINIMUM OF 1.5' BELOW THE EDGE OF PAVEMENT GRADE.

DRIVE CULVERTS ARE REQUIRED FOR ALL LOTS NOT ASSOCIATED WITH A HIGH POINT IN THE ROAD PROFILE.

WHERE GRADE PERMITS, AND FOR LOTS ADJACENT TO PROPOSED DRAINAGE SWALES, THE CONTRACTOR MAY INSTALL UNDERGROUND DRAINAGE TILE TO DIRECT ROOF RUNOFF.

LOT CONTRACTORS ARE NOT PERMITTED TO CONNECT TO ROADSIDE UNDERDRAINS.



TEMPORARY SEDIMENTATION CONTROL PIPE

THIS IS NOT A STAMPED OR SIGNED DRAWING

DARBY BRAESIDE	
TYPICAL SECTION & DETAILS	
ISSUED:	
Preliminary	07-17-2008
	07-19-2010
	07-18-2012
	05-18-2015
Construction	
As Built	

Estimate of Quantities			
Item	Quant.	Unit	Description
DRAINAGE			
601	468	CY	ROCK CHANNEL PROTECTION TYPE C W/FILTER
603	48	LF	8" CONDUIT, TYPE B
603	72	LF	12" CONDUIT, TYPE C
603	105	LF	12" CONDUIT, TYPE B
603	36	LF	15" CONDUIT, TYPE B
603	308	LF	15" CONDUIT, TYPE C
603	116	LF	18" CONDUIT, TYPE B
603	352	LF	18" CONDUIT, TYPE C
603	40	LF	21" CONDUIT, TYPE B
603	128	LF	24" CONDUIT, TYPE C
603	100	LF	30" CONDUIT, TYPE C
603	152	LF	48" CONDUIT, TYPE C
604	2	EA	HEADWALL, 15" PIPE, HW-2.1
604	1	EA	HEADWALL, 24" PIPE, HW-2.1
604	1	EA	HEADWALL, 48" PIPE, HW-2.1
604	2	EA	CATCH BASIN CB 2-2-A
604	2	EA	CATCH BASIN CB 2-2-B
604	3	EA	CATCH BASIN CB 2-4
SPEC	4	EA	6" WATER QUALITY RISER (COMPLETE)
ROADWAY			
203	?	HR	PROOF ROLLING
203	21,702	SY	SUBGRADE COMPACTION
203	16,731	CY	EXCAVATION INCLUDING EMBANKMENT CONSTRUCTION
301	3,235.13	CY	BITUMINOUS AGGREGATE BASE
304	2,411.36	CY	AGGREGATE BASE
304	532.27	CY	AGGREGATE BERM
402	647.46	CY	ITEM 448 11" ASPHALT CONCRETE, AC-20
404	925	CY	ITEM 448 10" ASPHALT CONCRETE, AC-20
605	15,345	LF	8" PIPE UNDERDRAIN
659	67,659	SY	SEEDING & MULCHING
EROSION CONTROL			
207	4	EA	TEMPORARY SEDIMENT STACK
207	-	SY	TEMPORARY SEEDING AND MULCHING
207	76	EA	SEDIMENT BARRIER IN DRAINAGE WAY
207	LS	LF	SEDIMENT FILTER FABRIC FENCE

GENERAL NOTES

THE CONTRACTOR SHALL NOTIFY UNION COUNTY ENGINEER 24 HOURS PRIOR TO CONSTRUCTION.

THE CONTRACTOR SHALL CONFINE HIS ACTIVITIES TO THE PROPOSED ON-SITE CONSTRUCTION AREAS OR THE EXISTING RIGHT-OF-WAYS, CONSTRUCTION AND PERMANENT EASEMENTS AND SHALL NOT TRESPASS UPON OTHER PRIVATE PROPERTY WITHOUT THE WRITTEN CONSENT OF THE OWNER. IN GENERAL, LOTS SHALL BE PROTECTED FROM DISTURBANCE OR CONSTRUCTION TRAFFIC SO THAT FUTURE ON-SITE SANITARY SYSTEMS REMAIN VIABLE.

ALL FIELD TILE BROKEN DURING EXCAVATION SHALL BE REPLACED TO ORIGINAL CONDITION OR CONNECTED TO THE STORM SEWER SYSTEM AS DIRECTED BY THE ENGINEER.

THE CONTRACTOR SHALL DISPOSE OF ALL SURPLUS EXCAVATION, AS DIRECTED BY THE OWNER.

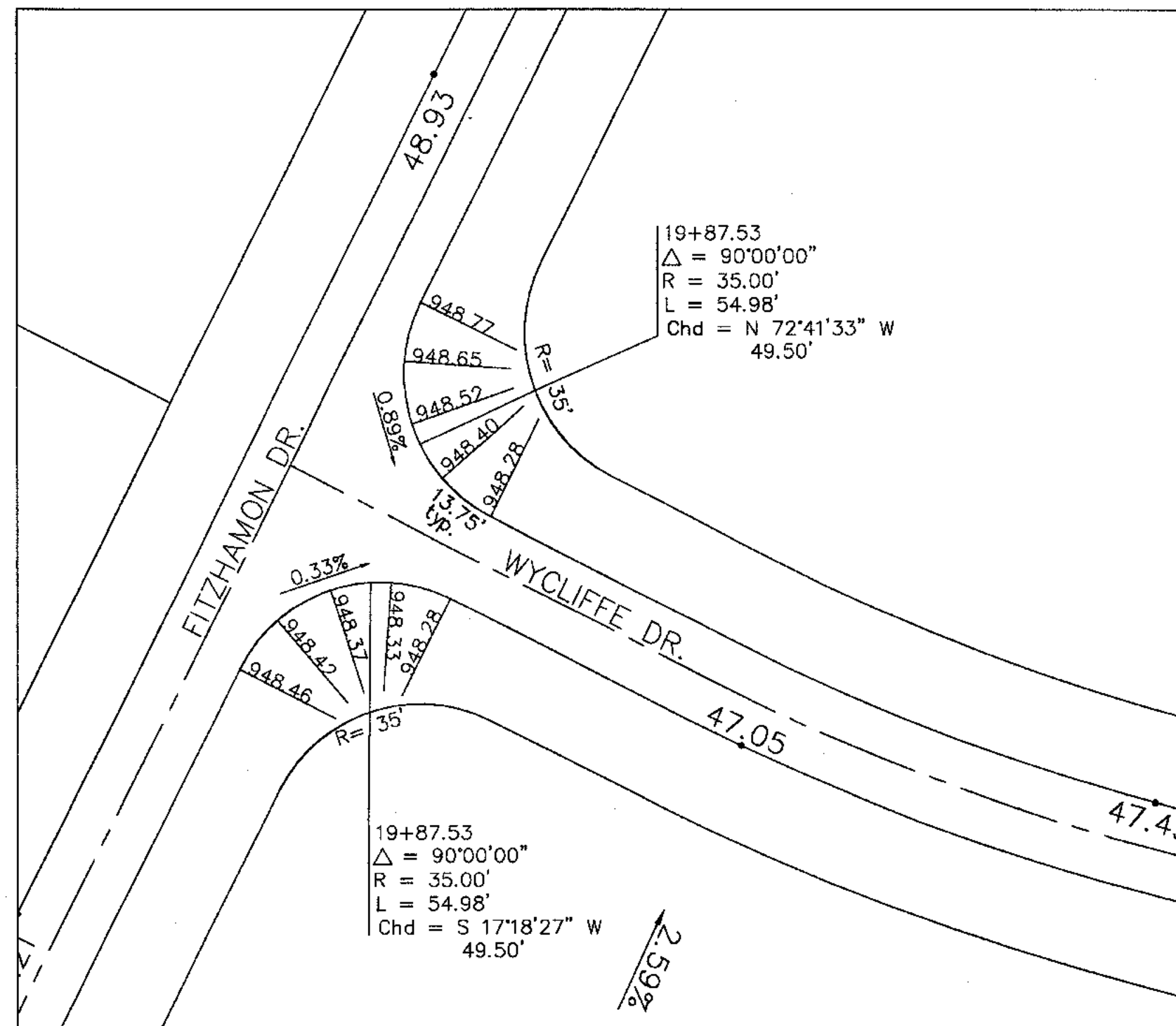
ALL TRAFFIC CONTROL DEVICES SHALL BE FURNISHED, ERECTED, MAINTAINED AND REMOVED BY THE CONTRACTOR IN ACCORDANCE WITH THE "OHIO MANUAL OF TRAFFIC CONTROL DEVICES FOR CONSTRUCTION AND MAINTENANCE OPERATIONS", COPIES OF WHICH ARE AVAILABLE FROM THE OHIO DEPARTMENT OF TRANSPORTATION, BUREAU OF TRAFFIC, 25 SOUTH FRONT STREET, COLUMBUS, OHIO 43215.

UTILITIES

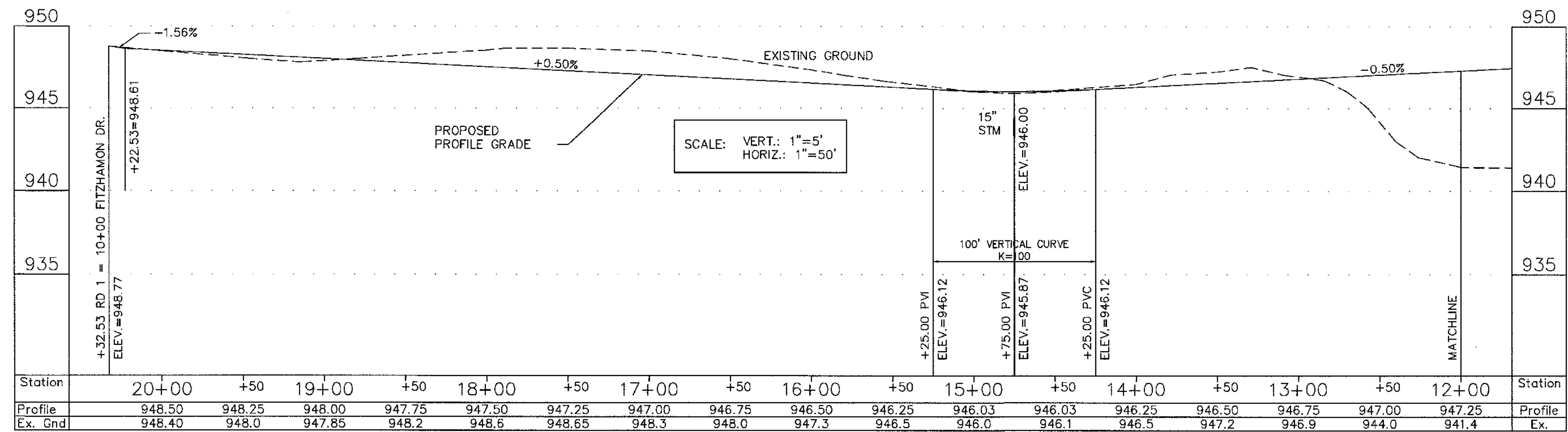
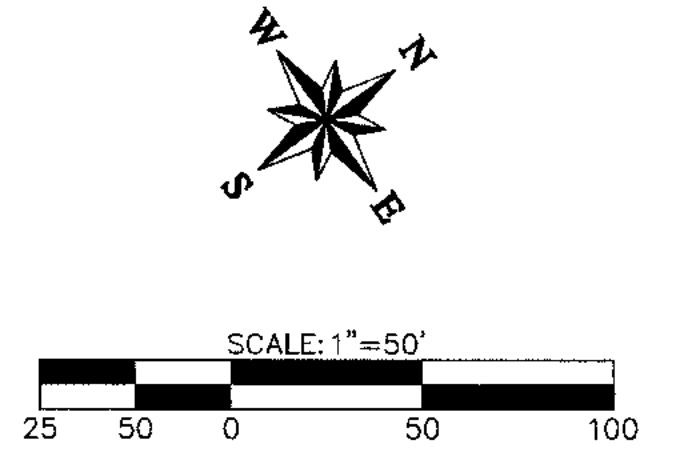
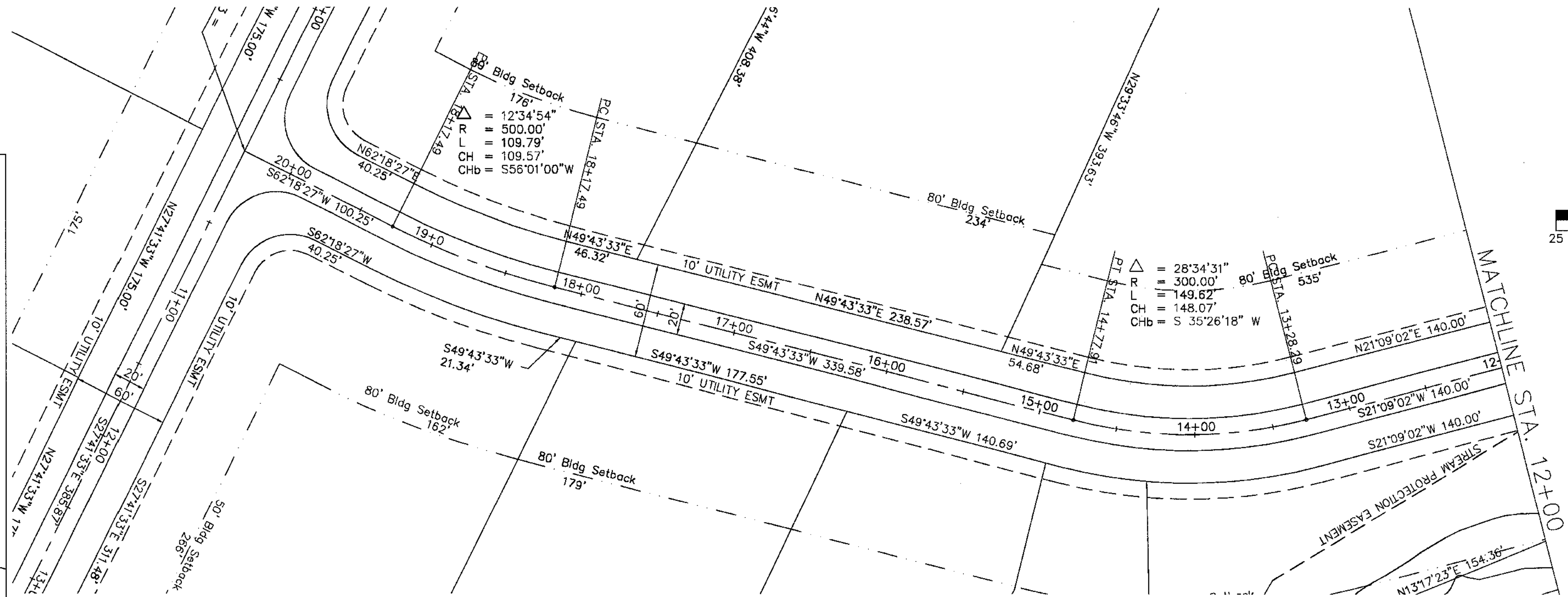
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STAMPED OR
SIGNED DRAWING

GENERAL NOTES & QUANTITIES

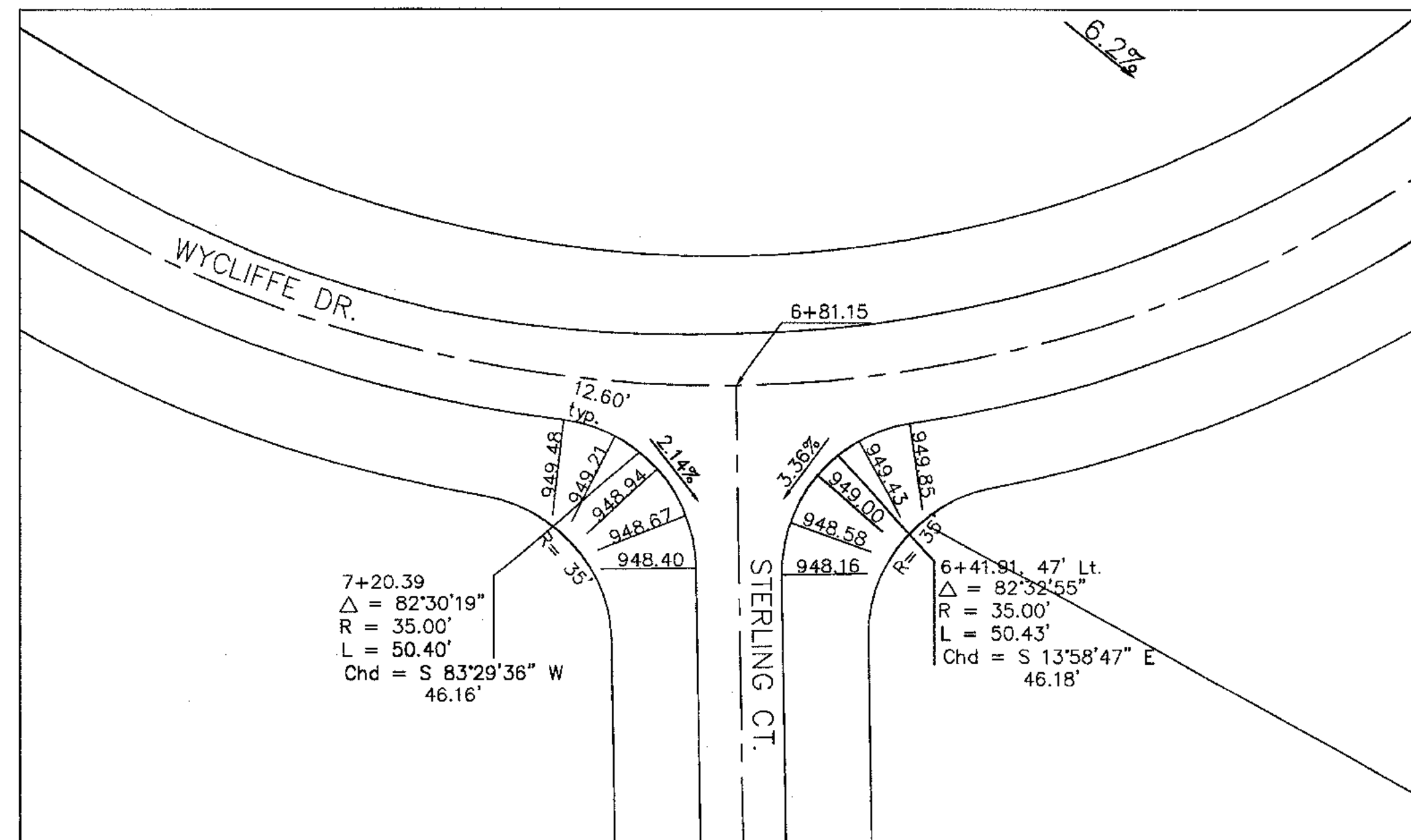
3 of 30



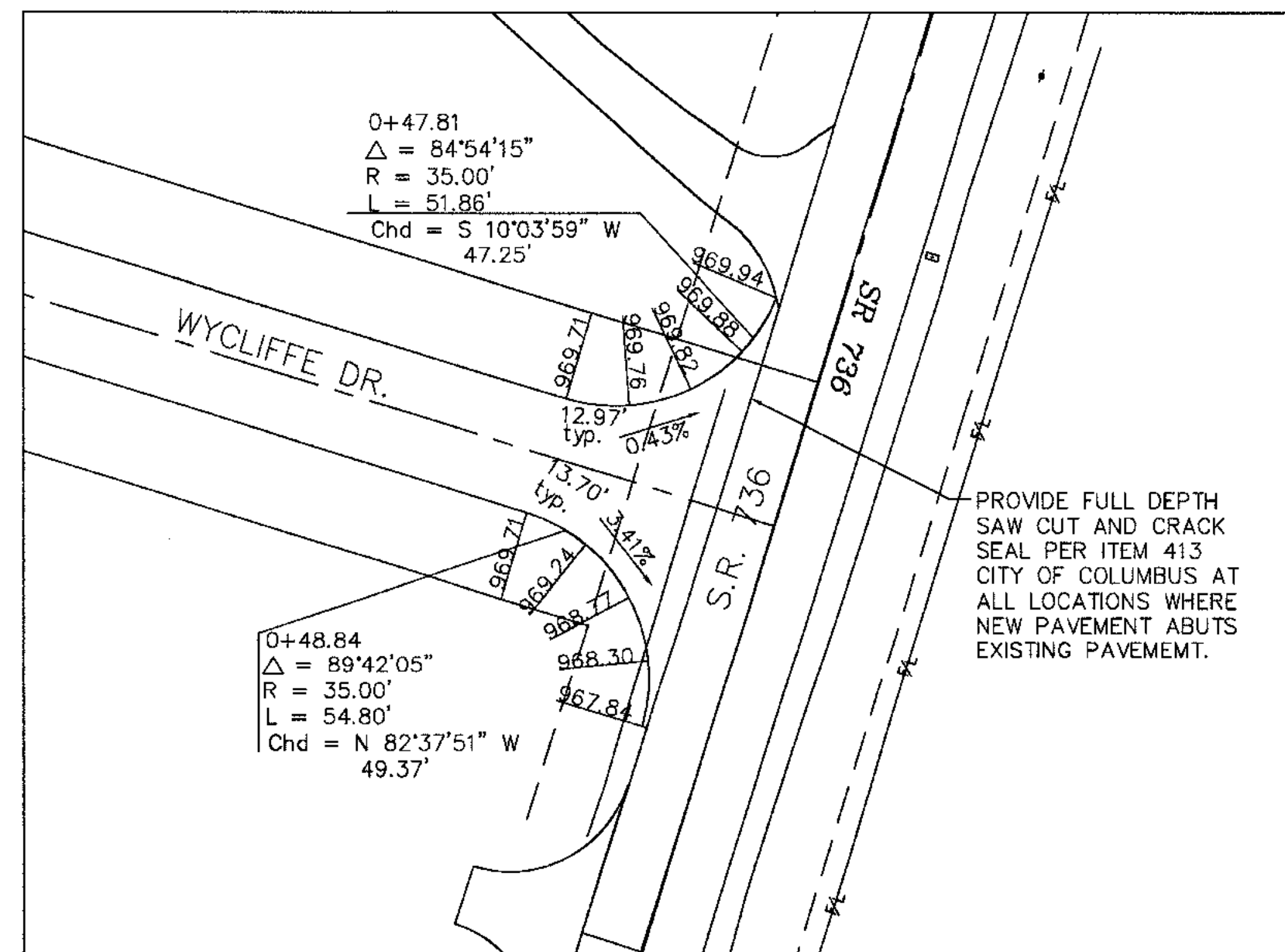
INTERSECTION DETAIL
 SCALE: 1"=30'



WYCLIFFE DR. PROFILE



INTERSECTION DETAIL
 SCALE: 1"=30'

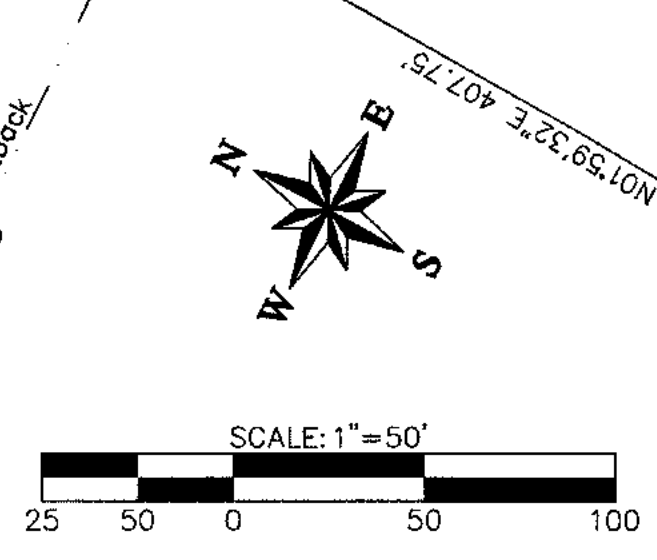


INTERSECTION DETAIL
 SCALE: 1"=30'

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 SIGNED DRAWING

DARBY BRAESIDE
 PLAN/PROFILE WYCLIFFE DR.

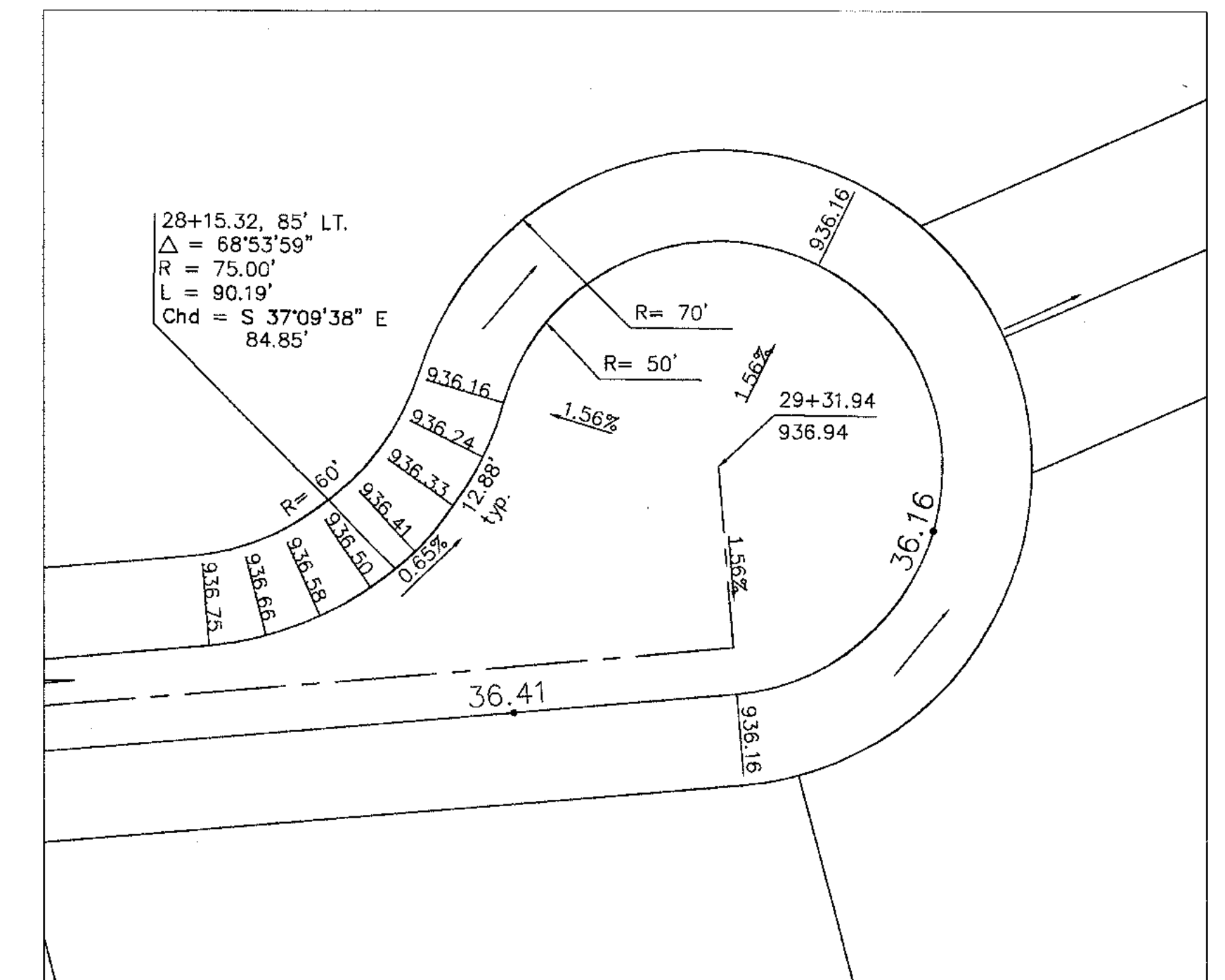
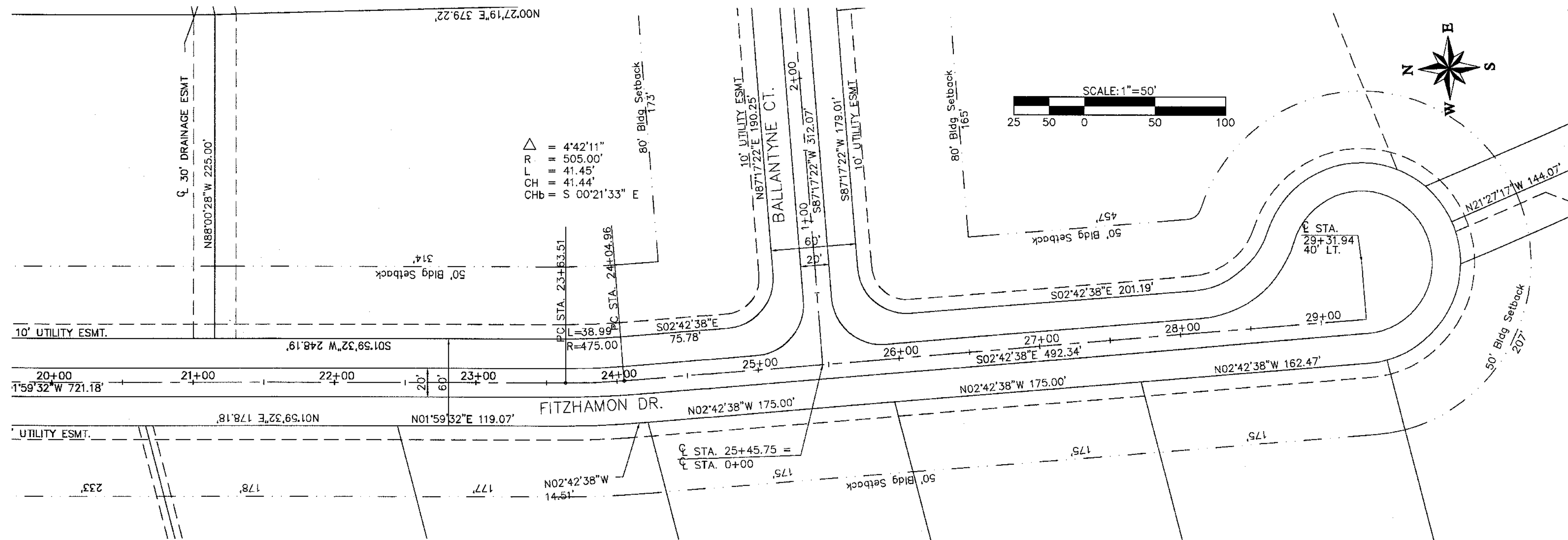
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	07-19-2010
	07-18-2012
	05-18-2015
Construction	
As Built	



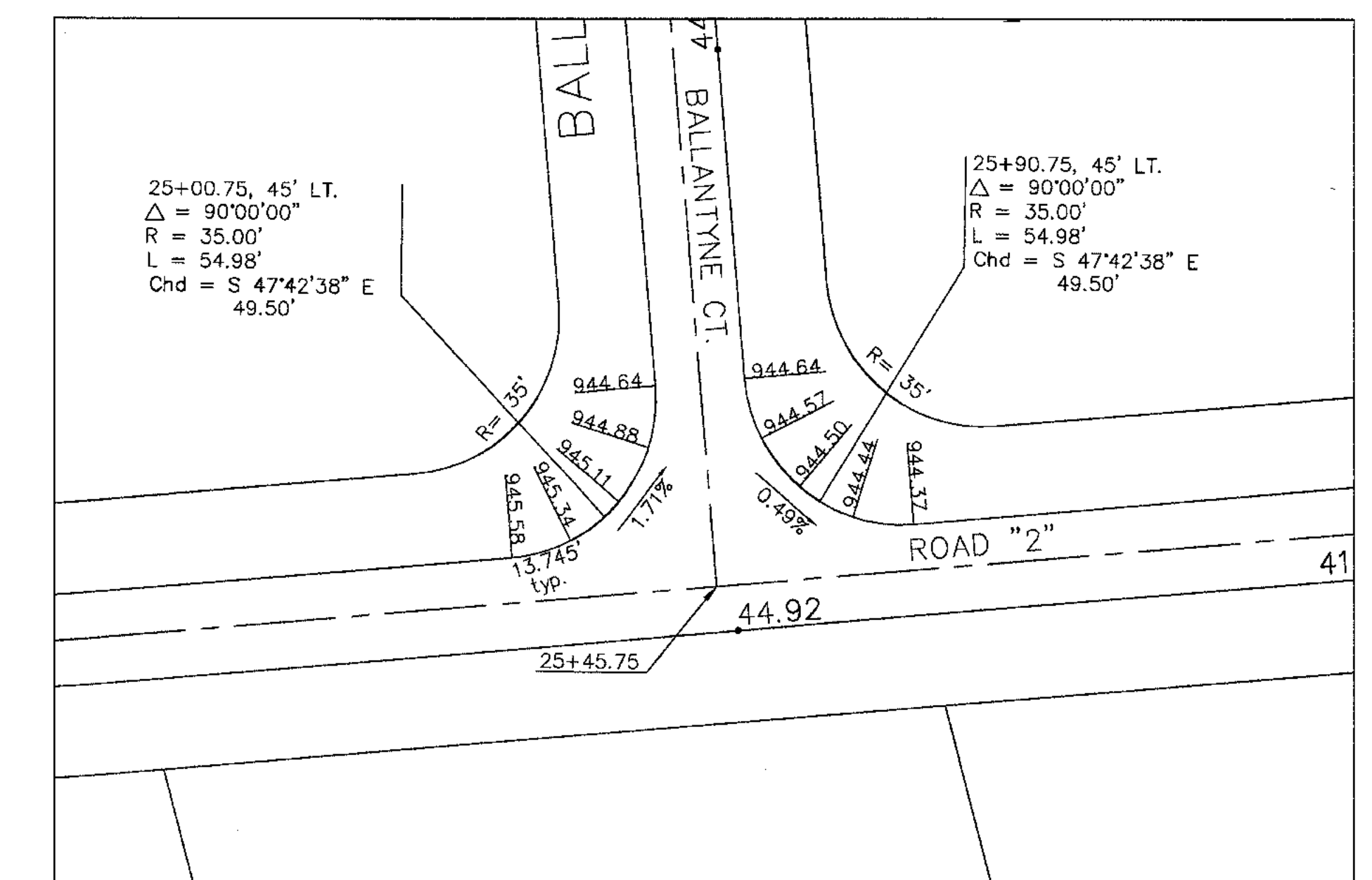
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SIGNED DRAWING

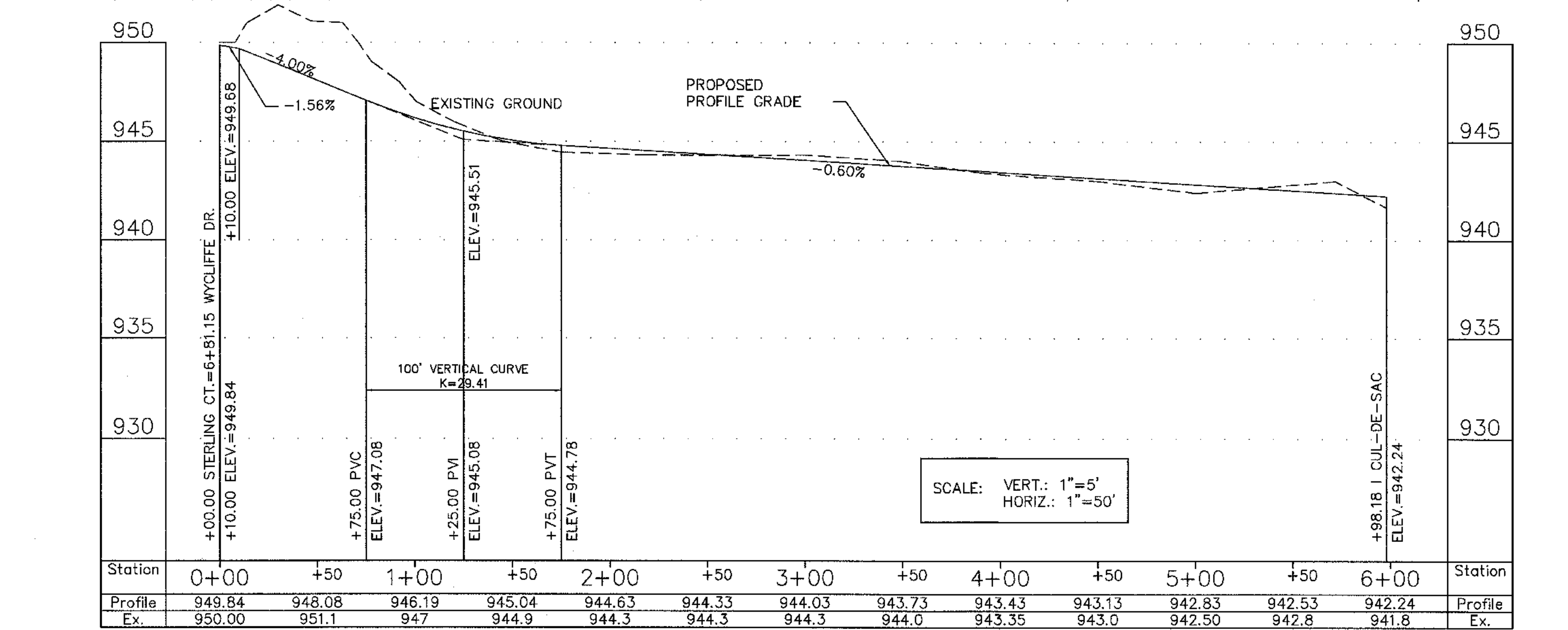
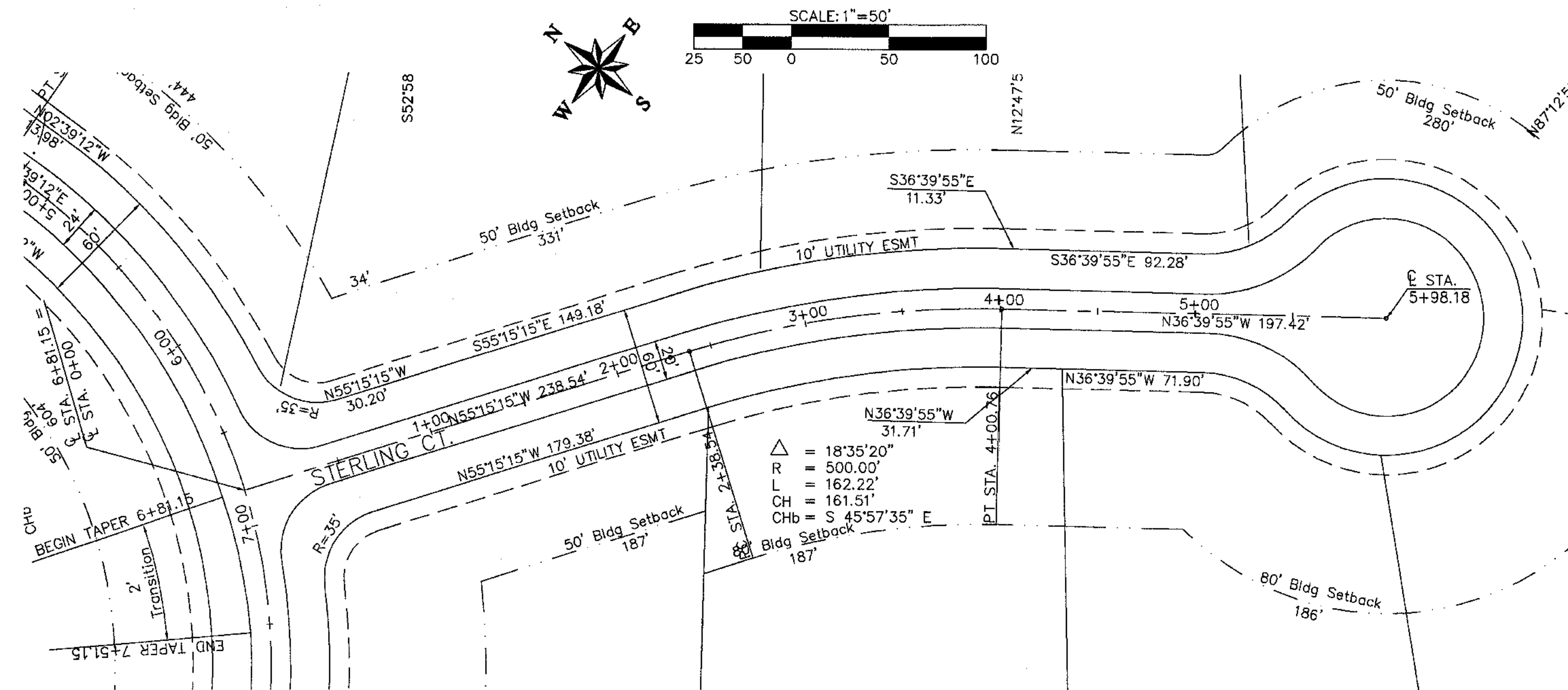
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	07-19-2010
	07-18-2012
	05-18-2015
Construction	
As Built	

6 of 30

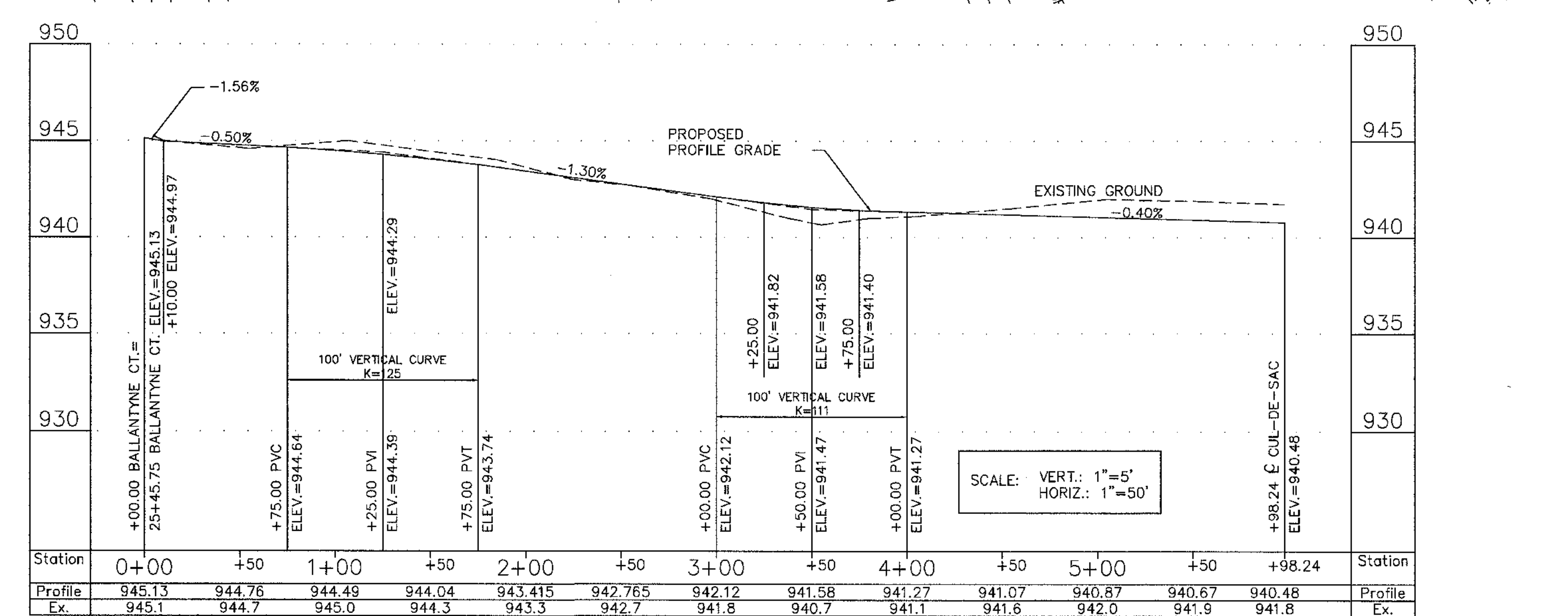
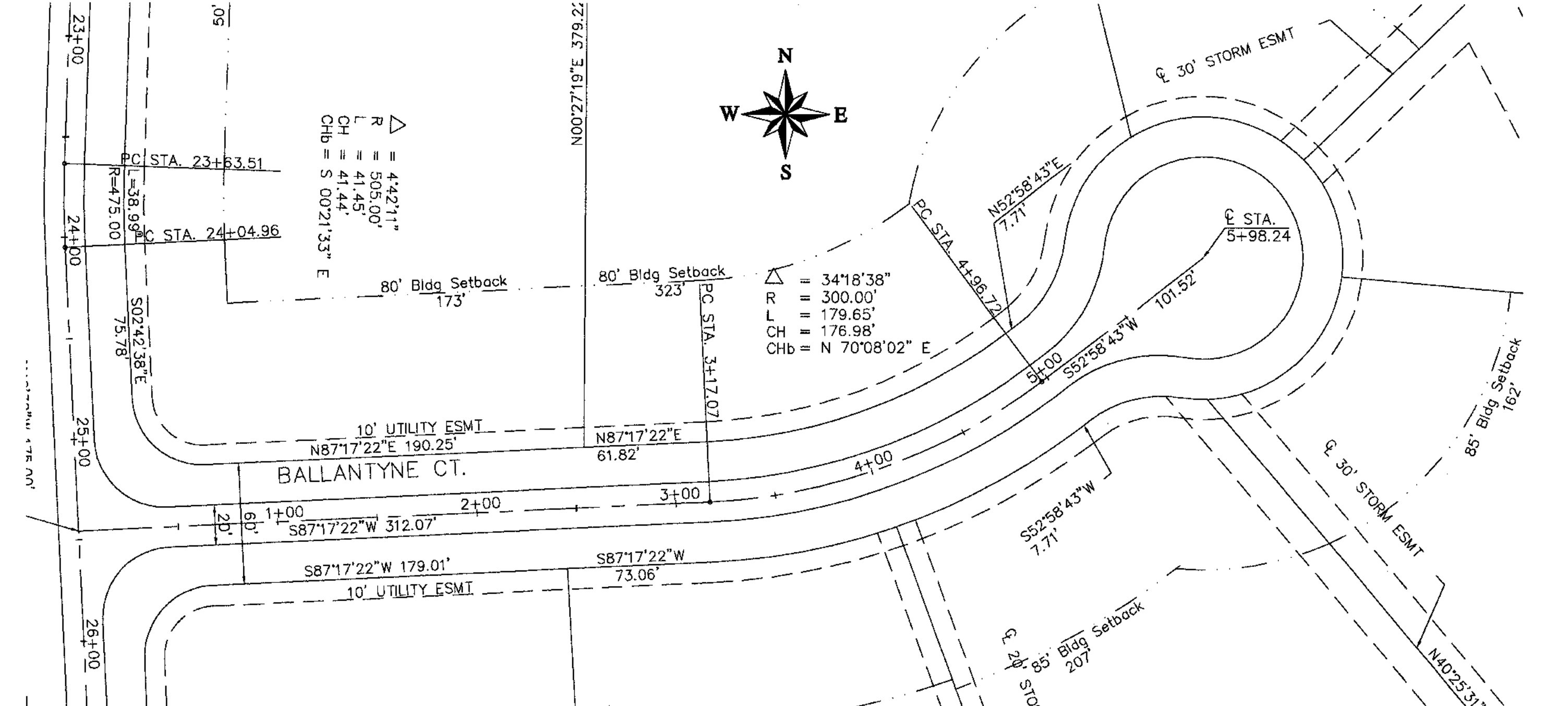


FITZHAMON DR. CUL-DE-SAC DETAIL
SCALE: 1"=30'

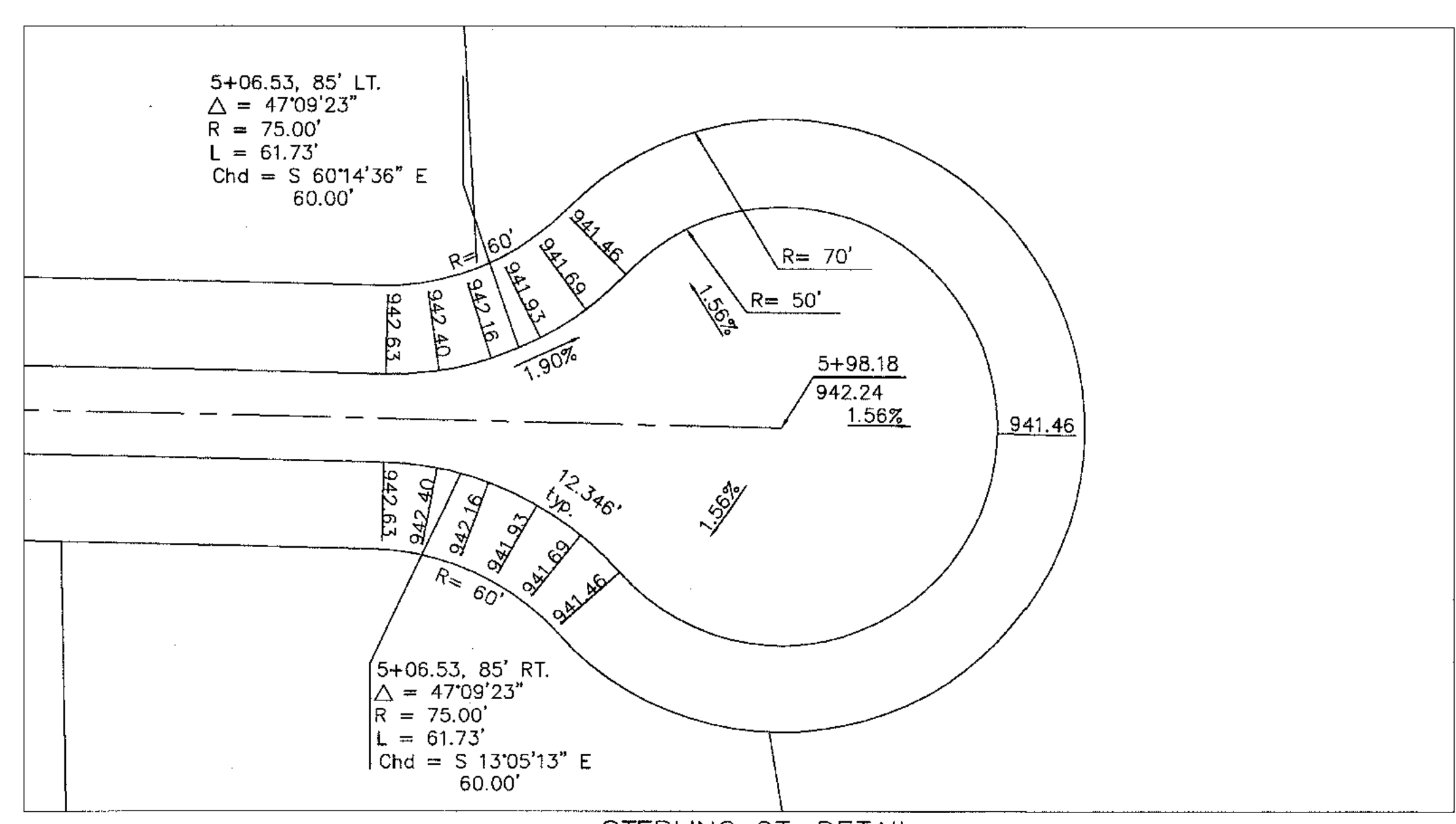




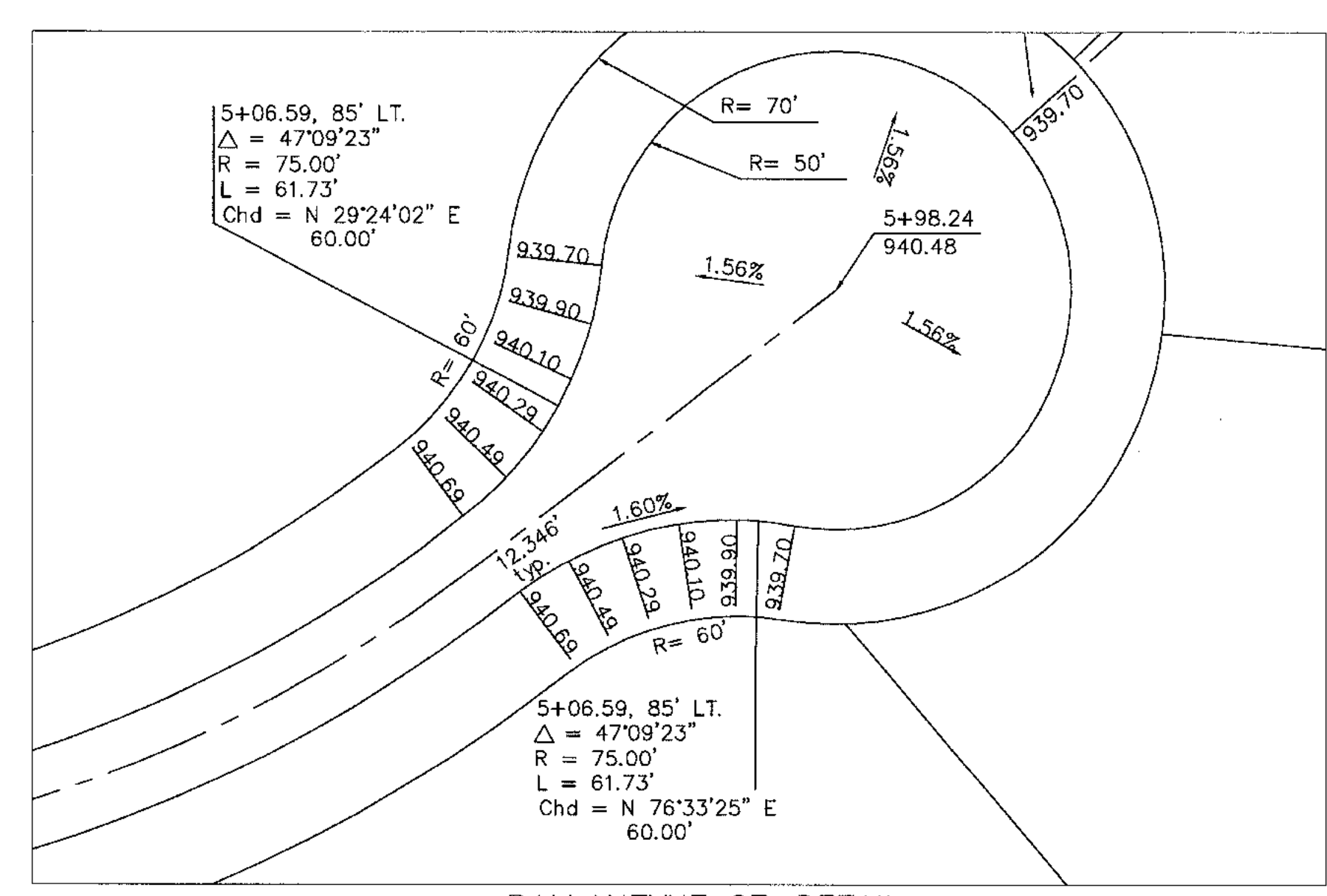
STERLING CT. PROFILE



BALLANTYNE CT. PROFILE



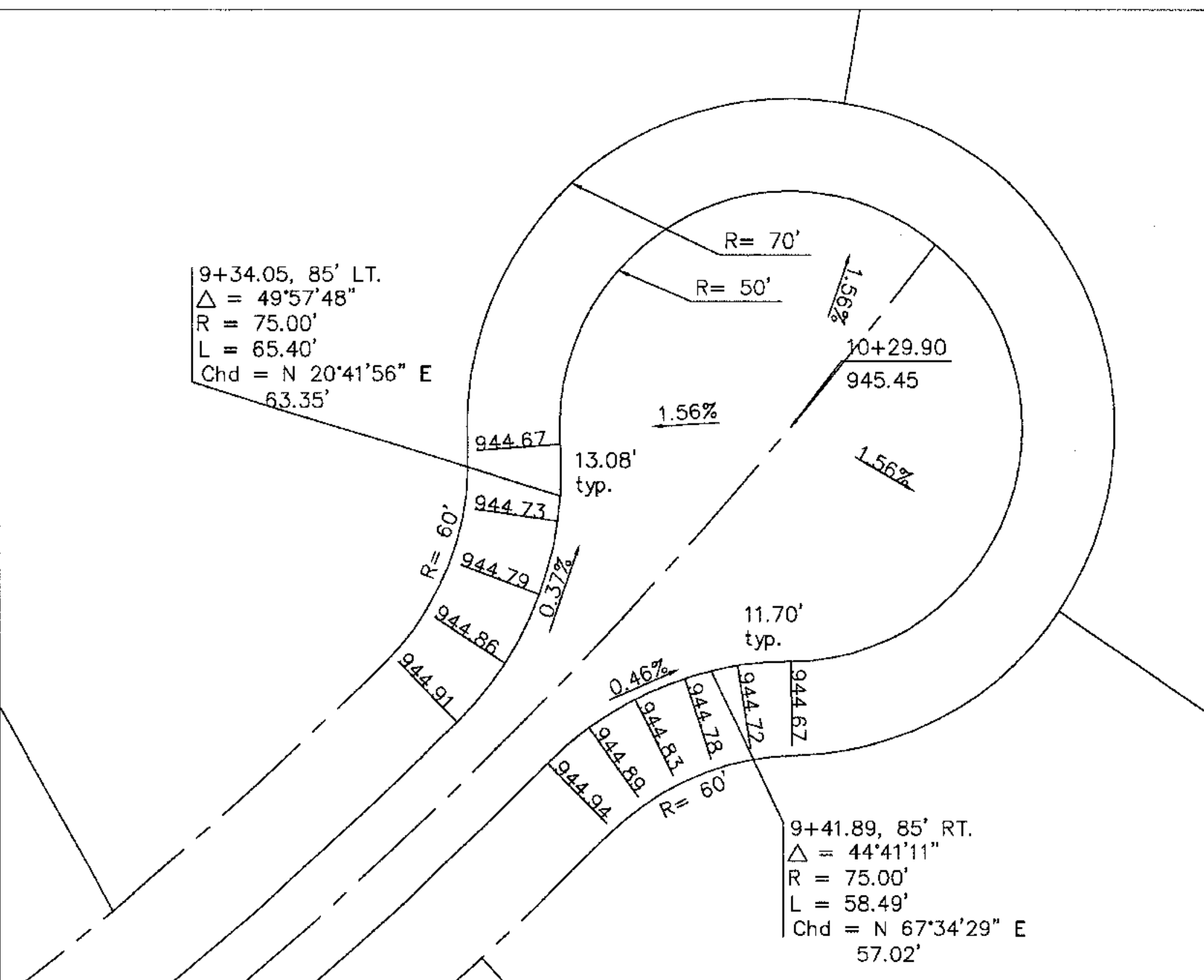
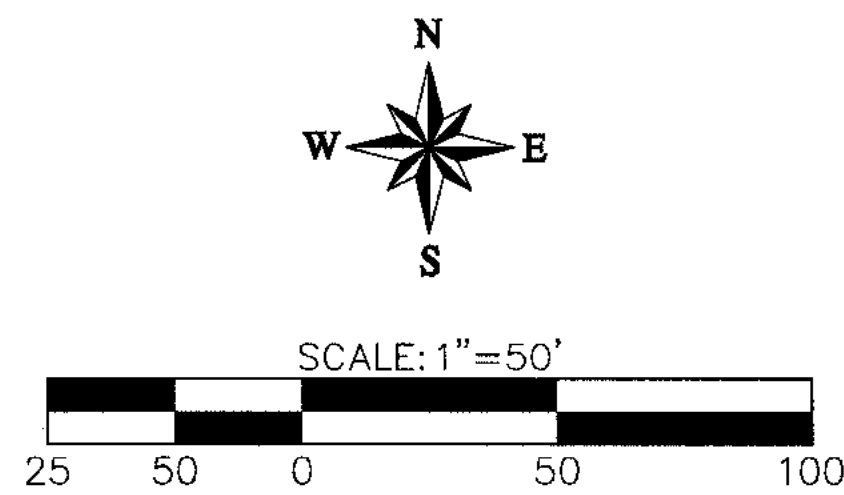
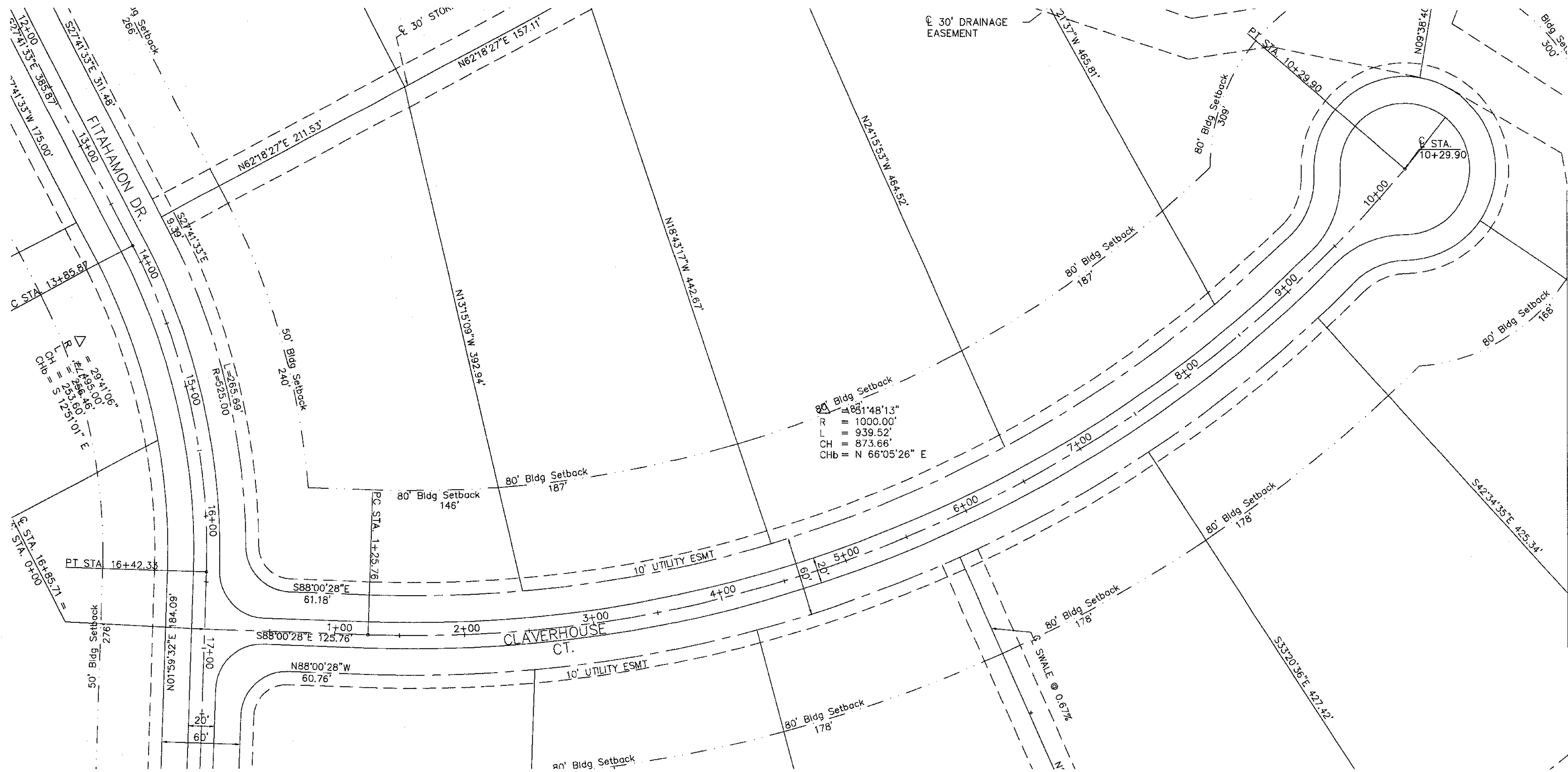
STERLING CT. DETAIL
SCALE: 1"=30'



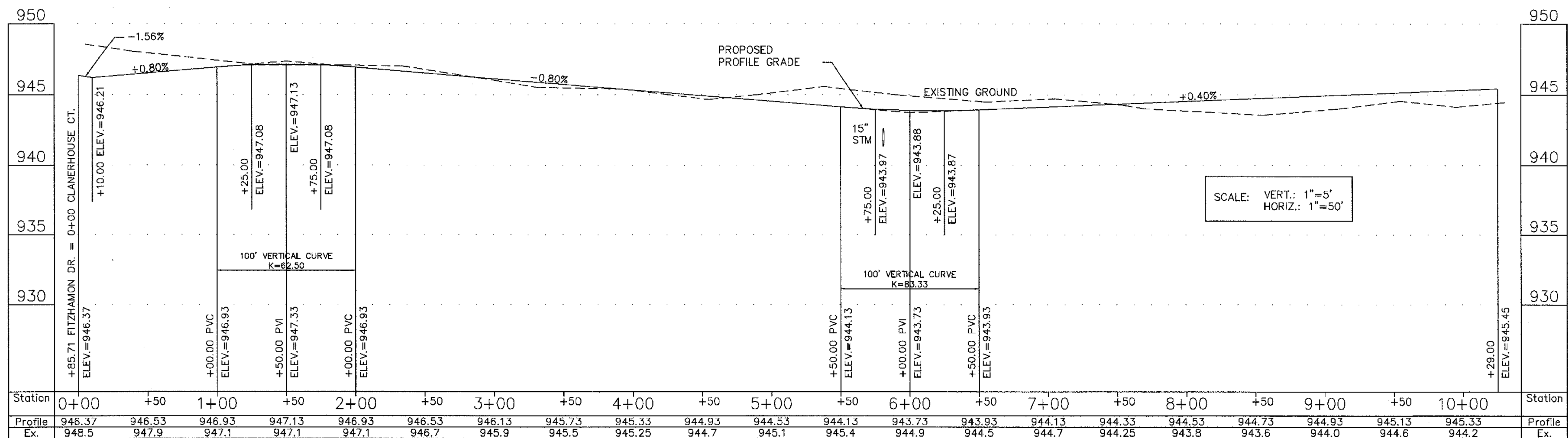
BALLANTYNE CT. DETAIL
SCALE: 1"=30'

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SIGNED DRAWING

DARBY BRAESIDE	
PLAN PROFILE STERLING CT. & BALLANTYNE CT.	
ISSUED:	
Preliminary	07-17-2008
	07-19-2010
	07-18-2012
	05-18-2015
Construction	
As Built	



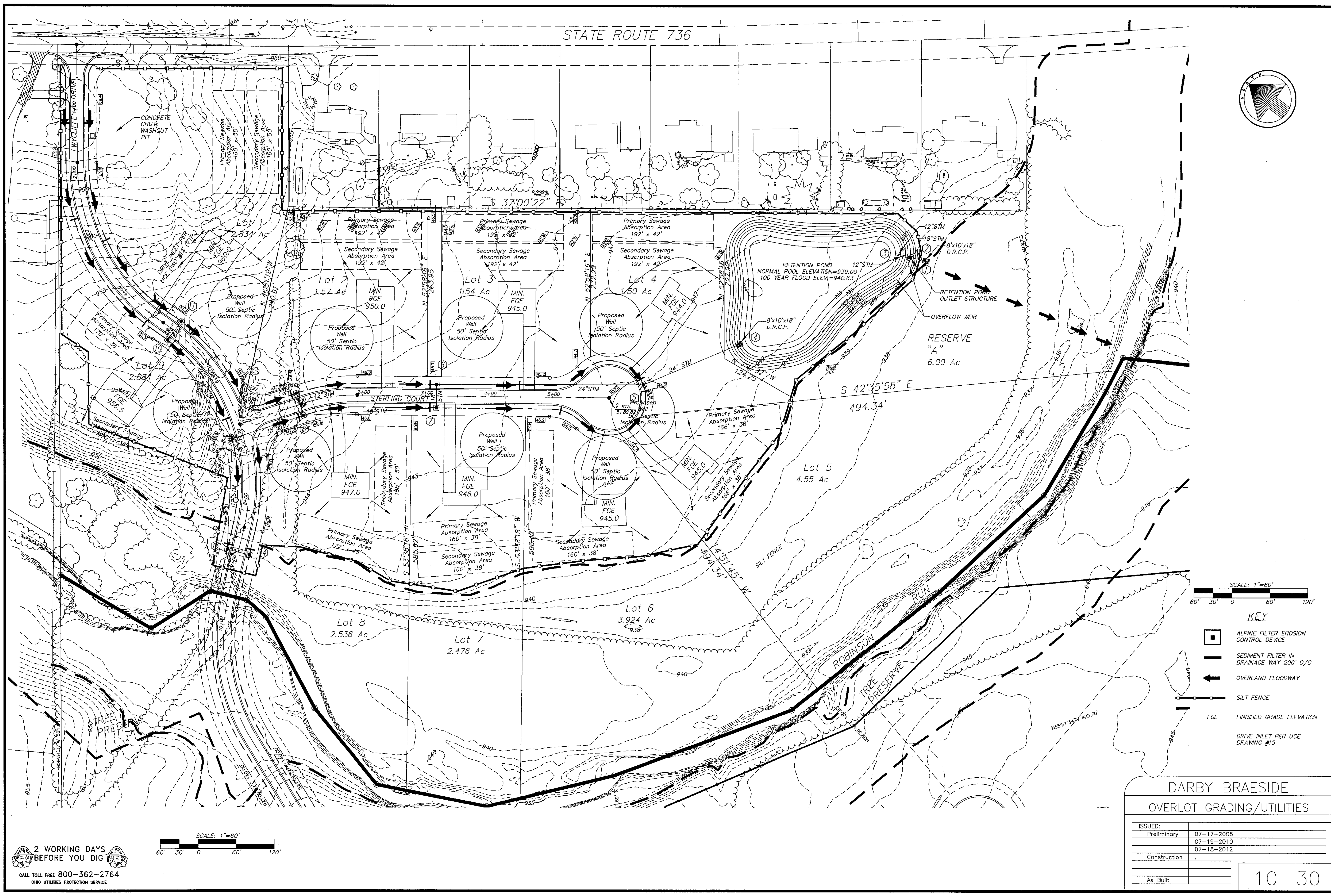
CLAVERTHOUSE CT. DETAIL
SCALE: 1"=30'

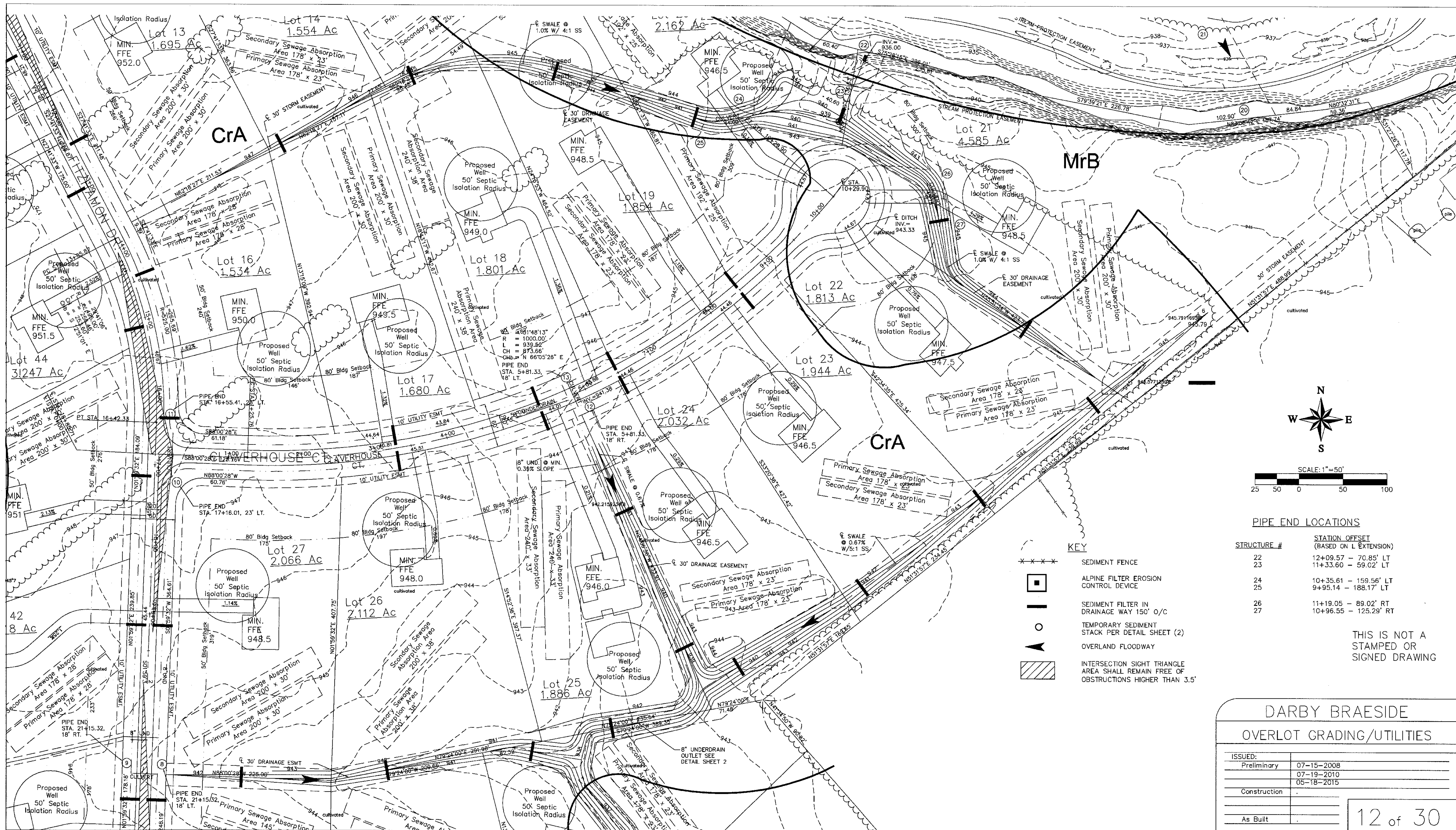


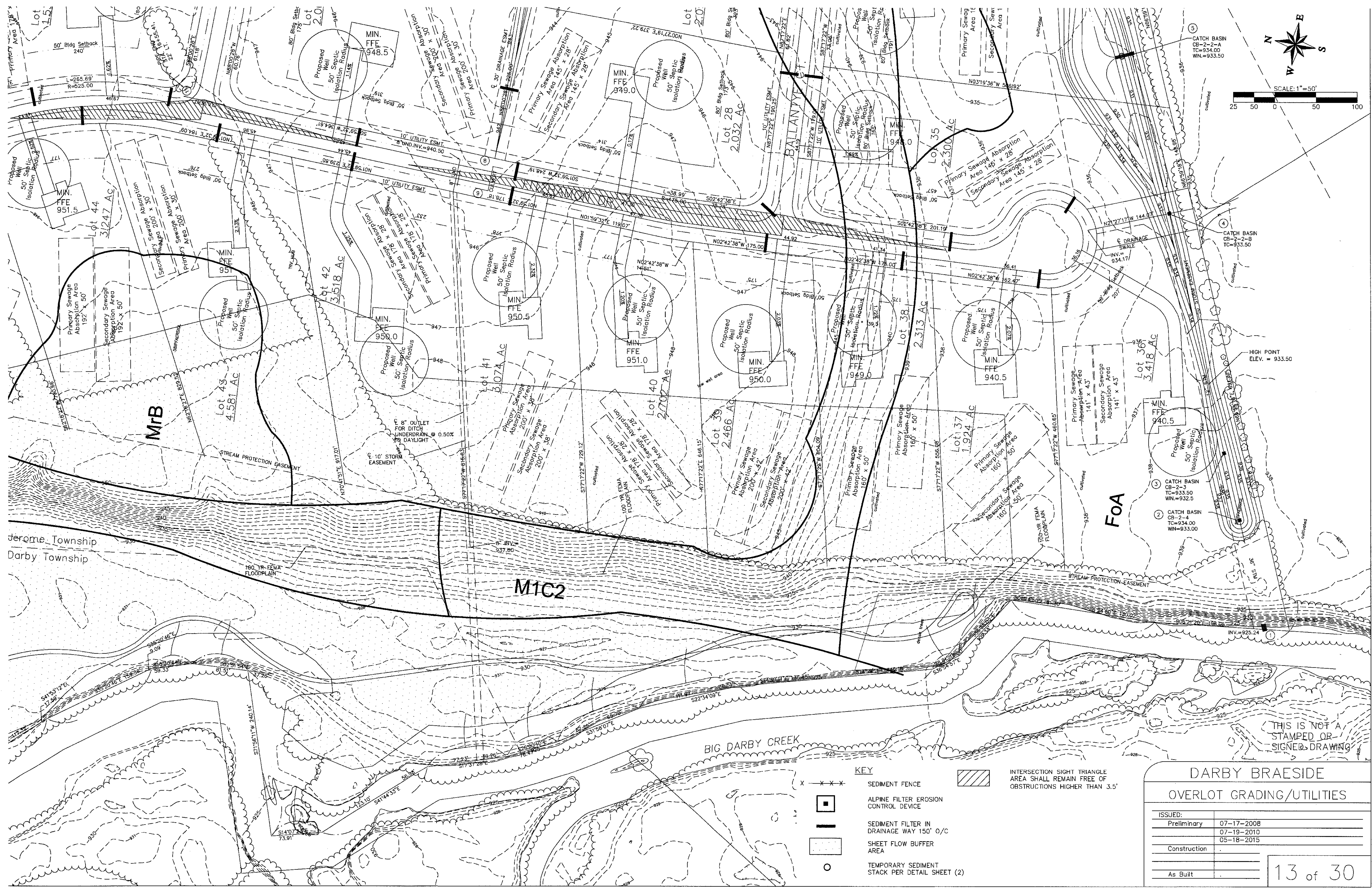
CLAVERTHOUSE CT. PROFILE

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STAMPED OR
SIGNED DRAWING

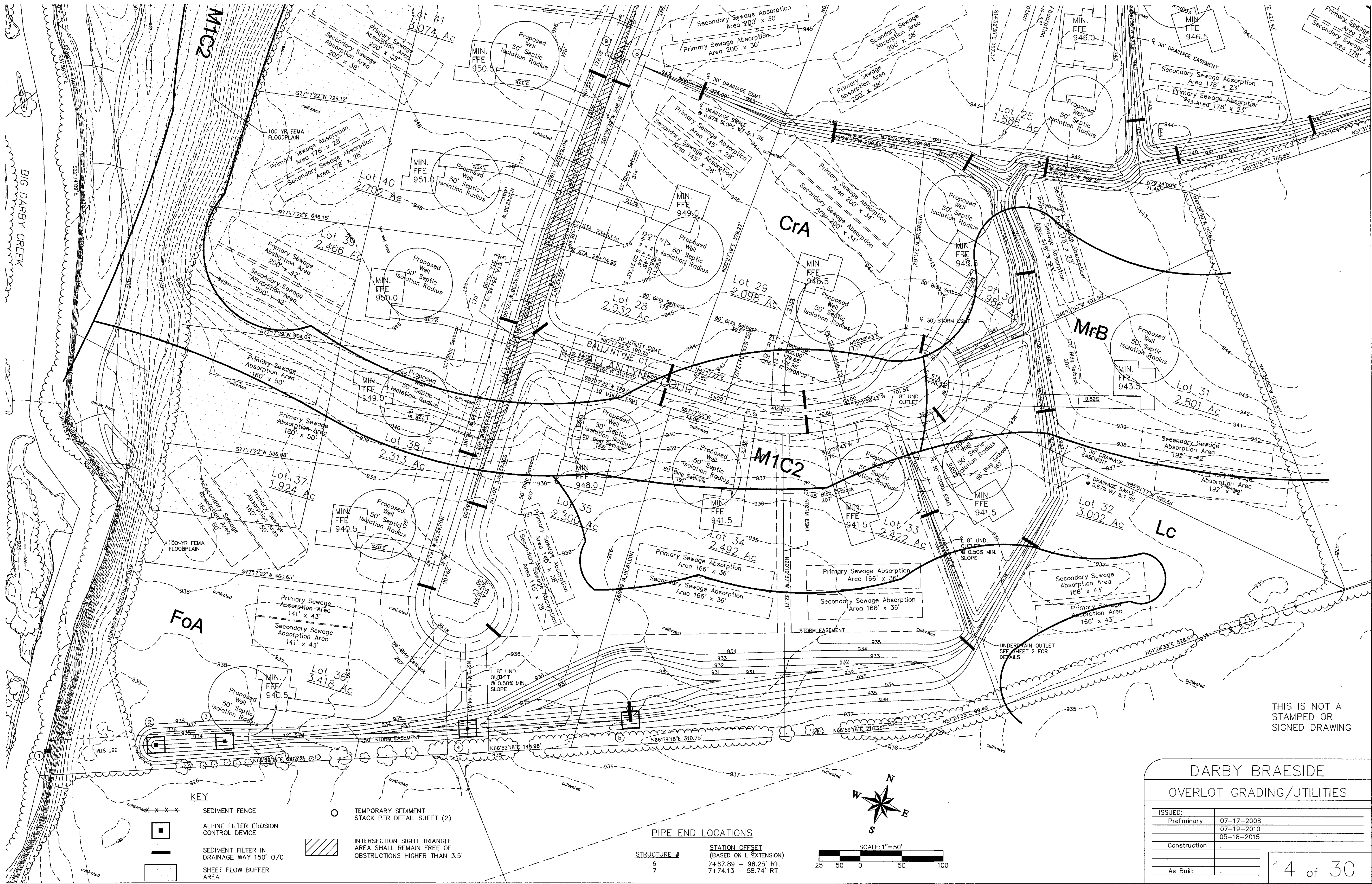
DARBY BRAESIDE	
PLAN/PROFILE CLAVERTHOUSE CT.	
ISSUED:	
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	07-19-2010
	05-18-2015
Construction	
As Built	







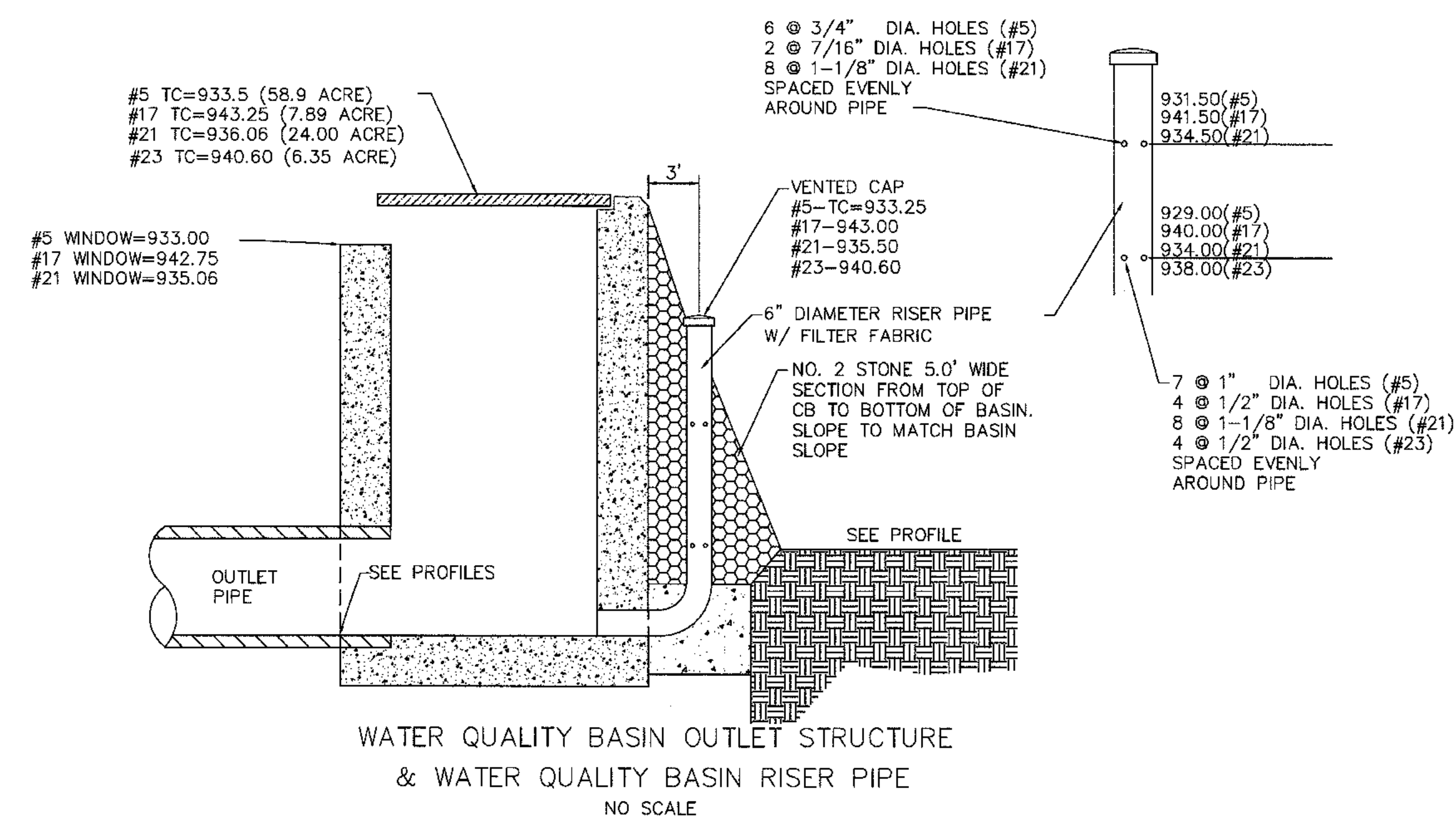
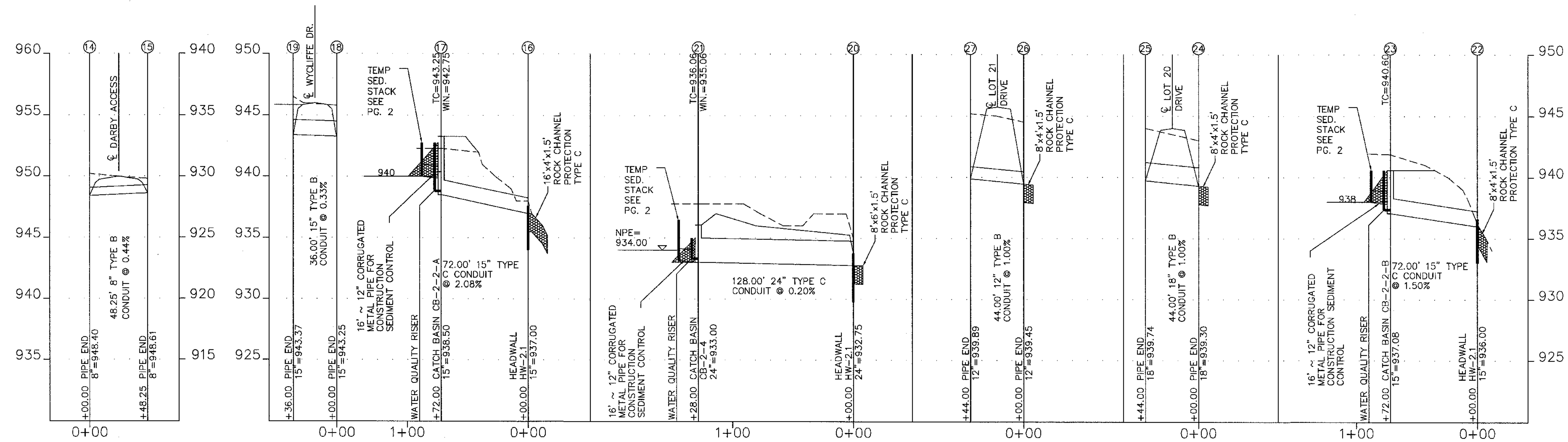
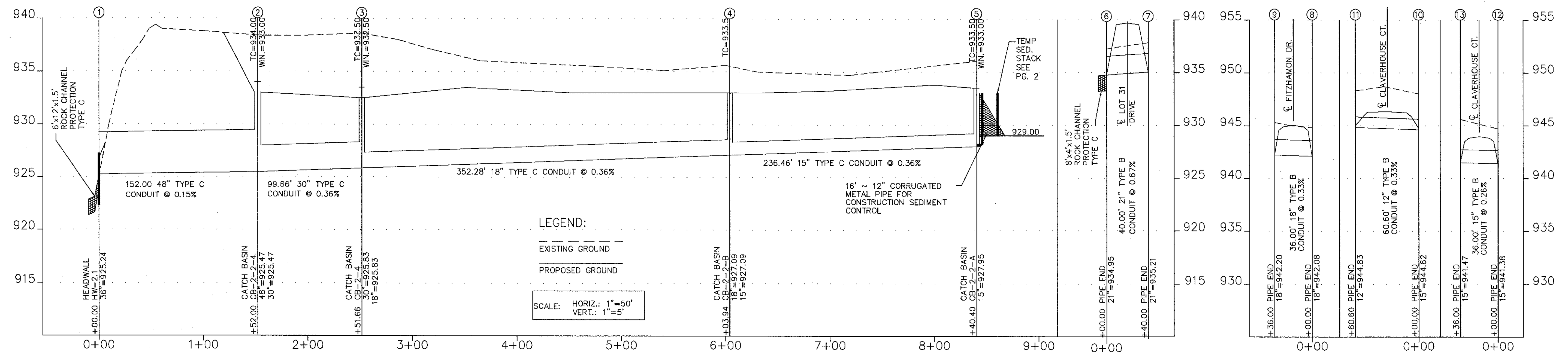
DARBY BRAESIDE	
OVERLOT GRADING/UTILITIES	
ISSUED:	
Preliminary	07-17-2008
	07-19-2010
	05-18-2015
Construction	
As Built	



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DARBY BRAESIDE
OVERLOT GRADING/UTILITIES

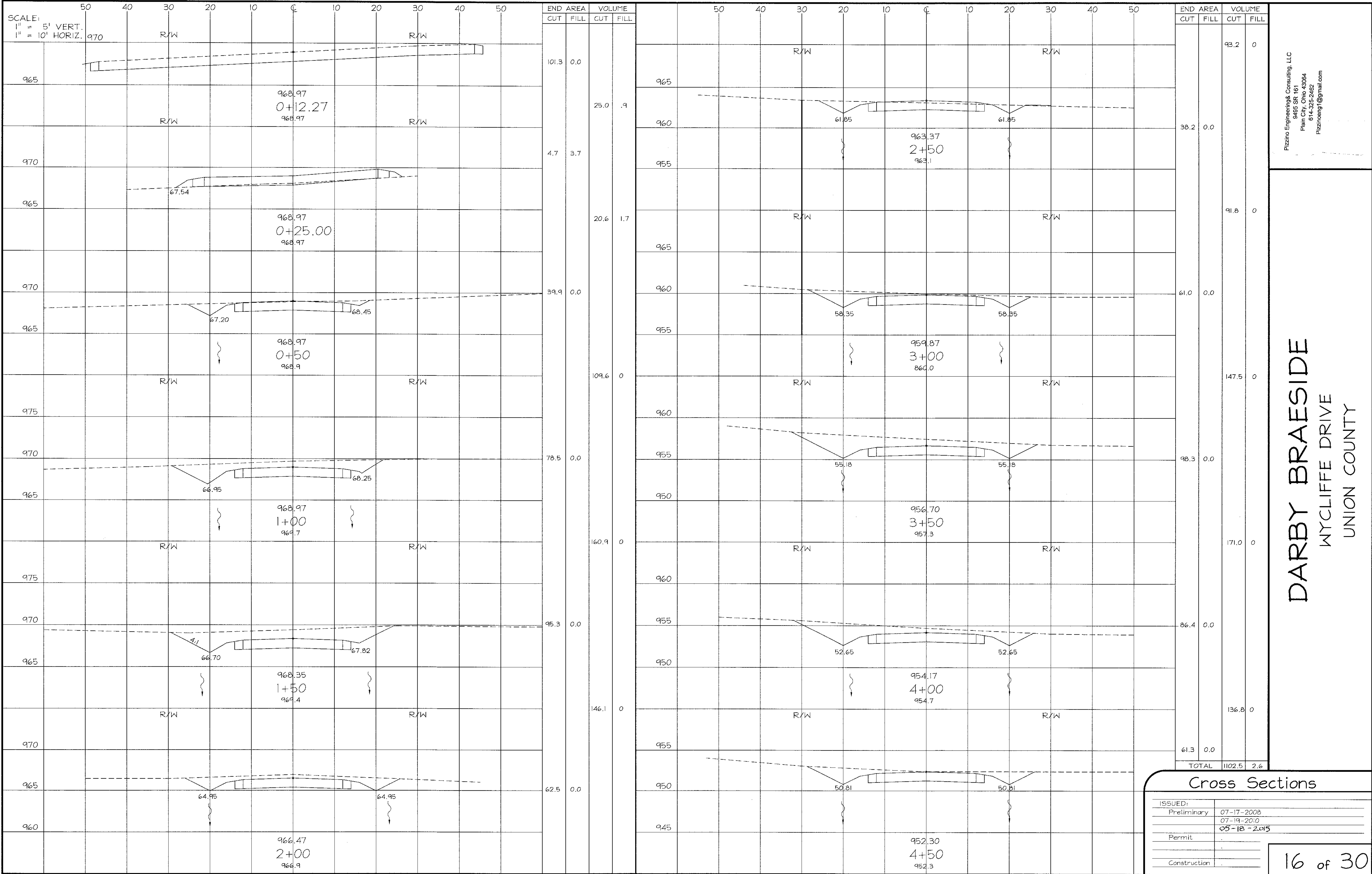
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	07-19-2010
Construction	05-18-2015
As Built	

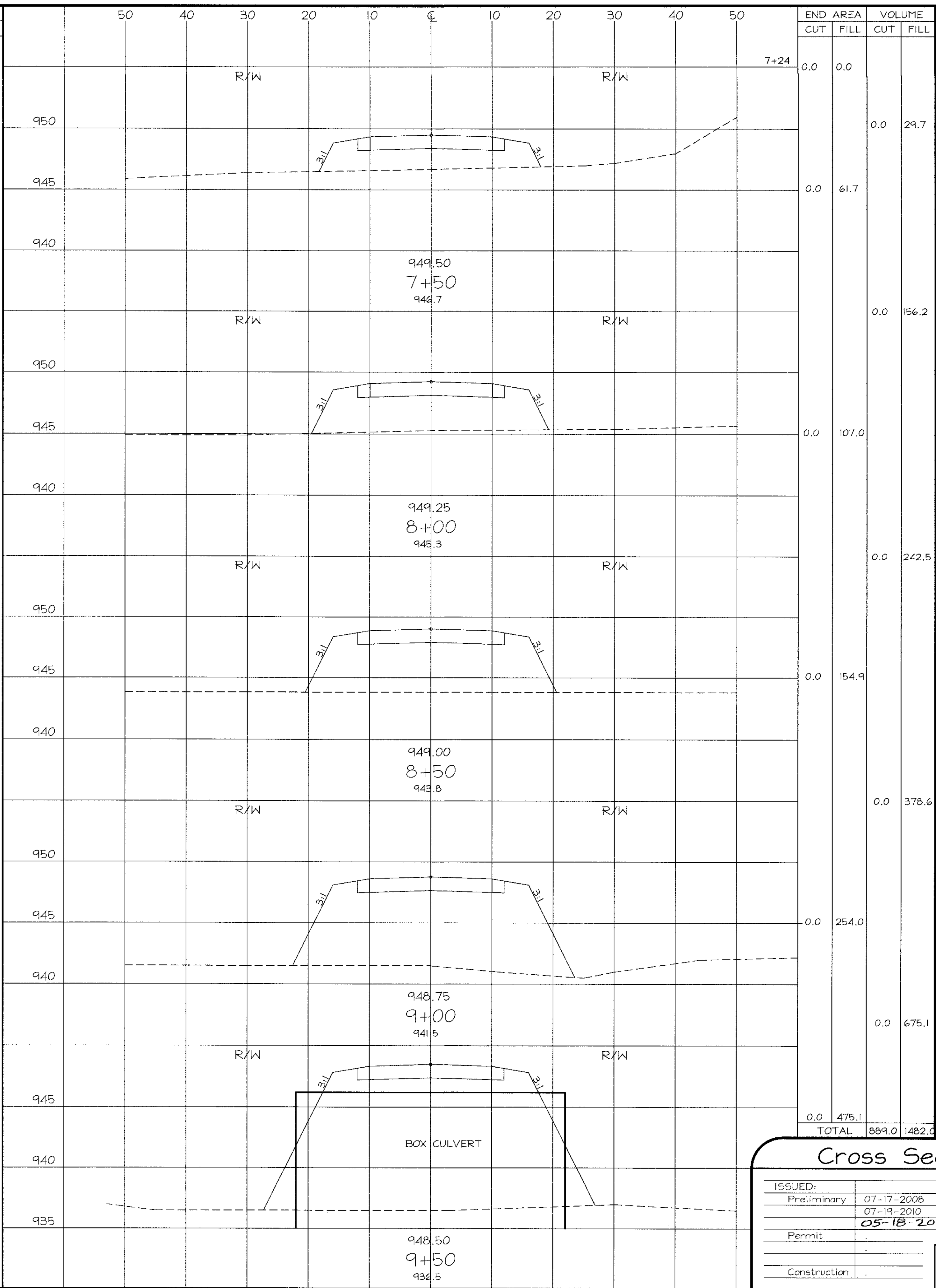
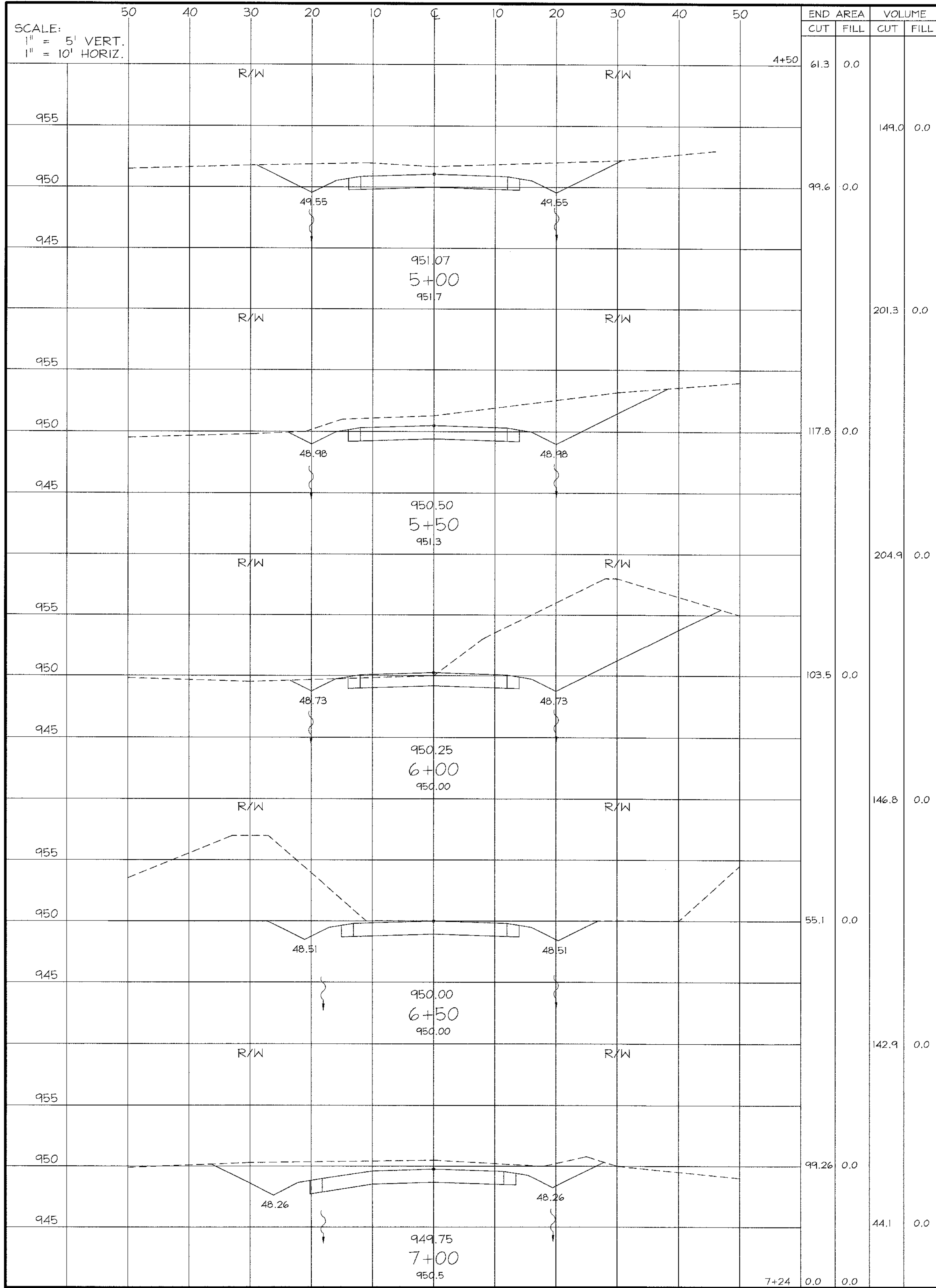


THIS IS NOT A
STAMPED OR
SIGNED DRAWING

DARBY BRAESIDE STORM PROFILES

ISSUED:	
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	07-19-2010
	07-18-2012
	05-18-2015
Construction	
As Built	



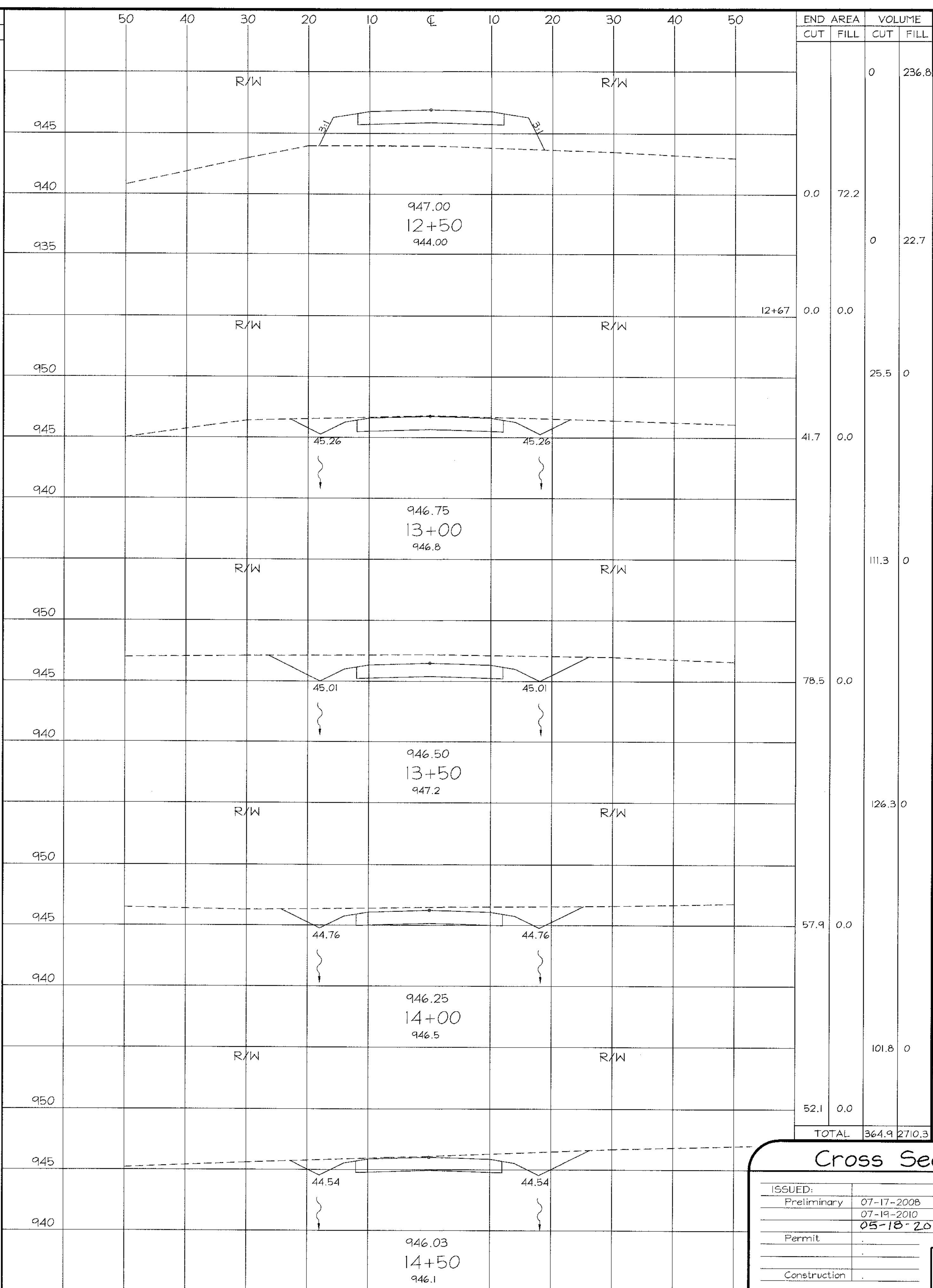
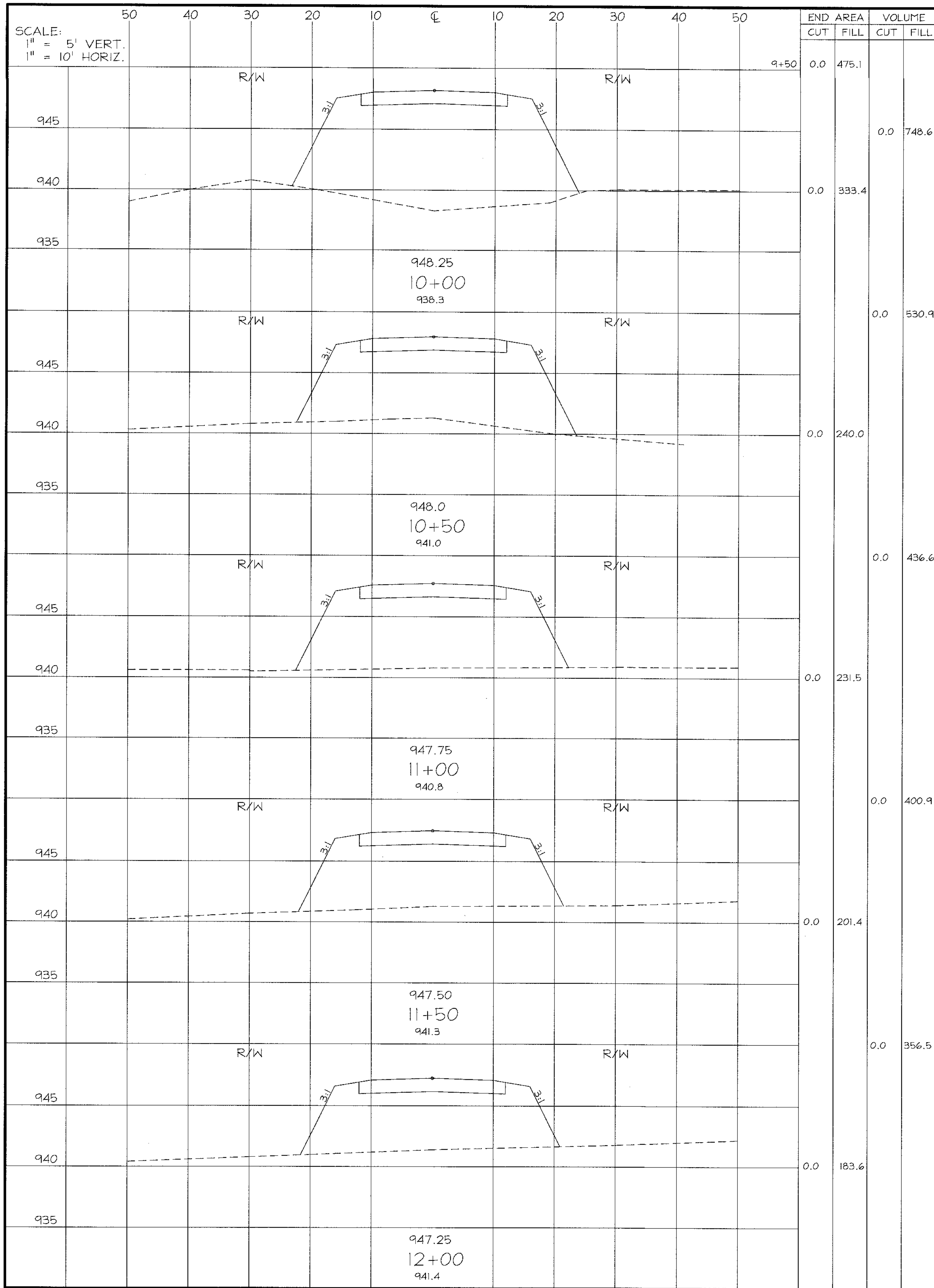


DARBY BRAESIDE
WYCLIFFE DRIVE
UNION COUNTY

PIZZINO ENGINEERING & CONSULTING, LLC
9495 SR 161
Plain City, Ohio 43084
614-325-2482
Pizzinoeng1@gmail.com

ISSUED:
Preliminary 07-17-2008
07-19-2010
Permit 05-18-2015
Construction

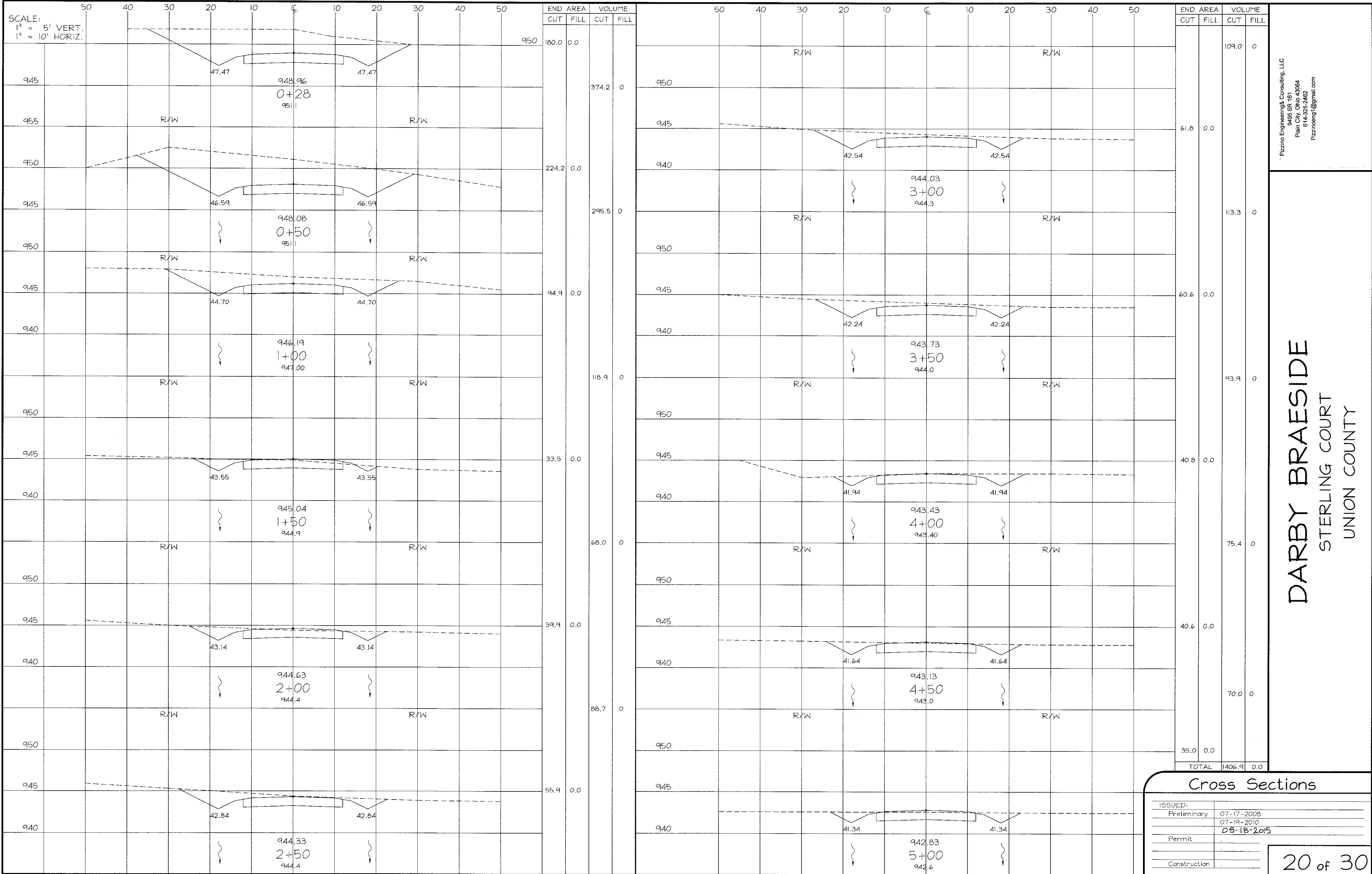
17 of 30

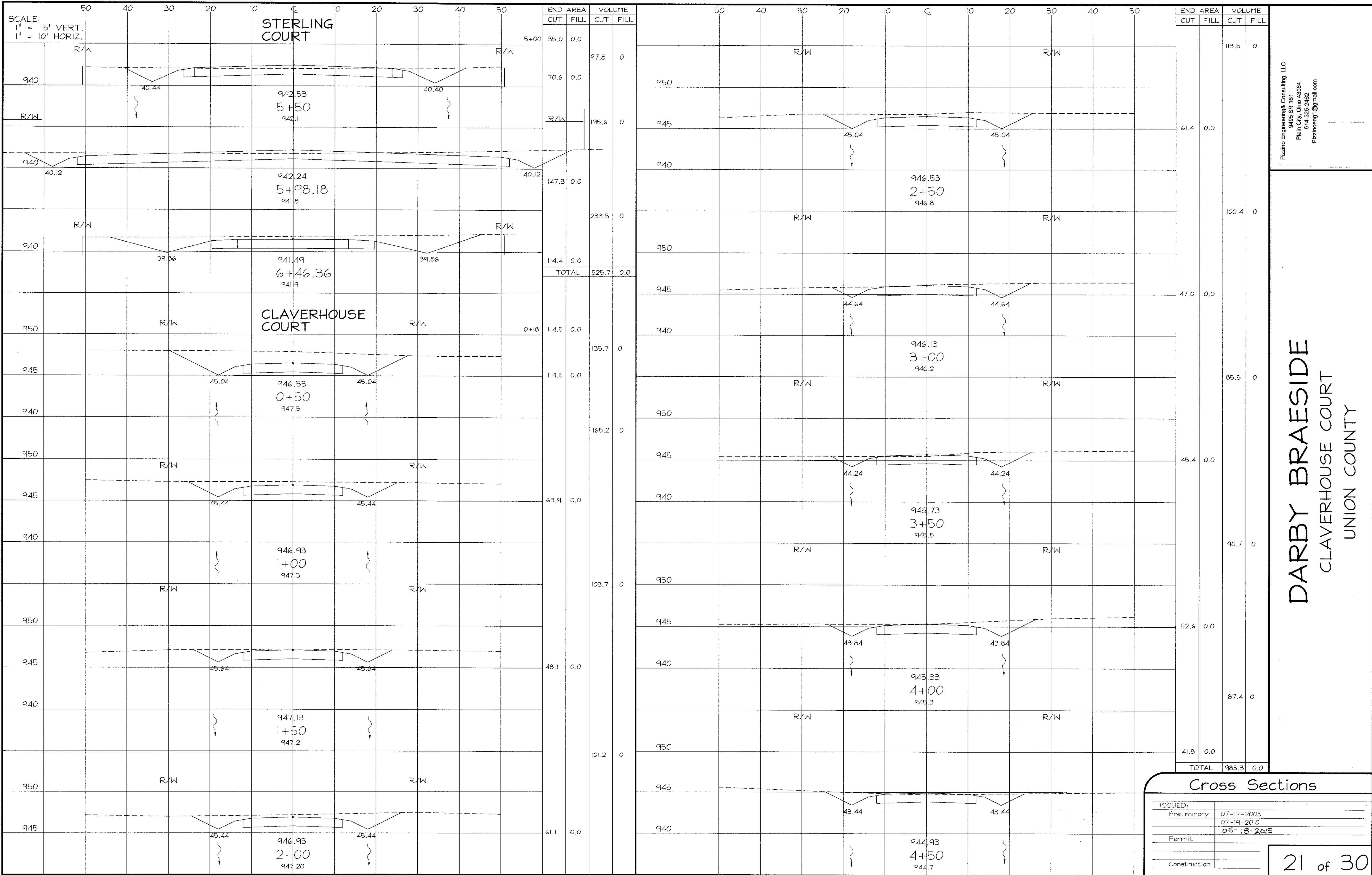


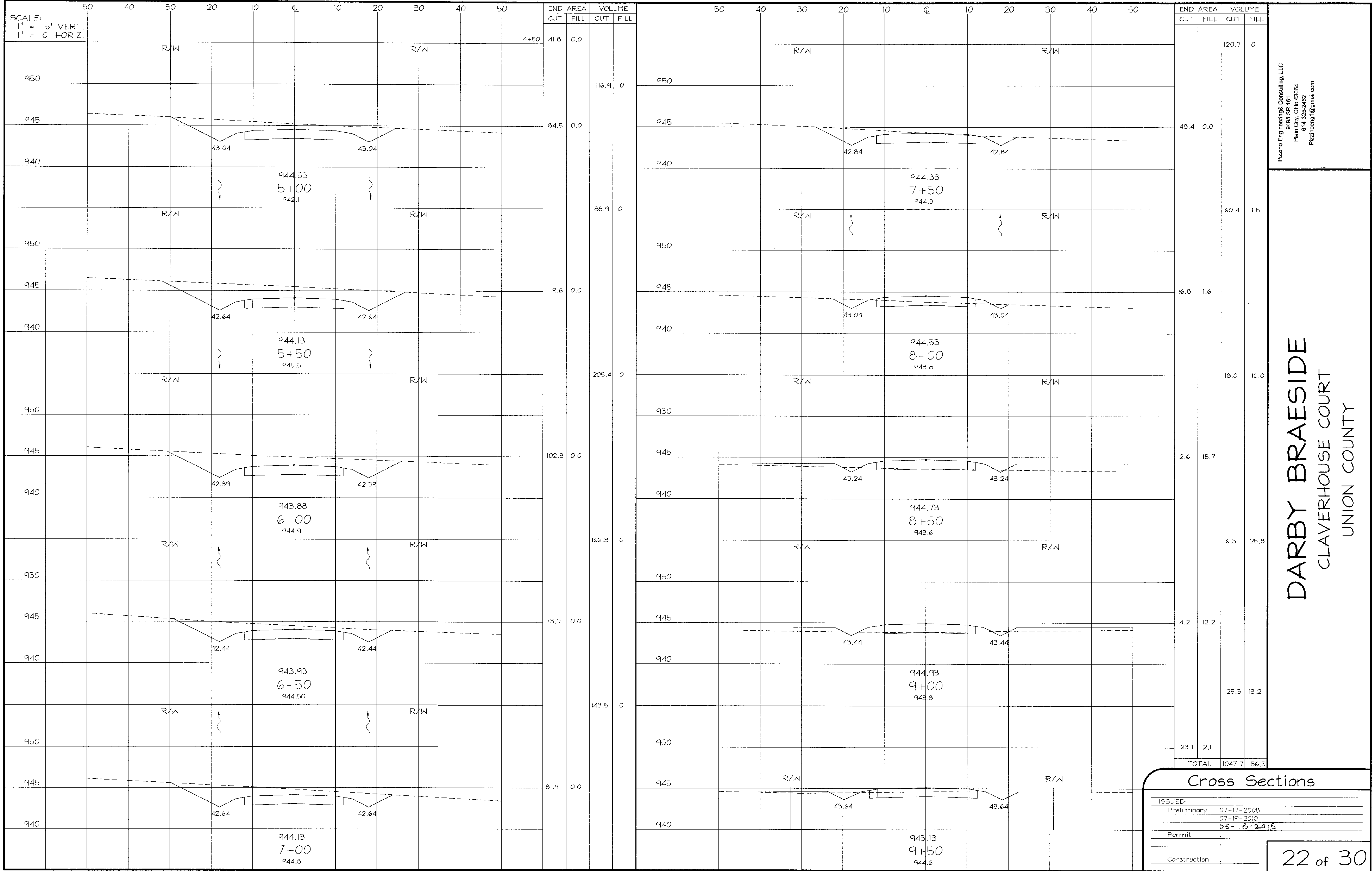
DARBY BRAESIDE
WYCLIFFE DRIVE
UNION COUNTY

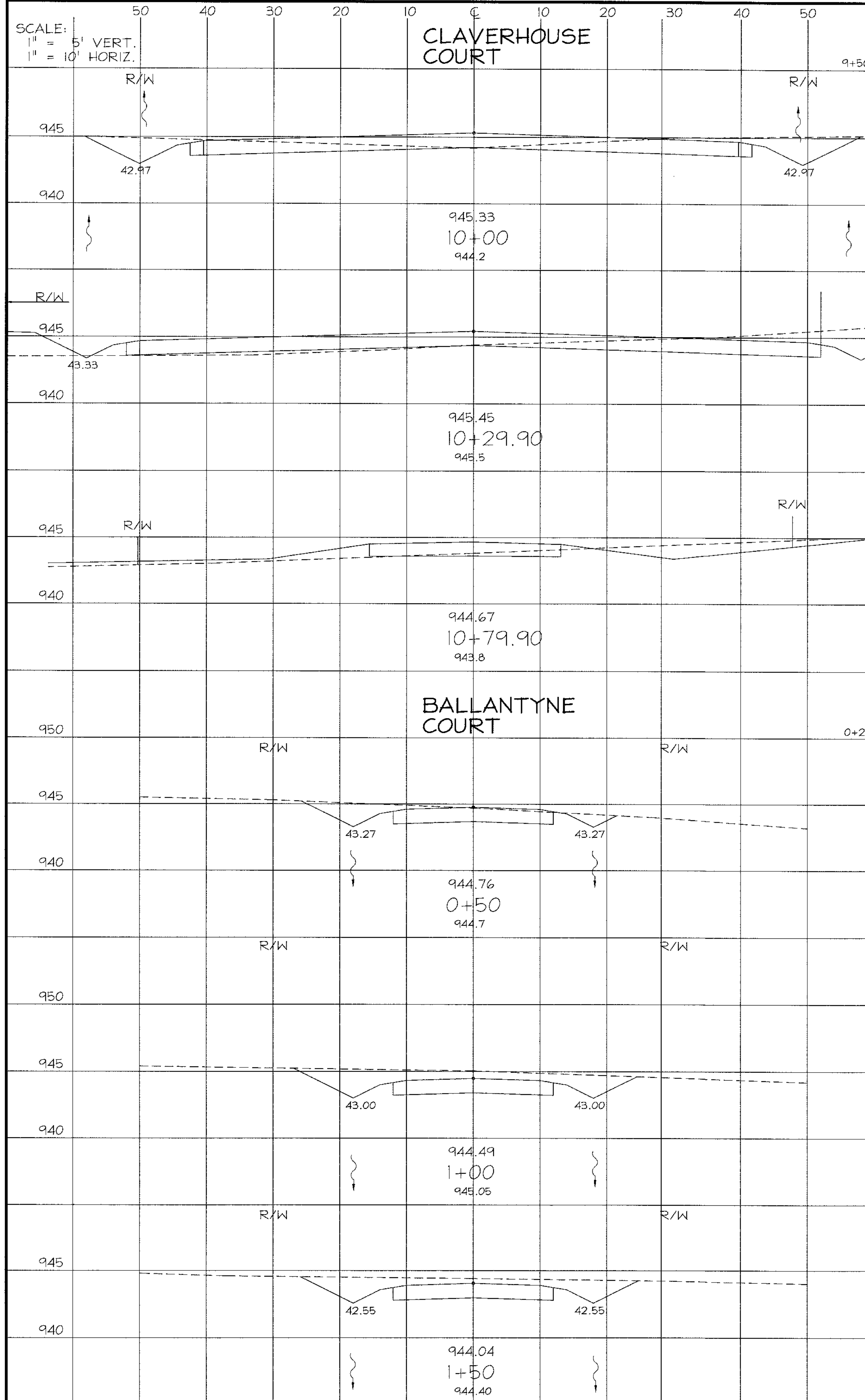
ISSUED:
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07-19-2010
Permit 05-18-2015
Construction

18 of 30

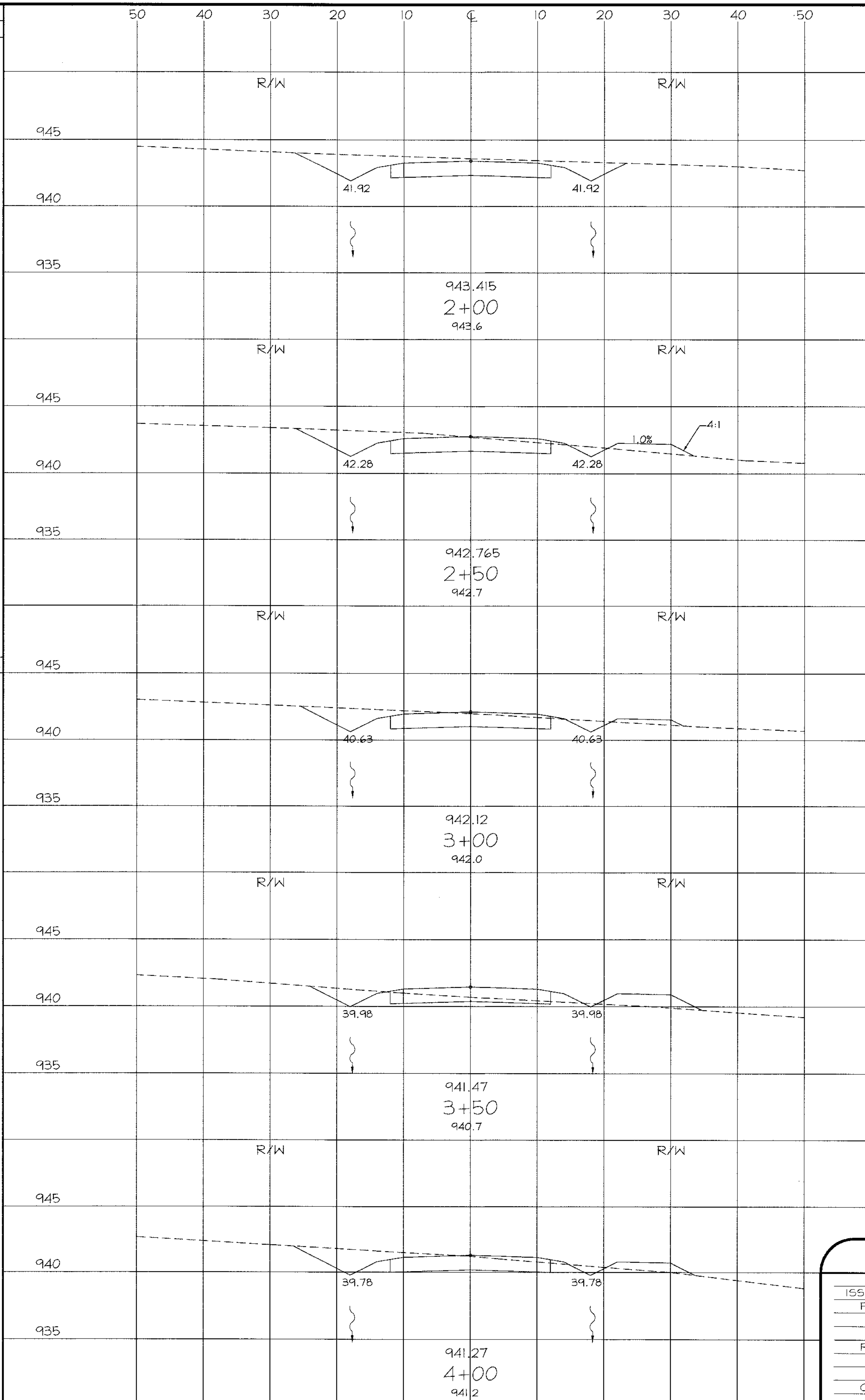






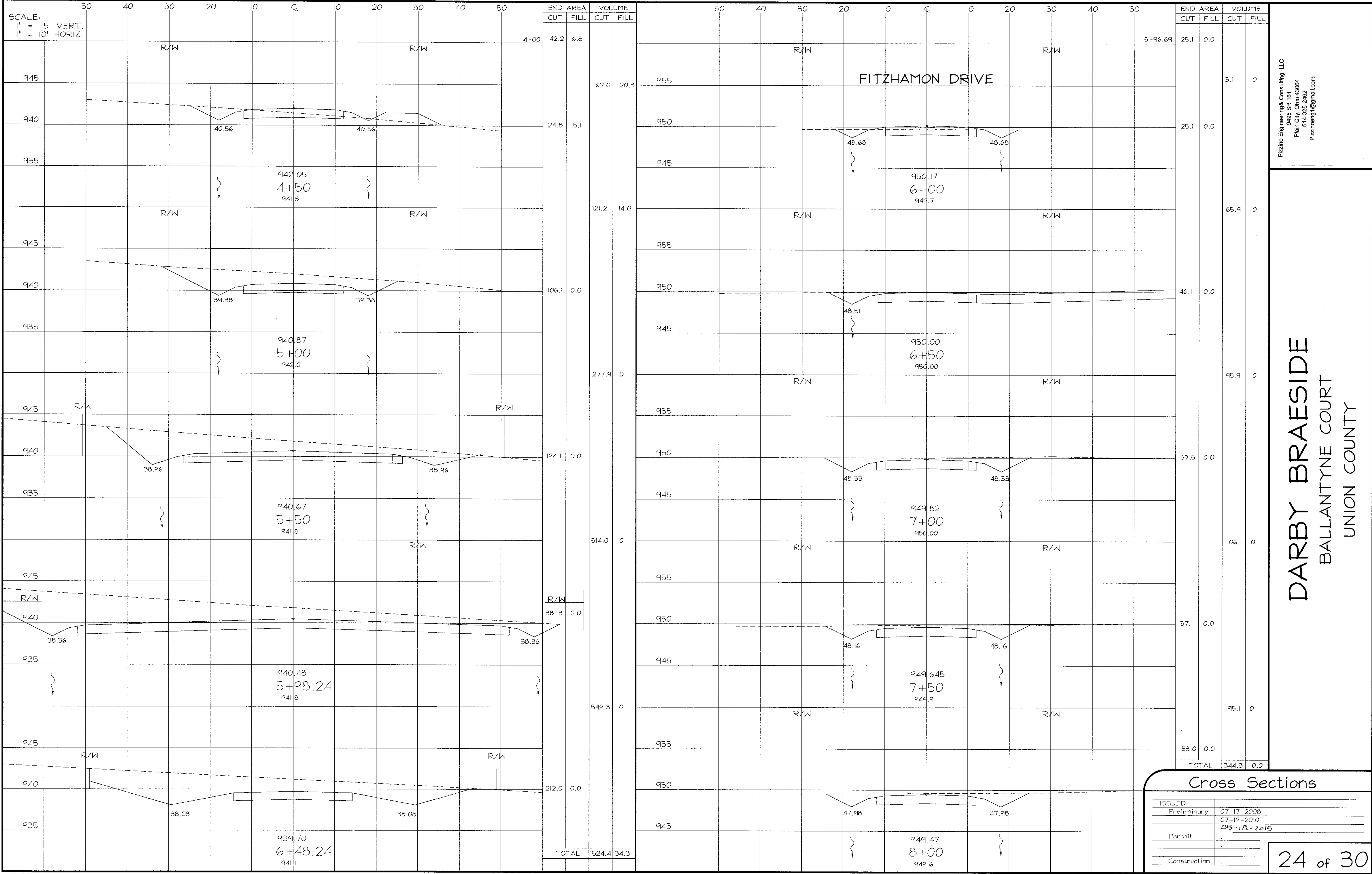


END AREA	CUT		FILL	
	CUT	FILL	CUT	FILL
23.1	2.1			
91.7	0.0			
94.9	7.8			
79.8	14			
26.9	14.7			
43.3	0			
43.3	0.0			
71.8	0.0			
64.1	0.0			
TOTAL	300.0	36.3		



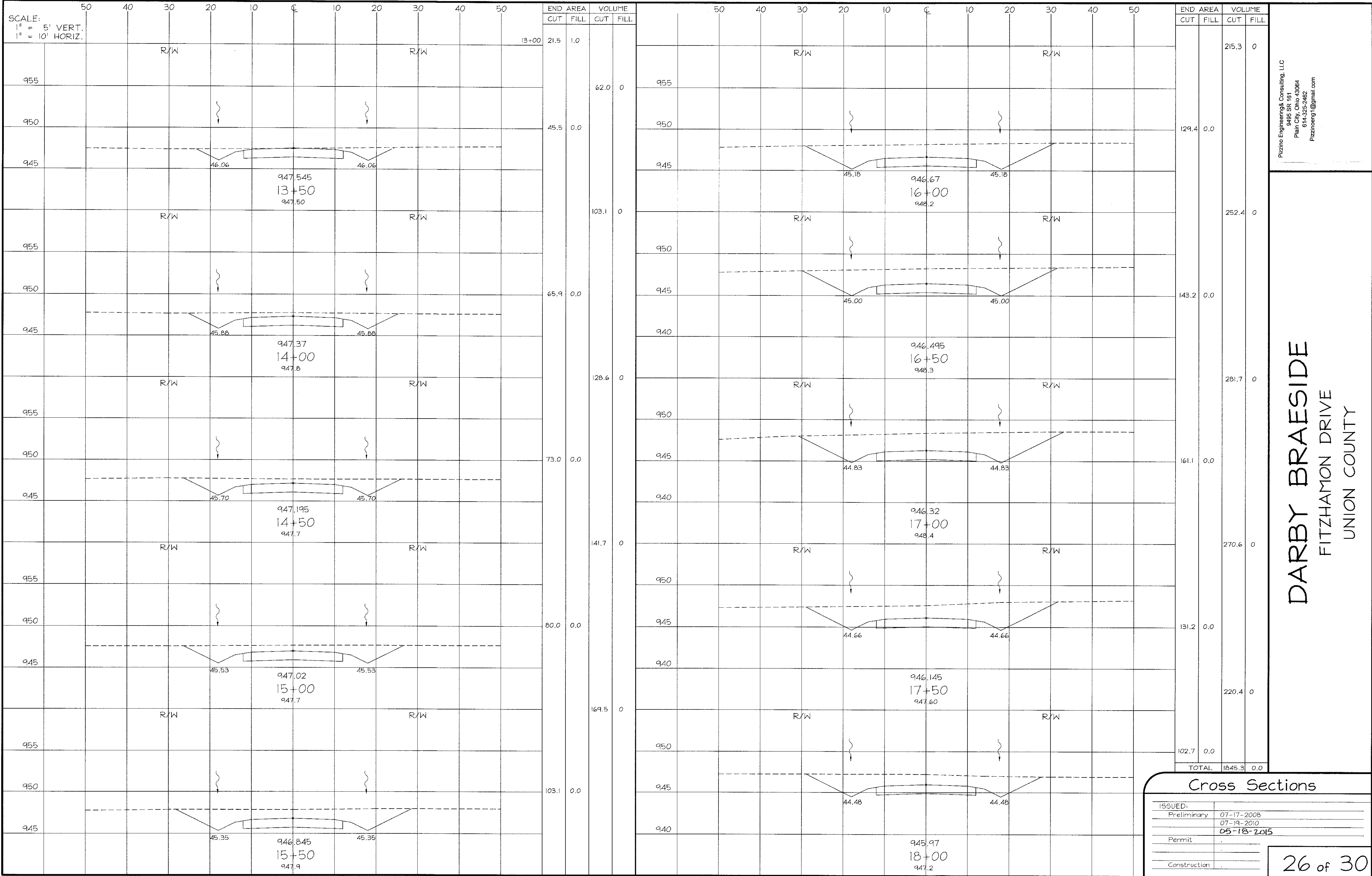
END AREA	CUT		FILL	
	CUT	FILL	CUT	FILL
111.8	0			
56.6	0.0			
93.1	5.7			
43.9	6.2			
77.8	8.8			
40.1	3.3			
53.3	15.4			
17.4	13.3			
55.2	18.6			
42.2	6.8			
TOTAL	613.9	48.0		

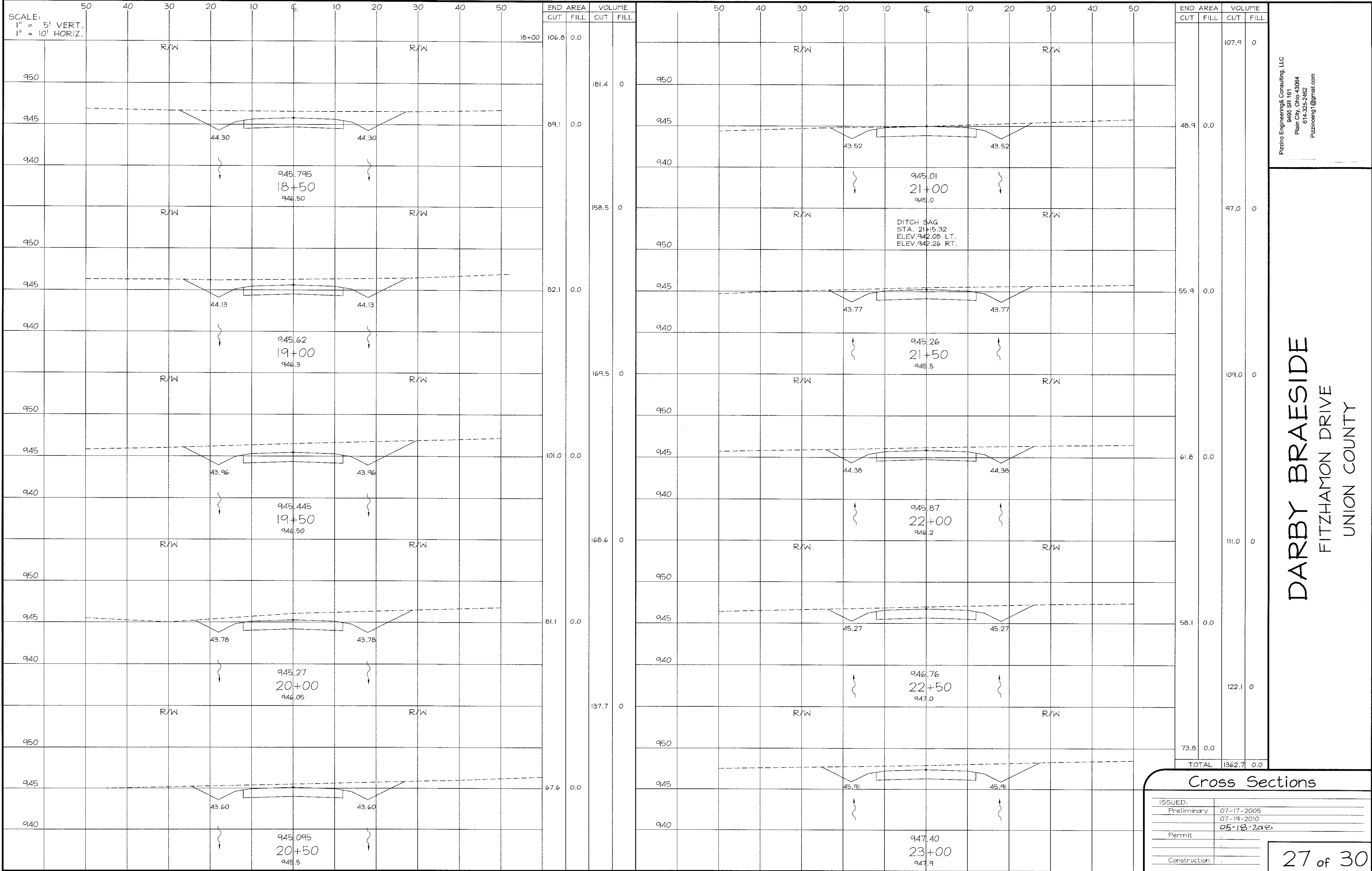
Cross Sections	
ISSUED:	
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	07-19-2010
Permit	05-18-2015
Construction	

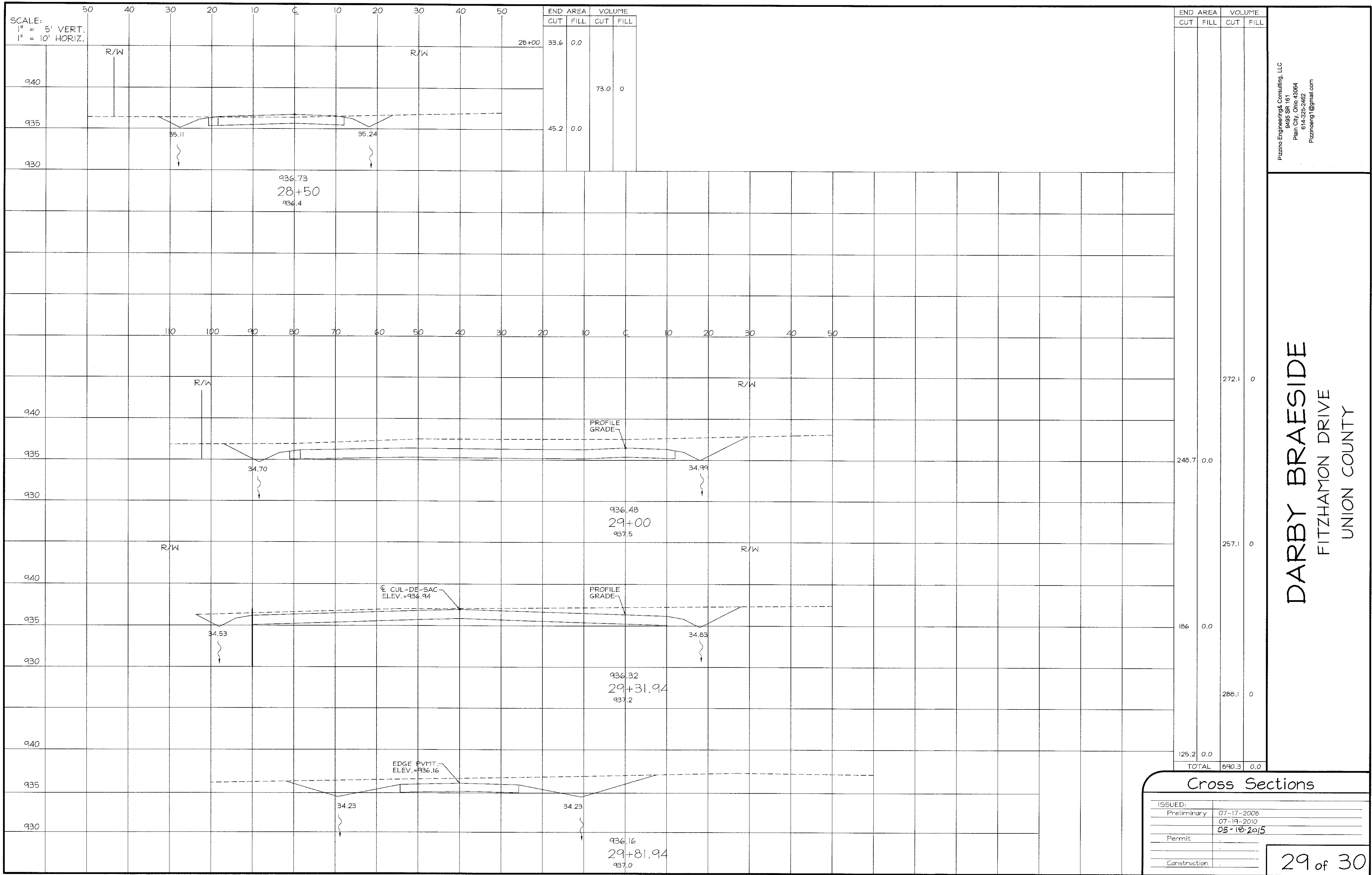


Pizzino Engineering & Consulting, LLC
9495 SE 161
Plain City, Ohio 43084
614-326-2462
Pizzinoeng1@gmail.com

DARBY BRAESIDE
BALLANTYNE COURT
UNION COUNTY



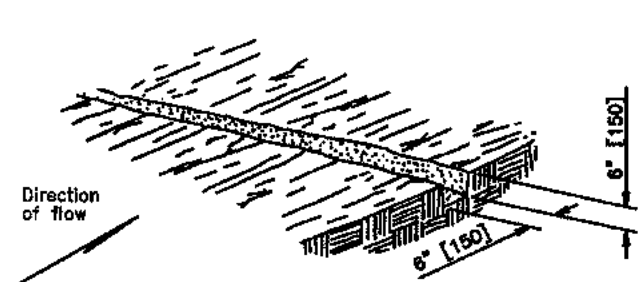
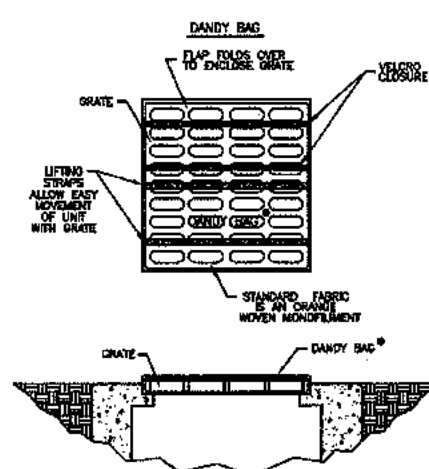




DANDY BAG®
Installation and Maintenance Guidelines

Installation: The empty Dandy Bag should be placed over the grate as the grate stands on end. If using optional oil absorbents, place absorbent pillow in pouch, on the bottom (below-grate side) of the unit. Attach absorbent pillow to tether loop. Tuck the enclosure flap inside to completely enclose the grate. Holding the lifting devices (do not rely on lifting devices to support the entire weight of the grate), place the grate into its frame.

Maintenance: Remove all accumulated sediment and debris from surface and vicinity of unit after each storm event. Remove sediment that has accumulated within the containment area of the Dandy Bag as needed. If using optional oil absorbents, remove and replace absorbent pillow when near saturation.

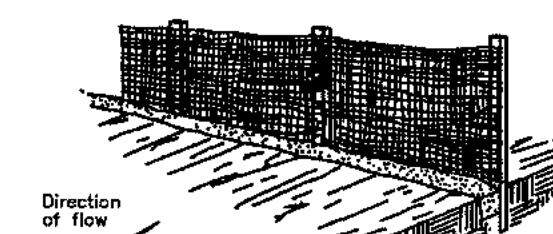


STEP 1

PERIMETER FILTER FABRIC FENCE



STEP 2



STEP 3

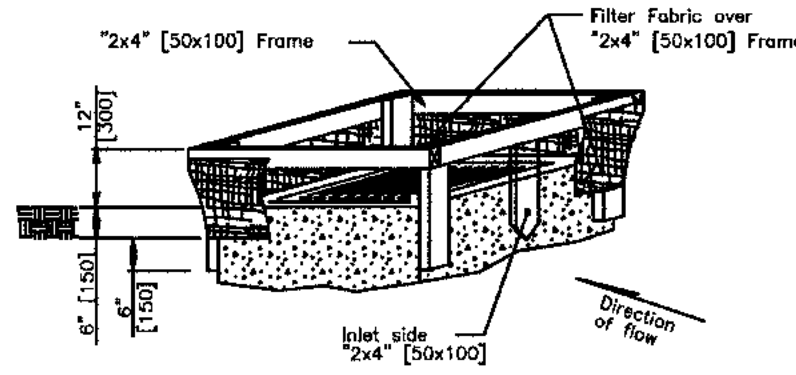
MATERIALS: Furnish 30" [0.8 m] wide filter fabric with sound wood supports with maximum on-center spacing of 10' [3.0 m]. Use filter fabric conforming to 712.09 Type C. The Contractor may elect to use straw or hay bales. Use 30" [760] long 2"x4" [50x100] wooden stakes, reinforcing bars or fence posts for the straw or hay bales.

CONSTRUCTION: Trench the filter fabric fence as detailed. The Contractor may elect to trench the fence detailed on steps 1 through 3 in one plowing operation.

NOTES

When straw or hay bales are used conform to the following: Tightly place each bale adjacent to one another. Entrench 2' [60] to 3' [75] into the ground prior to staking. Firmly stake each bale with at least two stakes. Use loose hay or straw to fill the voids under or between the bales.

INLET PROTECTION



INLET PROTECTION

NOTES

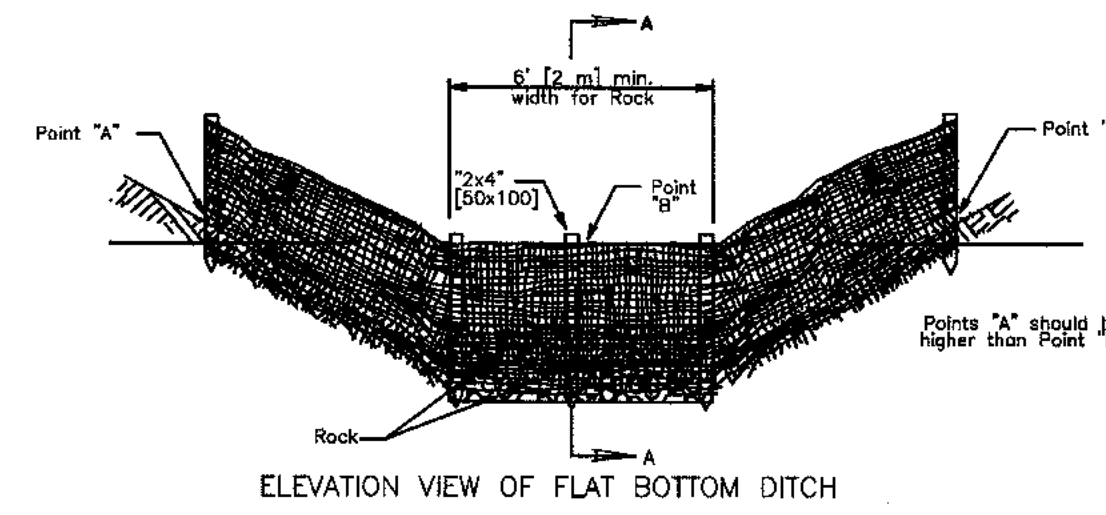
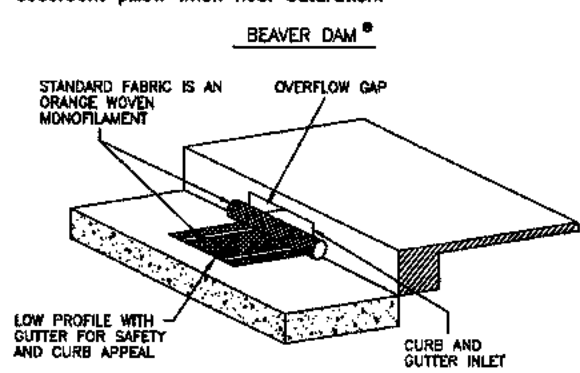
MATERIALS: Furnish inlet protection consisting of 18" [0.5 m] wide filter fabric fence with a securely rolled 2"x4" [50x100] wood frame with a vertically driven 2"x4" [50x100] stake in the center of the structure. Use filter fabric conforming to 712.09 Type C.

CONSTRUCTION: Construct an 18" [0.5 m] wide filter fabric fence supported ground a storm drain inlet or catch basin with a securely rolled 2"x4" [50x100] wood frame. Excavate a 6" [150] trench around the inlet, and drive support posts 6" [150] below the excavated trench bottom. Stretch the fabric around the frame. Secure it tightly ensuring that 6" [150] of fabric is in the trench. Overlap the fabric on one side of the inlet so that the fabric ends are not attached to the same post. Backfill and compact the excavated soil tightly onto the fabric. Place a vertical 2"x4" [50x100] in the center of the inlet so that the top is at the top of the fence and the bottom is at least 6" [150] below the bottom of the ditch.

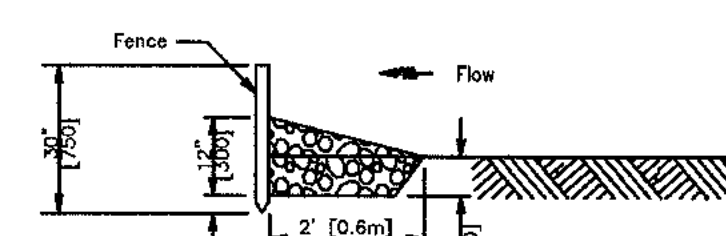
BEAVER DAM®
Installation and Maintenance Guidelines

Installation: The empty Beaver Dam should be placed over the grate as the grate stands on end. If using optional oil absorbents, place absorbent pillow on pouch, on the bottom (below-grate side) of the unit. Attach absorbent pillow to tether loop. Tuck the enclosure flap inside to completely enclose the grate. Holding the lifting devices (do not rely on lifting devices to support the entire weight of the grate), place the grate into its frame. The Beaver Dam should be partially blocking the curb hood when installed properly.

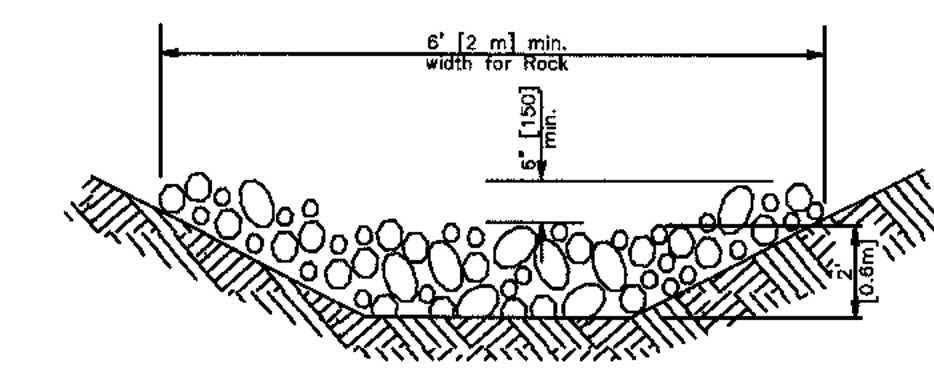
Maintenance: Remove all accumulated sediment and debris from surface and vicinity of unit after each storm event. Remove sediment that has accumulated within the containment area of the Beaver Dam as needed. If using optional oil absorbents, remove and replace absorbent pillow when near saturation.



ELEVATION VIEW OF FLAT BOTTOM DITCH

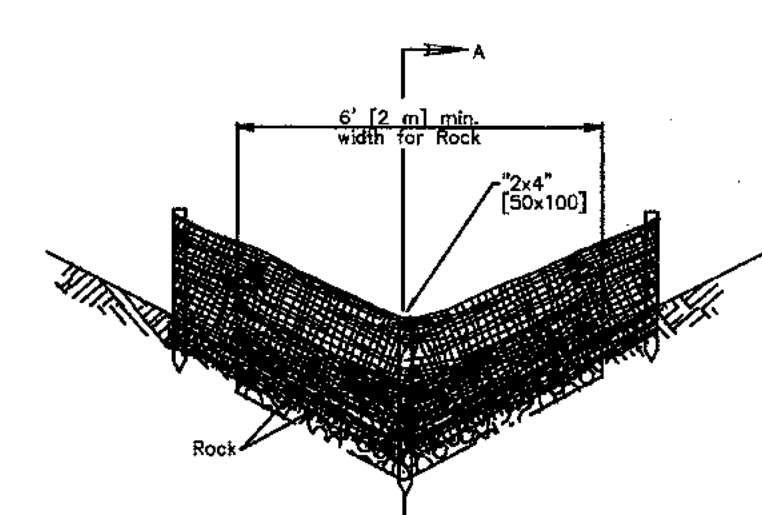


SIDE VIEW OF FLAT BOTTOM AND V DITCH



ELEVATION VIEW
ROCK CHECK

DITCH CHECKS



ELEVATION VIEW OF "V" DITCH

NOTES

FILTER FABRIC DITCH CHECKS:

MATERIALS: Furnish filter fabric ditch checks consisting of the following materials:

- 30" [0.8 m] wide filter fabric with sound wood supports with maximum on-center spacing of 10' [3.0 m]. Use filter fabric conforming to 712.09 Type C.
- A vertically driven 2"x4" [50x100] stake in the center of the ditch.
- Gravel or limestone material conforming to one of the following gradations No. 1 through No. 4 on Table 703.01-1.

CONSTRUCTION: Trench the filter fabric fence as detailed for PERIMETER FILTER FABRIC FENCE. (see Sheet 2/2). Place a vertical 2"x4" [50x100] stake in the center of the ditch with the top level to the top of the fence and at least 6" [150] below the bottom of the ditch. Excavate for and place the gravel or limestone on the upstream side of the ditch check.

ROCK CHECKS:

CONSTRUCTION: Place the rock outside the traffic clear zone in the ditch.

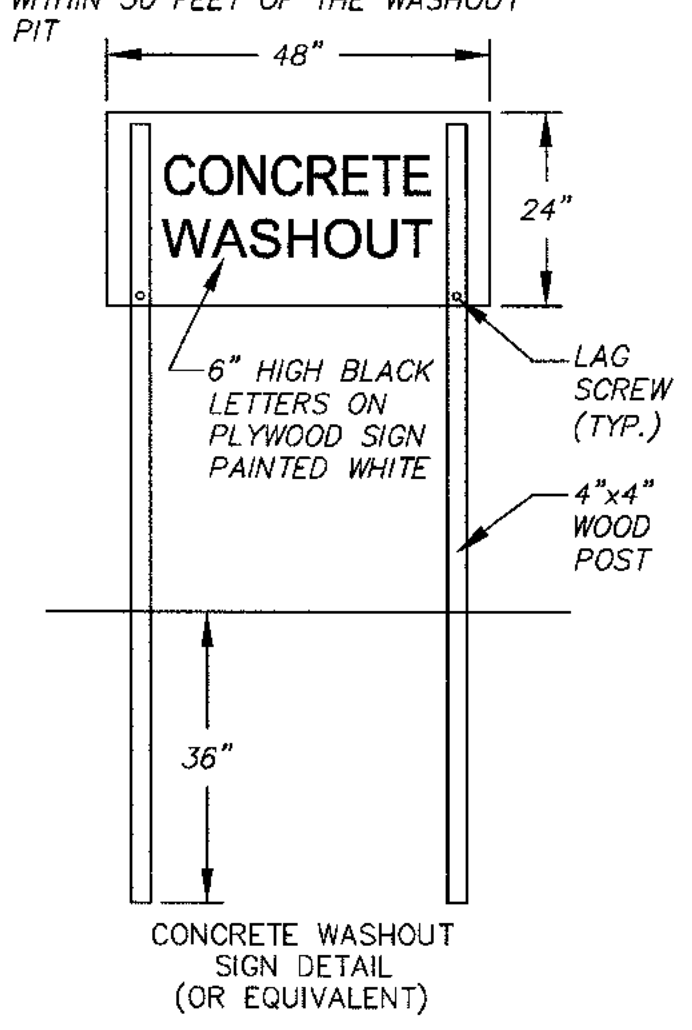
EROSION CONTROL SCHEDULE

EROSION CONTROL MEASURE	MAINTENANCE	INSTALLATION SCHEDULE
STONE ENTRANCE	AS NEEDED	PRIOR TO START OF CONSTRUCTION
SILT FENCE	WEEKLY/AFTER STORMS AS NEEDED	PRIOR TO START OF CONSTRUCTION
EXISTING INLET PROTECTION	WEEKLY/AFTER STORMS AS NEEDED	PRIOR TO START OF CONSTRUCTION
TREE PROTECTION	WEEKLY/AFTER STORMS AS NEEDED	PRIOR TO START OF CONSTRUCTION
TEMPORARY DIVERSIONS	WEEKLY/AFTER STORMS AS NEEDED	DURING ROUGH GRADING
TEMPORARY SEEDING	WATER AS NEEDED	AFTER ROUGH GRADING
PERMANENT SEEDING	WATER AS NEEDED	AFTER FINISH GRADING
EROSION CONTROL MATTING	WEEKLY/AFTER STORMS AS NEEDED	AFTER FINISH GRADING
STRAW BALES	WEEKLY/AFTER STORMS AS NEEDED	AFTER FINISH GRADING
INLET PROTECTION	WEEKLY/AFTER STORMS AS NEEDED	AFTER INSTALLATION OF INLETS
SEED AND SOD FINISHED UNITS	WATER AS NEEDED	AFTER FINISH GRADING
REMOVAL OF STRAW BALES		AFTER ALL AREAS ARE STABLE
REMOVAL OF SILT FENCE		AFTER ALL AREAS ARE STABLE
REMOVAL OF INLET PROTECTION		AFTER ALL AREAS ARE STABLE

TEMPOARY SEEDING SCHEDULE

TYPE OF SEED	SEEDING DATES	LBS/1000 SQ. FT.
ANNUAL RYE GRASS	MARCH 1ST TO SEPT. 1ST.	1 LBS.
WHEAT OR RYE	AUG. 15TH TO OCT. 15TH.	4 LBS.

INSTALL CONCRETE WASHOUT SIGN WITHIN 30 FEET OF THE WASHOUT PIT



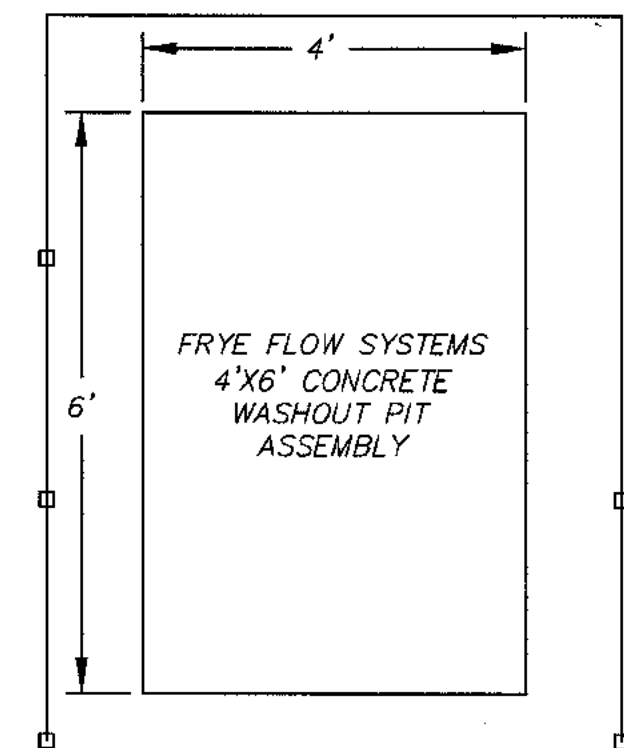
CONCRETE WASHOUT SIGN DETAIL (OR EQUIVALENT)

INSTALLATION

- INSERT REBAR INTO POCKETS OF DEBRIS BAG.
- INSTALL FRYEFLOW SYSTEMS DEBRIS BAG INTO ANGLE IRON FRAME.
- MAKE SURE ANGLE IRON SETS BEHIND REBAR BRACKETS.
- MAKE SURE FRAME AND BAG IS SET ON FLAT SURFACE.

MAINTENANCE

- ONCE DEBRIS BAG IS FULL, USE HANDLES PROVIDED TO LIFT OUT OF FRAME.
- REMOVE REBAR FROM SIDE POUCHES.
- INSERT NEW FRYEFLOW SYSTEMS DEBRIS BAG.
- PROPERLY DISPOSE OF USED BAG OF CONCRETE WASTE.



PLAN
NOT TO SCALE

CONCRETE WASHOUT PIT DETAIL

DARBY BRAESIDE

Erosion Control

ISSUED:	
Preliminary	07-17-2008
	07-19-2010
	07-18-2012
Construction	
As Built	

DARBY BRAESIDE LLC

1119 Regency Drive | Columbus | Ohio 43220

3/7/17

Ms. Jenny Snapp, Director
LUC Regional Planning Commission
9676 East Foundry Street
East Liberty, Ohio 43319

Re: Darby Braeside Preliminary Plat Extension

Dear Ms. Snapp:

We respectfully request a two-year extension of the Darby Braeside Preliminary Plat originally approved June 11, 2015. Please place this request on the agenda for the April 13, 2017 meeting of the LUC Regional Planning Commission. Enclosed with this letter are copies of:

- The Preliminary Plat Application
- The Preliminary Plat (30 pages)
- The Deeds and Covenants

I have affixed to the two CDs a check for \$200.00

Please contact me at 614-406-7514 or by email if you should have any questions.

Sincerely,



Wayne Ballantyne
Managing Member



**County Engineer
Environmental Engineer
Building Department**
233 W. Sixth Street
Marysville, Ohio 43040
P 937. 645. 3018
F 937. 645. 3161
www.co.union.oh.us/engineer

Marysville Operations Facility
16400 County Home Road
Marysville, Ohio 43040
P 937. 645. 3017
F 937. 645. 3111

Richwood Outpost
190 Beatty Avenue
Richwood, Ohio 43344

Public Service with integrity

June 5, 2015

Bradley Bodenmiller
9676 E. Foundry St. PO Box 219
East Liberty, Ohio 43319

Re: Darby Braeside Subdivision
Preliminary Plat Review

Bradley,

We have completed our review for the above plans received May 26, 2015 and recommend it to be approved with the following modifications:

1. Zoning will need to be approved through Jerome Township prior to the approval of the final plat. Please note that Jerome Township revised their zoning code in May of 2015, which may have an effect on this development. Please contact Jerome Township for further information.
2. ODOT access approval will need to be submitted.
3. Health Department approval will be needed prior to construction drawing approval by our office. While lots appear to meet minimum size requirements, the effective buildable area of many lots is significantly reduced by the presence of the flood plain.
4. Any new construction, filling or storage of materials within a designated FEMA flood hazard areas will be required to get a Flood Hazard Permit through the Union County Building Department.
5. Show 2' berm on pavement cross section.
6. Show cross section for 24' width pavement.
7. Provide design details for the arched culvert crossing.
8. Reroute existing drive at 8717 SR 736 to Wycliffe Dr.
9. Show the 100yr storm elevations for the ditches throughout the site.
10. All reserves with detention basins need to have access provided with maintenance easements.
11. Stormwater easements for swales should be at least 30' wide or the width of the water spread, whichever is greater.
12. Submit stormwater calculations.
13. Provide calculations for culvert sizing.
14. What is pavement section of walking path – delineate change of pavement type at the transition from public road r/w (at turn around) to walking path.
15. Provide temp barricade at the end of Fitzhamon and the temporary turnaround.
16. Need to include off-site drainage areas in stormwater trib map.
17. Do not see an easement or any mention of an existing tile along the back side of existing homes on SR 736. Need to investigate tile location, document, reroute (if necessary) and provide easement across subdivision to outlet.

18. Does the Developer still plan to install an entrance feature? Need to provide easement or dedicated Open Space lot at entrance to allow for feature.
19. The following Union County Standard Deed Restrictions shall be placed on the Final Plat: 1-3,5,6b,8-11,14b, and 15.
20. Please submit a copy of the deed restrictions and covenants for review.
21. The Developer will be required to sign a Ditch Petition for the maintenance of off-site storm, ditches, and retention facilities.
22. Submit copy of EPA Stormwater NOI (when available)

In accordance with Subdivision Regulations of Union County, additional information is required from the developer prior to final plat approvals. It is the responsibility of the developer to become familiar with the regulations and file requisite information within the time frames outlined in the regulations. Should you have any questions, feel free to contact me at (937) 645-3122.

Sincerely,



Luke Sutton
Project Engineer
Union County Engineer



**County Engineer
Environmental Engineer
Building Department**

233 W. Sixth Street
Marysville, Ohio 43040
P 937. 645. 3018
F 937. 645. 3161
www.co.union.oh.us/engineer

Marysville Operations Facility

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Marysville, Ohio 43040
P 937. 645. 3017
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Richwood Outpost

190 Beatty Avenue
Richwood, Ohio 43344

Public Service with integrity

April 6, 2017

Bradley Bodenmiller
9676 E. Foundry St. PO Box 219
East Liberty, Ohio 43319

Re: Darby Braeside Subdivision
Preliminary Plat Extension

Brad,

We have completed our review for the request for extension of the above referenced preliminary plat. We recommend that the plat be extended with the modifications recommended in the previously approved preliminary plat extension letter from our office in 2015. That letter is attached.

Construction has been completed on the first phase of the subdivision (lots #1 through #9), so some of the items on the referenced letter may no longer be applicable.

Should you have any questions or concerns regarding this letter, feel free to contact me at (937) 645-3165.

Sincerely,

Bill Narducci, P.E.
Assistant County Engineer
Union County Engineer

Enc: Darby Braeside Preliminary Plat Extension Comment Letter from UCE Office – August 31, 2015

Cc: Luke Sutton, Union County Engineer's Office (via email)



Staff Report – Millcreek Township Zoning Amendment

Township:	Millcreek Township Zoning Commission c/o Phil Honsey, Township Zoning Inspector (937) 644-3449
Applicant:	Shelly Materials, Inc. c/o Kevin Cooperrider 1771 Harmon Avenue Columbus, OH 43223 (614) 437-2343 kcooperrider@shellyco.com
Request:	<p>The Zoning Commission received an application to rezone a total of 50 acres from multiple parcels from U-1 Farm Residential District to EQ Excavation and Quarry District. Staff notes a small portion also appears to be zoned B-2 (2500130240020) General Business District. The parcels are listed below:</p> <ul style="list-style-type: none">• 2500130230000• 2500130240020• 2500130270000• 2500130280000 <p>Total acres:</p> <ul style="list-style-type: none">• 15 acres west of Jerome Road• 35 acres east of Jerome Road <p>Existing Use:</p> <ul style="list-style-type: none">• Agriculture <p>Proposed Use:</p> <ul style="list-style-type: none">• Limestone extraction
Location:	Millcreek Township is in Union County. The parcels involved are between US Highway 42 and Watkins Road and sit on the west and east side of Jerome Road.

Staff Analysis:	<p>This proposed rezoning would permit the expansion of an existing quarry operation owned by Shelly Materials. The expansion would be a size of 50 acres.</p> <p>Land Use: Comprehensive Plan Millcreek has a comprehensive plan, dated 2005 and supplemented in 2010. The existing condition analysis</p>
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Staff Report – Millcreek Township Zoning Amendment

acknowledges the quarry operation (2005 Comp Plan, pp. 18) and the importance of manufacturing/mineral extraction in the Township (pp. 35). In the Plan's recommendations, it also acknowledges the significant amount of acreage owned by Shelly Materials for eventual expansion of quarry operations and recommends discouragement of further residential development within a mile of the site (pp. 36). (Note: A northern portion of Jerome Village would potentially be within this distance. However, the majority of that is planned as commercial.) Some recommendations of the plan were to:

- "Retain a long term perspective for upscale or recreational re-use of the quarry site. In the short term, re-zone it for special uses with only the continuation of the existing operation to be permitted as of right" (pp. 29).
- "So long as the company continues efforts to be a good neighbor to the community, they should be embraced, but given wide berth from encroachment of residential development. No additional residential development should occur within at least a mile of the operations [because they are intense, including night operation and blasting]."
- "Long term options for reuse of the site will be defined by the radical change in the original landscape, the large pit, and whether or not the pit will hold water and at what depth" (pp. 35).

Union County has a comprehensive plan, which also recommends discouragement of residential land uses near existing quarries and quarry expansion areas (Union Co Comp Plan, pp. 86).

None of these plans recommend limiting the expansion of the existing quarry; the plans recommend that residential development be discouraged near existing quarries. This concept is key to this recommendation.

Zoning Resolution

The EQ District is a zoning district specifically for exaction and quarrying. The general purpose of the district is to rezone piecemeal in 50 acre sections, protect water resources, control nuisances, provide for damage protection from blasting, and provide for site reclamation. After



Staff Report – Millcreek Township Zoning Amendment

	<p>reviewing the EQ District, LUC staff had the following comments:</p> <ul style="list-style-type: none">○ A site reclamation plan and limited topographic plan were provided. Because this is an active site, the topographic information is very limited, but there is additional topographic detail found within the reclamation plan itself. The Zoning Commission and Township Trustees should review the performance bond and make sure those plans and the bond are still “adequate and in the best interest of the township” (Resolution, Section 6870). <p>Vicinity Zoning & Uses Nearby uses are generally very low density and agriculture. Vicinity and adjacent zoning includes U-1 District, B-2 District, M-2 District, and EQ District.</p> <p>Prior Recommendation In its 2016 recommendation, the LUC Executive Committee recommended the Township reach-out to adjacent townships.</p>
Staff Recommendations:	Staff recommends APPROVAL of the proposed zoning amendment based on the 2005 and 2010 Millcreek Township Development & Growth Plan, Union County Comprehensive Plan, and the EQ District Purpose & Intent.
Z&S Committee Recommendations:	



March 23, 2017

Brad Bodenmiller
LUC Regional Planning Commission
9676 E. Foundry St.
P.O. Box 219
East Liberty, OH 43319

Sent via e-mail.

Dear Brad:

Attached is your checklist for Millcreek Township Zoning Map Amendment ZC-2017-001 (Shelly Materials, Inc.), which application was accepted by the Township on March 21, 2017.

Regarding your checklist:

- See the Township Rezoning request application form and multiple exhibits and technical reports, submitted by Shelly Materials to the Township, officially accepted by the Township on 3/21/17, and e-mailed to you on March 22, 2017, which contains most of the information you have requested on the checklist.
- As you are aware from our frequent correspondence this week, the date of the Millcreek Township Zoning Commission Public Hearing will be on April 18, 2017, at 7:00 p.m.
- I will serve as the contact between the LUC RPC and the Township. (937) 644-3449.
- Kevin Cooperrider (see Township application form) is the contact for the applicant.
- You have previously been sent a copy of the entire Millcreek Township zoning text, which remains unchanged from 2016.
- The acreage under consideration for the rezoning (zoning map amendment) is located completely interior to Shelly Materials, Inc. land holdings. The current land use is agricultural. The proposed land use is EQ.
- The application made by Shelly Materials to the Township includes a list of the names and addresses of property owners near the Shelly property, as provided by the applicant. Notices

for the April 18, 2017 Millcreek Township Zoning Commission were mailed to these properties today. A legal ad has been sent to the Marysville JT, requesting publication at least 10 days prior to the April 18, 2017 meeting, and postings have been made at the Township Hall. A copy of the rezoning application has also been placed at the Marysville Public Library, and the notice and a link to the application are posted on the Township web site www.millcreektwpohio.us.

- All of the surrounding neighboring property not owned by Shelly Materials is zoned U1 except for the Jerome and US 42 frontage (see enclosed Millcreek Township Zoning Map.)
- I know you are very busy at the RPC, but if it would be possible for you to update the official Township Zoning Map to reflect the current EQ district boundaries in the vicinity of this rezoning request, per our conversations in the last few months, the updated official township zoning map may facilitate review for those not as familiar with this area as are the Township officials.
- The supporting documentation includes the full plan size air photo with proposed zoning overlayed (hand delivered to Dave Gulden yesterday) and complete legal descriptions.
- The application addresses compliance with State requirements. There are also extensive geological studies submitted regarding the tunneling under Jerome Road.
- Although I know from speaking with County Engineer Jeff Stauch that he has worked with Shelly Materials on matters affecting Jerome Road, I have asked him to provide his comments to our Zoning Commission by April 18, 2017.
- I have copied you via e-mail on the request made to Kevin Cooperrider of Shelly Materials on 3/23/17 (today) regarding verifying and dating the applicability of the existing landscaping plan on file, and the existing ODNR mandated restoration plan on file. I have asked Mr. Cooperrider to send a response directly to you as well as me, and expect compliance with that request in the next few business days.
- As you are aware, while it is not a requirement, a proposed long term restoration plan is also included in the application materials made by Shelly Materials to the Township.

We look forward to your professional planning recommendations from the regional perspective.

Thanks!

Sincerely,



Phil Honsey
Zoning Administrator

cc Kevin Coperrider, Shelly Materials
Jeff Stauch, Union County Engineer



Logan-Union-Champaign regional planning commission

Director: Dave Gulden

Zoning Parcel Amendment Checklist

Date: 3/29/17 Township: Mill Creek
Amendment Title: ZC 2017-001

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Each Zoning Parcel Amendment change must be received in our office along with a cover letter, explaining the proposed zone change (s). All items listed below must be received **no later than 10 days** before the next scheduled LUC Regional Planning Commission Executive Board Meeting (which is the second Thursday of every month). It is recommended that a person who is able to provide further information on the amendment attend the Zoning and Subdivision Committee meeting to answer any additional questions that may arise.

Required Item:	Completed by Requestor:	Received by LUC:
Cover Letter & Checklist	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Date of Request (stated in cover letter)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Description of Zoning Parcel Amendment Change(s)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Date of Public Hearing (stated in cover letter)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Township point of contact and contact information for zoning amendment (stated in cover letter)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Parcel Number(s)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Copy of Completed Zoning Amendment Application	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Applicant's Name and contact information	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Current Zoning	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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Acreage	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Copy of Zoning Text associated with proposed district(s)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Contiguous and adjoining Parcel Information, including Zoning District(s)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Any other supporting documentation submitted by applicant	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Non-LUC Member Fee, If applicable	<input type="checkbox"/>	<input type="checkbox"/>

Additionally, after final adoption regarding this zoning parcel amendment, please provide LUC with a letter stating the results of the Trustees vote, along with a copy of the adopted parcel change (s).

Please see reverse side for a timeline of the Township Zoning Amendment Process, per ORC 519.12

9676 E. Foundry St, PO Box 219
East Liberty, Ohio 43319

• Phone: 937-666-3431 • Fax: 937-666-6203
• Email: luc-rpc@lucplanning.com • Web: www.lucplanning.com



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9676 E. Foundry St.
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East Liberty, OH 43319

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Phil Honsey
Zoning Administrator

cc Kevin Coperrider, Shelly Materials
Jeff Stauch, Union County Engineer



Logan-Union-Champaign regional planning commission

Director: Dave Gulden

Zoning Parcel Amendment Checklist

Date: 3/29/17 Township: Mill Creek
Amendment Title: ZC 2017-001

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• Email: luc-rpc@lucplanning.com • Web: www.lucplanning.com

ZONING MAP AMENDMENT APPLICATION

MILLCREEK TOWNSHIP ZONING (937) 644-3449
P.O. Box 157, OSTRANDER, OH 43061
ZONING@WWW.MILLCREEKTHWPOHIO

ZC CASE NO.: 22-2017-0

EFFECTIVE: 02-27-17

Property Owner(s): Shelly Materials, Inc. Mailing Address: 1771 Harmon Ave. Columbus, Ohio 43223

DEVELOPER/CONTRACTOR: SHELLY MATERIALS, INC. PHONE: 614-437-2345

ADDRESS: 1771 HARMON AVE. COLUMBUS, OHIO 43223 EMAIL: KCOOPERRIDER@SHELLYCO.COM

PRIMARY CONTACT: KEVIN COOPERRIDER PHONE: 614-437-2343

ADDRESS: 1771 HARMON AVE. COLUMBUS, OHIO 43223 EMAIL: KCOOPERRIDER@SHELLYCO.COM

PROPERTY ADDRESS: 8328 WATKINS RD. OSTRANDER, OHIO 43061

PARCEL NUMBER(S): 2500130230000, 2500130240020, 2500130270000 & 2500130280000

ACREAGE: 50 ACRES NUMBER OF PROPOSED LOTS (BUILDABLE LOTS): N/A PROPOSED OPEN SPACE: N/A ACRES

SUBDIVISION NAME (IF APPLICABLE): N/A LOT NUMBER(S): N/A LOT SIZE: N/A

EXISTING ZONING DISTRICT(S): U1

PRESENT USE(S): AGRICULTURE

PROPOSED ZONING DISTRICT(S): EQ

PROPOSED USE(S): LIMESTONE EXTRACTION. THREE (3) 425' +/- TUNNELS WILL BE CONSTRUCTED UNDERNEATH JEROME RD. TO TRANSFER MATERIAL EAST OF JEROME RD. TO THE PROCESSING PLANT. ONCE TUNNELS ARE RETIRED BY SHELLY MATERIALS, INC. TUNNELS WILL BE BACKFILLED AND SEALED OFF. ALL STORM WATER DRAINAGE WILL BE DIRECTED TOWARDS THE OPERATION. ALL MONITORING WELLS WILL CONTINUE TO BE MONITORED MONTHLY WITH RESULTS BEING SUBMITTED TO THE ZONING ADMINISTRATOR MONTHLY. BLASTING SCHEDULES WILL BE SUBMITTED TO THE ZONING ADMINISTRATOR MONTHLY. DUST WILL BE SUPPRESSED BY A WHEEL WASH SYSTEM AND WATERED HAUL ROADS AT A NEED TO BE BASIS. ALL NEW QUARRYING/EXCAVATION AREAS WILL BE GUARDED BY MANICURED SOUND/SITE BARRIERS WITH WARNING SIGNS POSTED. ALL NEW AND OLD QUARRYING/EXCAVATION AREAS WILL BE RECLAIMED TO STATE OF OHIO GUIDELINES.

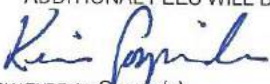
BY SIGNING THIS APPLICATION ON THE LINE BELOW, I HEREBY CERTIFY THAT ALL INFORMATION CONTAINED HEREIN IS TRUE AND ACCURATE. I ALSO AGREE TO BE BOUND BY PROVISIONS OF THE ZONING RESOLUTION OF MILLCREEK TOWNSHIP, AS WELL AS ACKNOWLEDGE THE FOLLOWING:

X I REQUEST TO INDUCE THE AFOREMENTIONED AMENDMENT TO THE MILLCREEK TOWNSHIP ZONING MAP.

X I HAVE ATTACHED OR ENCLOSED WITH THIS APPLICATION TEN (10) COPIES OF ALL MATERIALS WHICH ARE TO BE CONSIDERED FOR APPROVAL WITH THIS APPLICATION AND ONE DIGITAL COPY (PDF FORMAT), ADDRESSING EXISTING FEATURES, A VICINITY MAP, A DEVELOPMENT PLAN, A LANDSCAPE PLAN, A SIGNAGE PLAN, DRAINAGE, SEWER AND WATER SERVICE FEASIBILITY PLANS, A TRAFFIC STUDY AND OTHER INFORMATION REQUIRED IN ACCORDANCE WITH THE APPLICATION PROCEDURES AND/OR TO PROVE COMPLIANCE WITH OTHER SECTIONS OF THE ZONING RESOLUTION.

X I HAVE ATTACHED OR ENCLOSED A LIST OF NAMES AND ADDRESSES OF ALL PROPERTY OWNERS WITHIN, CONTIGUOUS TO OR ACROSS THE STREET FROM, AND OTHERS THAT MAY HAVE A SUBSTANTIAL INTEREST IN THE CASE, OF THE PROPERTY(S) FOR WHICH THIS APPLICATION IS SUBMITTED. ALSO, PROVIDED IS A SET OF ADDRESSED AND STAMPED PLAIN WHITE BUSINESS SIZE ENVELOPES FOR EACH NAME ON THIS LIST. UPDATED ENVELOPES WILL BE REQUIRED PRIOR TO THE TRUSTEE'S HEARING.

X I HAVE SUBMITTED APPLICABLE FEES, PER THE CURRENT MILLCREEK TOWNSHIP ZONING FEE SCHEDULE AND ACKNOWLEDGE THAT ADDITIONAL FEES WILL BE DUE FOR SUBSEQUENT PUBLIC HEARINGS IF I SO CHOOSE TO TABLE OR WITHDRAW THIS APPLICATION.


SIGNATURE OF OWNER(S)

KEVIN COOPERRIDER PROPERTY MGR
OWNER(S) NAME PRINTED OR TYPED

3/7/2017
DATE OF APPLICATION

INCOMPLETE APPLICATION FORMS WILL NOT BE PROCESSED

Do NOT WRITE BELOW THIS LINE -- FOR OFFICE USE ONLY

DATE RECEIVED: 3/21/17 COMPLETE APPLICATION: ☒ YES ☐ NO RECEIVED BY: Phil Hensley, Jan. Allen

TYPE OF PAYMENT: ☐ CASH ☒ CHECK NO. 116234916 AMOUNT: \$5,400 STAFF COMPLETING REVIEW: Phil Hensley

RPC HEARING DATE: 4/13/17 ACTION: ☐ APPROVED ☐ DENIED / ZC HEARING DATE: 4/18/17 ACTION: ☐ APPROVED ☐ DENIED

NOTES: _____ TRUSTEE HEARING DATE: _____ ACTION: ☐ APPROVED ☐ DENIED



LEGAL NOTICE

NOTICE OF PUBLIC HEARING

Millcreek Township Zoning Commission

Tuesday, April 18, 2017, 7:00 p.m.

Millcreek Township Hall

10420 Watkins Road

Marysville, OH 43040

The Millcreek Township Zoning Commission will hold a public hearing at 7:00 p.m. on Tuesday, September 20, 2016, to hear a proposal by Shelly Materials, Inc. for a zoning map amendment (rezoning) of 50 acres at 8328 Watkins Rd, parcel numbers 2500130230000, 2500130240020, 2500130270000 and 2500130280000 from the Farm/Residential District (U1) to the Excavation and Quarry District (EQ). The meeting will be held at the Millcreek Township Hall, located at 10420 Watkins Road, Marysville, OH 43040, and is open to the public. The regularly scheduled Millcreek Township Zoning Commission monthly meeting will immediately follow the public hearing. After conclusion of the public hearing, the matter will be submitted to the Millcreek Township Board of Trustees, who will provide public notice and also conduct a public hearing at a future meeting, prior to taking action. A copy of the proposed rezoning is available online at www.millcreektwpohio.us or in the Marysville Public Library.

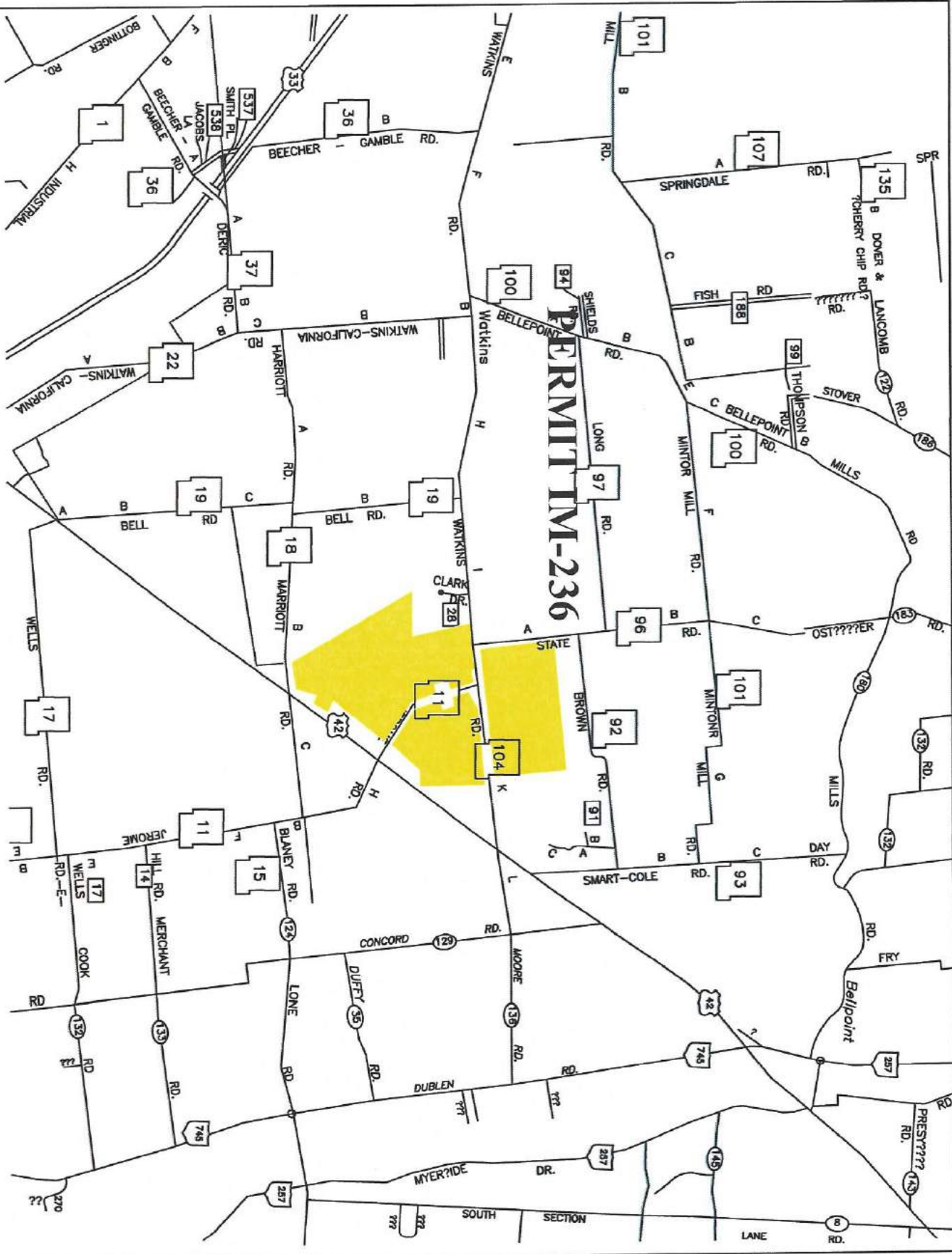
Phil Honsey

Zoning Administrator | Millcreek Township

(937) 644-3449 phone | zoning@millcreektwpohio.us

2017 Millcreek Zoning 50 Acre Contiguous Property Owner List

JR Touchstone LTD.	13275 US 42 Plain City, OH 43017
Conklin Dairy Farm	12939 US 42 Plain City, OH 43017
Hughes, Anita	12605 US 42 Plain City, OH 43017
Claas, David & Sandra	12533 US 42 Plain City, OH 43017
Millcreek Heritage Farms, LLC.	8086 Queen Palm LN. Apt 337 Fort Myers, FL 33966-6445
Bouic, Frank & Barbara	9404 Hinton Mill Rd. Ostrander, OH 43061
Thompson, Dwight & Beulah	13660 Jerome Rd. Ostrander, OH 43061
Ohio Edison Company	1040 S. Prospect St. Marion, OH 43302
Stewart, Melvin & Katzenbach, Nancy	18755 Pine LN. Marysville, OH 43040
Wellman, Lowell	11730 Lafayette Plain City Rd. Plain City, OH 43017



SHELL MATERIALS, INC. VICINITY MAP

SCALE: 1" = 1 mile, QUADRANGE: Shawnee Mills, Ohio: V. M. S.: 2998 & 3006; (T-3N, R-20W); U.T.M.G.C.: 445400mN, 312600mE, TOWNSHIP: Millcreek; COUNTY: Union; STATE: Ohio

MA-1

(S&M)

SHELLY MATERIALS, INC.
(S&M)

SHELLY MATERIALS, INC.
(S&M)

PARRY
DYSSEPILE
AREA

Water Monitoring Well

Stewart & N. Katzenbach
(S&M)

Shelly Materials Inc.
(S&M)

Shelly Materials Inc.
(S&M)

SP Property
(S&M)

Shelly Materials Inc.
(S&M)

Conklin Dairy Farms Inc.
(S&M)

Conklin Dairy Farms Inc.
(S&M)

David & Sonja Dean
(S&M)

Jerome Village Company LLC
(S&M)

SHELLY MATERIALS, INC.
Millcreek Zoning Amendment Map
ADMIN. Permit #M-235

WMS: 2008-03-008 (1:50,000) (1:50,000)
TOWNSHIP: Harrison COUNTY: Union
SCALE: 1" = 400' STATE: Ohio
DATE: 5/14/2012 CONTOUR INTERVAL: 5'

SHELLY MATERIALS, INC.
1771 HARRISON AVENUE
COLUMBUS, OHIO 43223
Phone: 614.437.2343
Fax: 614.444.7852



March 9, 2017

Phil Honsey
Millcreek Township Zoning Administrator
10420 Watkins Road
Marysville, Ohio 43040

Dear Mr. Honsey,

My interpretation of Section 6830 of the Millcreek Township Zoning Resolution is that the applicant to rezone can rezone land if it shows that the rezoning is necessary to continue an existing mining operation and will be commenced within three years of the application to rezone.

Shelly Materials, Inc. intends to begin mining of said land in the Spring of 2017.

Sincerely



Paul Rice, Attorney for Shelly Materials, Inc.

cc: Kevin Cooperrider, Shelly Materials, Inc.

Legal Description
35.000 Acres

Situated in the State of Ohio, Union County, Millcreek Township, Virginia Military Survey Number 3006, and being part of a 311.574 acre tract, conveyed to Shelly Materials, Inc. in Official record 504, Page 990, as recorded in the Union County Recorder's Office and being more particularly described as follows:

COMMENCING at a point in the intersection of U.S. Route 42 and Jerome Road (C.R. 18); Thence North 65 degrees 03 minutes 15 seconds West 104.60 feet to a point; Thence, North 55 degrees 54 minutes 52 seconds West 2108.26 feet to a point; Thence, North 34 degrees 05 minutes 08 seconds West 128.11 feet to the **TRUE POINT OF BEGINNING** for the parcel herein described:

Thence, across the grantor's tract, **North 55 degrees 42 minutes 20 seconds West, 69.54 feet** to a point;

Thence, across the grantor's tract, **North 48 degrees 30 minutes 16 seconds West, 86.19 feet** to a point;

Thence, across the grantor's tract, **North 24 degrees 35 minutes 02 seconds West, 92.51 feet** to a point;

Thence, across the grantor's tract, **North 46 degrees 49 minutes 35 seconds East, 148.57 feet** to a point;

Thence, across the grantor's tract, **North 10 degrees 10 minutes 25 seconds West, 259.34 feet** to a point;

Thence, across the grantor's tract, **North 52 degrees 04 minutes 54 seconds East, 625.91 feet** to a point;

Legal Description
35.000 Acres

Thence, across the grantor's tract, **North 20 degrees 02 minutes 01 seconds East, 377.38 feet** to a point;

Thence, across the grantor's tract, **North 83 degrees 49 minutes 31 seconds East, 238.82 feet** to a point;

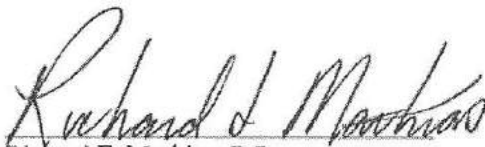
Thence, across the grantor's tract, **South 01 degrees 27 minutes 48 seconds East, 2092.96 feet** to a point;

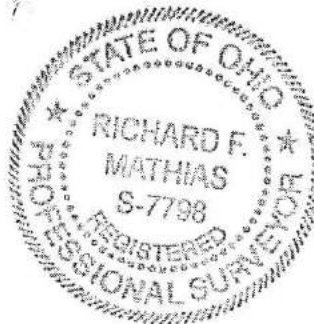
Thence, across the grantor's tract, **South 79 degrees 11 minutes 24 seconds West, 602.78 feet** to the **TRUE POINT OF BEGINNING**, containing 35.000 acres.

It is understood that the parcel of land described contains, 35.000 acres, more or less, in Union County Auditor's Parcel No. 2500130230000.

Description prepared from mapping provided by Shelly Materials for township zoning. This description is NOT based on a field survey by 2LMN, Inc.

Bearings based on assumed meridian to denote angles.


Richard F. Mathias, P.S.
Professional Land Surveyor No. 7798



3-10-17
Date

Legal Description
15.000 Acres

Situated in the State of Ohio, Union County, Millcreek Township, Virginia Military Survey Number 3006, and being part of a 311.574 acre tract, conveyed to Shelly Materials, Inc. in Official record 504, Page 990, as recorded in the Union County Recorder's Office and being more particularly described as follows:

COMMENCING at a point in the intersection of U.S. Route 42 and Jerome Road (C.R. 18); Thence North 65 degrees 03 minutes 15 seconds West 104.60 feet to a point; Thence, North 55 degrees 54 minutes 52 seconds West 524.00 feet to a point; Thence, South 34 degrees 05 minutes 08 seconds West 140.00 feet to a point; Thence, North 55 degrees 54 minutes 52 seconds West 175.00 feet to the **TRUE POINT OF BEGINNING** for the parcel herein described:

Thence, across the grantor's tract, **South 72 degrees 07 minutes 26 seconds West, 2686.75 feet** to a point;

Thence, across the grantor's tract, **North 57 degrees 54 minutes 15 seconds West, 329.22 feet** to a point;

Thence, across the grantor's tract, **North 24 degrees 17 minutes 17 seconds West, 138.02 feet** to a point;

Thence, across the grantor's tract, **North 78 degrees 07 minutes 33 seconds East, 2860.49 feet** to a point;

Thence, across the grantor's tract, **South 55 degrees 20 minutes 42 seconds East, 113.59 feet** to the **TRUE POINT OF BEGINNING**, containing 15.000 acres.

It is understood that the parcel of land described contains, 15.000 acres, more or less, in Union County Auditor's Parcel No. 2500130230000.

Legal Description
15.000 Acres

Description prepared from mapping provided by Shelly Materials for township zoning. This description is NOT based on a field survey by 2LMN, Inc.

Bearings based on assumed meridian to denote angles.

Richard F. Mathias

Richard F. Mathias, P.S.
Professional Land Surveyor No. 7798



3-10-17
Date

OHIO DEPARTMENT OF NATURAL RESOURCES
Division of Mineral Resources Management

☐ NEWAPPLICATION

☒ RENEWAL APPLICATION

**Surface Industrial Mineral Mining Permit Application
Cover Sheet**

To Be Completed and Submitted by the Applicant

I, RAYMOND J. BEACH, GEOLOGIST, on behalf of SHELLY MATERIALS, INC.

do hereby submit a Surface Industrial Mineral Mining Permit Application including all required attachments as indicated on page 2 of the application cover sheet. All information and data provided in this application, maps and attachments thereto are true and correct to the best of my knowledge. Comments made or questions about this application are to be directed to me, at the address and phone listed below:

Signed: 

Address: 4378 MAHONING AVENUE, P. O. BOX 4620

City, State, Zip: YOUNGSTOWN, OHIO 44515

Phone: 330-792-2271

Fax: 330-792-2271

Email: rjb0601@aol.com

RECEIVED

JAN 16 2008

DIVISION OF MINERAL
RESOURCES MANAGEMENT

RECEIVED

DEC 19 2007

DIVISION OF MINERAL
RESOURCES MANAGEMENT

OPERATOR

OHIO DEPARTMENT OF NATURAL RESOURCES
Division of Mineral Resources Management

Surface Industrial Mineral Mining Permit Application

FOR DIVISION USE ONLY:

Date Received: JAN. 16, 2008
Application No: IM-0236-3
Region: West
Permit Number: IM-0236

APPLICANT Information

1. Name of Applicant: SHELLY MATERIALS, INC.

Mailing Address: P. O. BOX 266

City: THORNVILLE, State: OHIO Zip Code: 43076

Business Telephone: 740.246.1154 Fax Number: 740.246.3154 E-mail: swilson@shellyco.com

Federal Tax ID#

2. Business Structure:

☐ Sole Proprietorship ☐ Partnership ☒ Corporation ☐ Other:

3. List the names of owners, partners, all corporate officers, directors or other persons who have a right to control or in fact control the management of the applicant or the selection of officers, directors or managers of the applicant (If additional persons are to be shown, please list on a separate sheet)'.
Name: DANIEL J. MONTGOMERY
Title: PRESIDENT
Address: 80 PARK DRIVE, P. O. BOX 266
City: THORNVILLE, State: OHIO Zip: 43076

Name: DOUGLAS RADABAUGH
Title: CFO
Address: 80 PARK DRIVE, P. O. BOX 266
City: THORNVILLE, State: OHIO Zip: 43076

Name: JOHN J. POWERS
Title: VICE PRESIDENT
Address: 80 PARK DRIVE, P. O. BOX 266
City: THORNVILLE, State: OHIO Zip: 43076

Name: TY NOFZIGER
Title: VICE PRESIDENT
Address: P. O. BOX 3100
City: FINDLAY State: OHIO Zip: 45840

This application is hereby ☒ approved, ☐ disapproved by the Chief, Division of Mineral Resources Management.

Date: JANUARY 17, 2008 Signed: [Signature]
Chief, Division of Mineral Resources Management

D. Seal intercepted underground mines.

NA

GROUNDWATER MODELING Information

☒ If Renewal, mark "X" and skip to question 26.

25. Will you be pumping and discharging water to facilitate mining?

☐ Yes, ☐ No If "yes," submit groundwater modeling attachment(s) as outlined in the Operator's Guidelines. Section 1514.02(A)(16) of the Revised Code requires that an applicant submit a compilation of data in a form that is suitable to conduct ground water modeling to establish a projected cone of depression.

RECLAMATION PLAN & SCHEDULE

26. For each mining area, specifically identify the future intended land use and fully describe the sequence of steps that will be used to prepare the land for its future intended use. Also describe steps that will be taken to achieve soil stability, prevent landslides, erosion and sedimentation. Be specific in addressing the use of overburden, backfilling, grading, terracing, contouring, degree of final slopes and any other related activity.

The future intended land use for both previously indicated mining areas will be the same and consist of leaving the final highwalls for containment of the water in the proposed two (2) impoundments (possibly backfilling some highwalls), constructing berms above the final highwalls for safety purposes with slopes of 3:1 or less, grading all other areas above the final highwalls that were disturbed by mining to 3:1 slopes also, resoiling and seeding these same areas with grasses and legumes for pasture purposes. Mulching and diversion ditches will be applied/installed if necessary in order to prevent landslides, erosion and sedimentation.....and achieve soil stability.

27. Identify and describe the anticipated timeframe between the completion of mining in an area and the completion of all grading and planting.

A. Will grading, resoiling and planting be completed within one year following the completion of mining in an area? ☐ Yes, ☒ No If "no," describe the reason for requesting additional time.

THE DESIGNATED MINING AREAS (#1 & #2) ARE TOO LARGE FOR COMPLETION OF THE BACKFILLING OF SOME OF THE HIGHWALLS, GRADING ALL DISTURBED AREAS & RESOILING & PLANTING THESE AREAS TO COMPLETION WITHIN ONE (1) YEAR AFTER COMPLETION OF MINING. HOWEVER, THE AFOREMENTIONED RECLAMATION SHOULD BE COMPLETED WITHIN TWO (2) YEARS AFTER COMPLETION OF MINING IN THE DESIGNATED AREAS UNLESS WEATHER CONDITIONS DELAY PROCEDURES EVEN FURTHER.

B. Will permanent planting be completed immediately following any required grading and resoiling of an area affected, or during the next growing season following resoiling?

☒ Immediately following grading and resoiling

☐ During next growing season

If "during next growing season," describe the reason for requesting additional time.

C. Will permanent vegetation be established and maintained for two (2) growing seasons following planting? ☒ Yes, ☐ No If "no," describe the reason for requesting additional time. NA

- D. Will ALL reclamation requirements be completed within three years following the completion of mining in an area? ☒ Yes, ☐ No If "no," describe the reason for requesting additional time.

28. Will permanent impoundments be left following mining and reclamation? ☒ Yes, ☐ No If ((yes," complete the table below, including information for all proposed permanent impoundments. Add additional sheets if necessary.

	Impoundment #1	Impoundment #2	Impoundment #3
Estimated elevation of high water mark in ft/msl	940' msl	950' msl	
Estimated Surface Area	160 ACRES	60 ACRES	
Estimated Average Depth	70'	80'	
Estimated Maximum Depth	100'	95'	
Is the Impoundment Designed to Discharge ¹	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> No
Primary Water Source: Ground or Surface Water	GROUNDWATER	GROUNDWATER	

¹ For EACH impoundment designed to discharge water into a stream or other drainage area, the applicant MUST complete a **Pond/impoundment Design**. Also, impoundments designed to discharge may require NPDES permits from the Ohio Environmental Protection Agency. The issuance of a surface mining permit does NOT exempt operators from obtaining all other necessary state and federal permits.

29. Describe all measures that you will take to prevent contamination of water in each of the impoundments described above.

SURFACE WATER RESULTING FROM MINING WHICH CONTAINS SUBSTANCES IN AMOUNTS OR CONCENTRATIONS THAT ARE HARMFUL TO PERSONS, AQUATIC LIFE, ETC. WILL BE PREVENTED FROM FLOWING INTO THE IMPOUNDMENTS. FREQUENT INSPECTIONS OF ON-SITE EQUIPMENT & ANY FUEL TANKS WILL BE MADE SO THAT LEAKS OR ACCIDENTAL SPILLS WILL BE PREVENTED FROM ENTERING THE IMPOUNDMENTS.

30. A. What measures will you take upon completion of mining and reclamation to restrict access where access is not required by the intended future use of the impoundment?
 "DANGER/NO TRESPASSING" SIGNS WILL BE POSTED AT FREQUENT INTERVALS COMPLETELY AROUND THE IMPOUNDMENTS. WHERE DETERMINED NECESSARY, EARTHEN BERMS & FENCING WILL BE USED TO RESTRICT ACCESS TO THE IMPOUNDMENTS.
- B. What measures will be taken to provide for safe and adequate egress from the impoundment?
 SLOPES OF THE BERM OR OVERBURDEN DOWN TO THE TOP OF BEDROCK OR HIGHWALL WILL BE CONSTRUCTED & MAINTAINED AT 3:1 OR LESS TO FACILITATE EGRESS FROM THE IMPOUNDMENTS....OR INGRESS. AN EXISTING RAMP NEAR THE SOUTHWEST CORNER OF MINING AREA #1 WILL BE MAINTAINED AT 3:1 FOR ACCESS IN & OUT OF THE PIT AREA.

31. Will highwalls be included in the final land form? ☒ Yes, ☐ No If "yes," applicants must provide the following information.

A. Estimated proposed height of final highwall (in feet): 90' TO 105'

B. If an impoundment is the proposed final land form, what will be the maximum height of exposed highwall above the high water mark of the impoundment?

20'

- C. Describe in detail, the specific practices that will be employed to stabilize all remaining highwalls. Include information about the site-specific geological formation.

Blasting will be reduced when approaching the final highwall(s) so fracturing of same will be kept to a minimum. Any loose/fractured rock occurring on the final highwall(s) face(s) will be removed. Blasting procedures will be adjusted by pre-splitting holes two (2) to three(3) feet apart when approaching the final highwall which should result in a smooth and safe highwall.

- D. What provisions will be made to provide for public safety and to restrict access to highwalls from above and provide egress from the pit area?

BERM(S) WILL CONSTRUCTED ABOVE THE FINAL HIGHWALL(S) & FENCING WILL BE INSTALLED IF NECESSARY TO RESTRICT ACCESS TO THE HIGHWALL(S) AS APPROACHED FROM ABOVE. THE EXISTING RAMP AT THE SOUTHWEST CORNER OF THE MINING AREA #1 WILL BE MAINTAINED AT 3:1 IN ORDER TO PROVIDE EGRESS FROM THE PIT AREA.....OR INGRESS INTO SAME.

RESOILING/REPLANTING PLAN

32. What material(s) will be used for resoiling upon completion of mining?

Check All That Will Be Used	Material	Average Depth on Permit Area	Depth to be Redistributed for Reclamation
<input checked="" type="checkbox"/>	TOPSOIL	TWO (2) FEET	COMBINATION OF SIX (6) INCHES TOP & SUBSOIL
<input checked="" type="checkbox"/>	SUBSOIL	EIGHT (8) FEET	COMBINATION OF SIX (6) INCHES TOP & SUBSOIL
<input type="checkbox"/>	SUBSTITUTE* <i>Specify below</i>	NA	NA

*If sufficient quantities of topsoil and subsoil do not exist for reclamation, specify what substitute resoiling material will be utilized to insure successful reclamation of the site? (*Identify stratum or mixture to be utilized and include evidence that the substitute resoiling material will support vegetation capable of self-regeneration and plant succession, including a standard soil test analysis.*)

NA; SUFFICIENT QUANTITIES OF TOP & SUBSOIL EXISTS WITHIN THE PERMIT AREA FOR RECLAMATION PURPOSES.

33. Describe the plan for redistribution of topsoil and/or subsoil on all graded areas. Be specific.

THE TOP & SUBSOIL WILL BE REMOVED, STORED & REDISTRIBUTED WITH THE DOZERS & HIGHLIFTS. THE SOILS WILL BE STORED IN THE FORM OF BERMS ALONG THE PERIMETER OF THE PERMIT (& SEEDED WITH FAST GROWING ANNUAL GRAINS/GRASSES) FOR PREVENTION OF EROSION, SEDIMENTATION & CONTAMINATION. AT LEAST 6" OF A COMBINATION OF TOP/SUBSOIL WILL BE REDISTRIBUTED OVER ALL GRADED AREAS & AGAIN SEEDED IMMEDIATELY WITH FAST GROWING ANNUAL GRAINS/GRASSES.

34. Describe how the seedbed will be prepared, planted and protected. (Include- equipment, lime and fertilizer to be used per soil test results, moisture retention and erosion control methods to be employed.)

THE TOPSOIL WILL BE DISCED/HARROWED IF NECESSARY. LIME AND FERTILIZER WILL BE ADDED IN AMOUNTS AS DETERMINED BY SOIL TESTS. MULCHING/DIVERSION DITCHES WILL BE APPLIED/BUILT IF NECESSARY IN ORDER TO CONTROL EROSION AND SEDIMENTATION, AND ENHANCE MOISTURE RETENTION.

35. Identify the species and the amount of grasses, legumes and nurse crops that will be planted to vegetate areas affected by the surface mining operation:

RECLAMATION PLANTING LIST

GRASSES (specify a minimum of 2 species)	Pounds Per Acre to be Planted
KENTUCKY 31 FESCUE	30 #/AC.
PERENNIAL RYE GRASS	25 #/AC.
LEGUMES (specify a minimum of 2 species)	Pounds Per Acre to be Planted
RED CLOVER	6 #/AC.
ALFALFA	8 #/AC.
NURSE CROPS (fast growing species to establish quick cover)	Bushels/Pounds Per Acre to be Planted
OATS	64 #/AC.
TREES (list species)	Seedlings Per Acre to be Planted
NONE.	NA
OTHER (Agricultural crops, Wildlife Species, etc.)	Seeding/Planting Rate
NONE.	NA

Signature Page and Statement of Accuracy

ALL INFORMATION AND DATA PROVIDED IN THIS APPLICATION, ANY APPLICABLE EXHIBITS AND ATTACHMENTS THERETO ARE TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE.

Signed on this 14th day of December, 2007

Signed: John Powers (JPP)

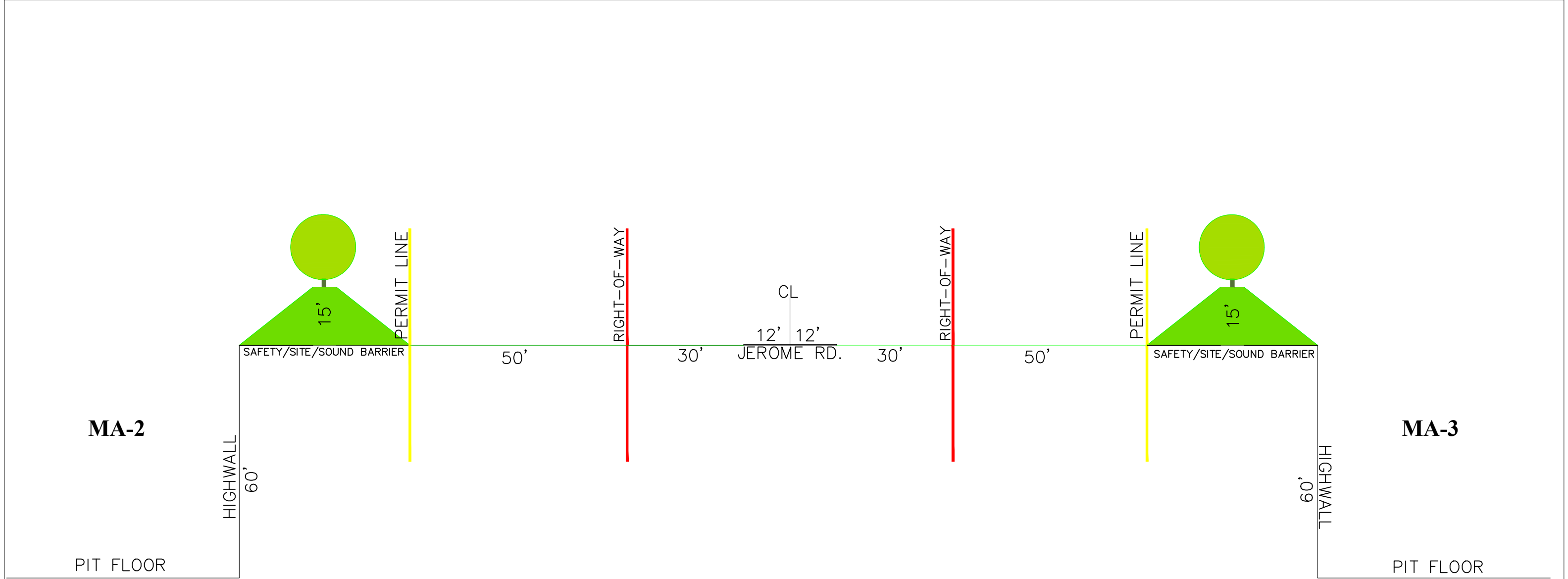
Printed Name and Title: JOHN POWERS, EXECUTIVE VICE PRESIDENT

Submit three (3) copies of any new surface mining permit application with at least one containing all necessary original signatures to:

Ohio Department of Natural Resources
Division of Mineral Resources Management
Permitting Section
2045 Morse Road, Building H-3
Columbus, OH 43229-6693

New permit applications forwarded directly by the applicant to the DMRM regional office(s) will result in a delay in the review and processing of the application.

Renewal permit applications should be submitted in triplicate to the appropriate regional office.



Notes:

- ALL Safety/Site/Sound Barriers Will Have Manicured Grass Within A Reasonable Time Frame Of Barrier Completion.
- Safety/Site/Sound Barriers Will Have Flowering Trees Planted Every 50' On Center, On Top Portion Of Barrier.
- Safety Signs Will Be Placed Every 400' On Center, On ALL Safety/Site/Sound Barriers.

LANDSCAPE PLAN		
SHELLY MATERIALS, INC. OSTRANDER OPERATION		
SCALE N/A	DATE DRAWN 8/1/2016	DRAWN BY: KEC



Appalachian Mining &
Engineering, Inc.



Geolab Materials
Testing

February 24, 2017

Mr. Ted DiNardo, *Manager*
Shelly Materials Company
6305 Saltillo Road
State Route 345
East Fultonham, Ohio 43735

***Re: Tunneling Beneath Jerome Road/County Road 11 - Union County at the
Ostrander Surface Quarry***

Dear Mr. DiNardo,

The Shelly Materials Company (**Shelly**) desires to access an unmined surface reserve that is located in Union County, Ohio across Jerome Road/County Road 11 from the existing Ostrander quarry. The plan is tunnel beneath Jerome Road/County Road 11 with three tunnels 30-foot to 35-foot wide. The three tunnels are a loaded truck header, an empty truck header, and a service truck header to separate the traffic. The service truck header is the only header with two way traffic. It is 35-feet wide while the haul roads are 30-feet wide. The proposed layout is shown in Figure 1.

The objectives of this analysis are to;

1. Identify a back horizon for the three tunnels,
2. Quantify the stability of the back horizon, and
3. Specify the type, length, bolt diameter, and spacing of the back support.

Four core holes C-1, C-2, C-3, and C-4 were drilled on either side of the proposed tunnels to determine the appropriate tunnel back horizon and to obtain rock for strength and physical property testing. A brown limestone stratum was selected as the back horizon. The brown limestone is shown in photographs 1, 2, 3, and 4.

A standard height of 23-feet was selected for the tunnels as this is sufficient to pass haul trucks and wheel loaders between both sides of the quarry. The height allows the floor elevation of the tunnel portals to be 4.2-feet to 6.3-feet above the existing pit

**116 Dennis Drive • Lexington, Kentucky 40503
(859) 263-8899 • Fax (859) 263-0655**

floor. Table 1 is a summary of the back elevation, floor elevation, and core hole locations.

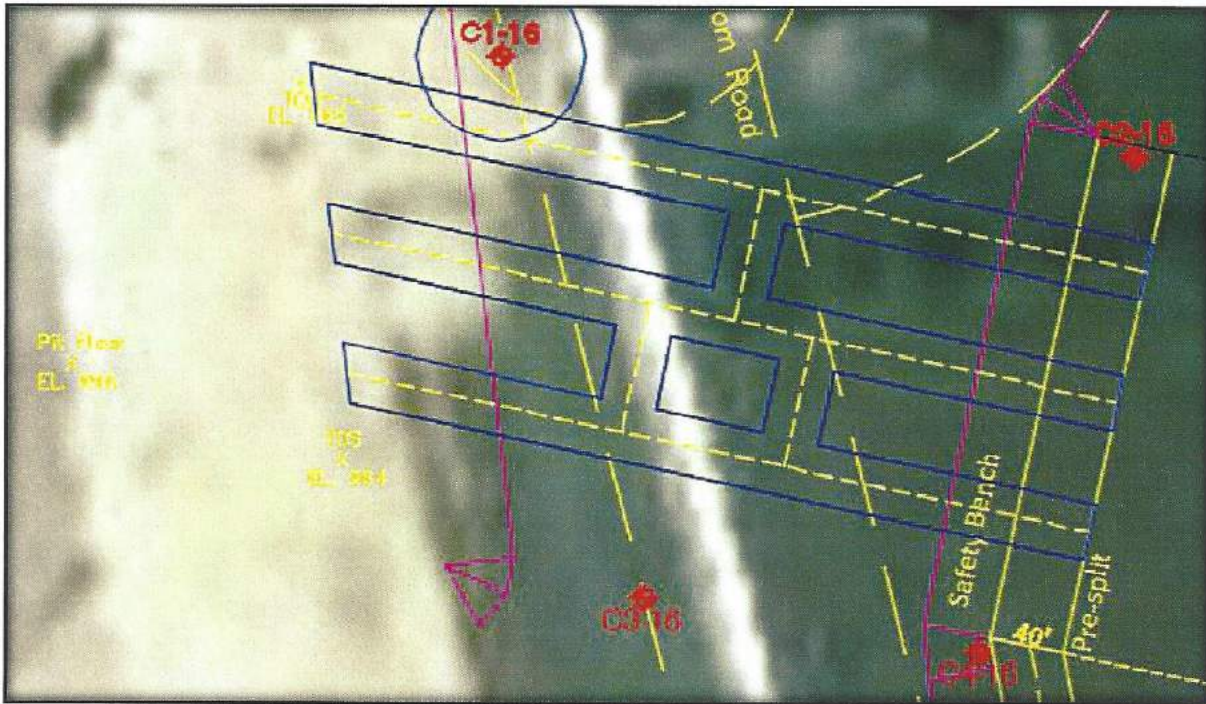


Figure 1. Layout of the Three Tunnels Beneath Jerome Road/County Road 11.

Table 1. Summary of Tunnel Elevations and Core Hole Locations

Ostrander Tunnels Beneath Union County Road 11 - Jerome Road NAD 83 - Ohio North Zone 3401								
Core Hole	Northing (feet)	Easting (feet)	Collar Elevation (feet)	Overburden		Back Elevation (feet)	Floor Elevation (feet)	Tunnel Height (feet)
				Floor (feet)	Back (feet)			
C 1-16	199,152.577	1,773,616.736	977.997	77.8	54.8	923.2	900.2	23.0
C 2-16	199,100.084	1,773,951.564	979.804	77.5	54.5	925.3	902.3	23.0
C 3-16	198,867.488	1,773,692.564	976.218	74.0	51.0	925.2	902.2	23.0
C 4-16	198,838.871	1,773,869.610	977.360	76.7	53.7	923.7	900.7	23.0
Pit Floor			896.000					

Back Stability Calculations

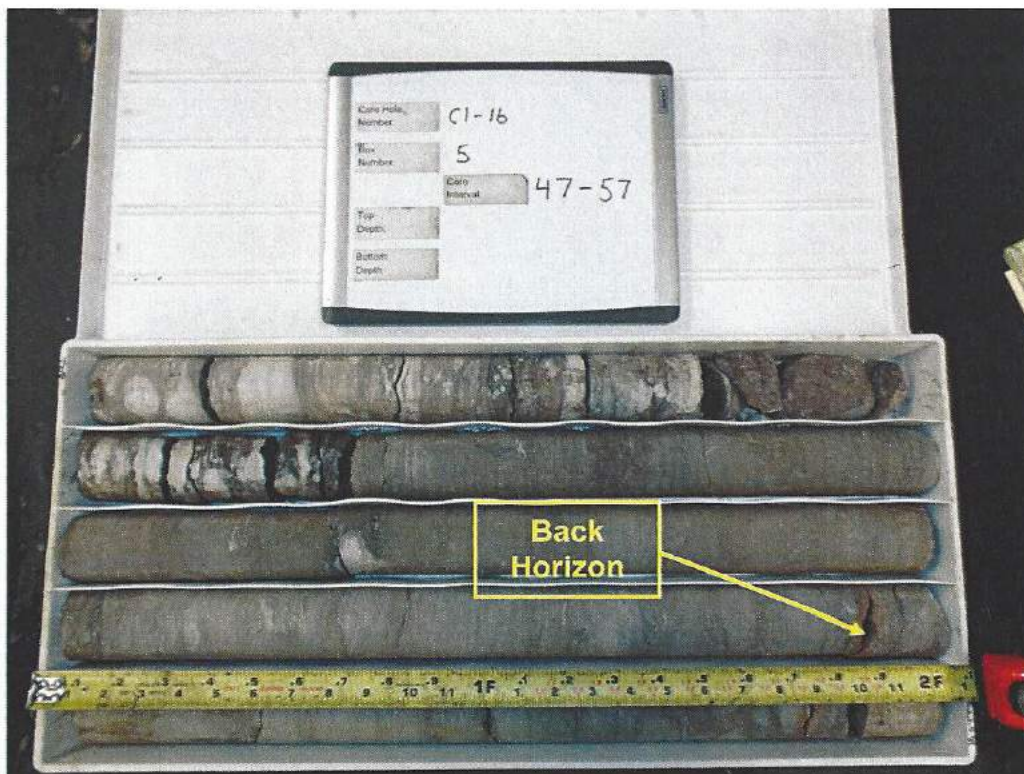
The back stability is dependent on the distance a given stratum can span across the mine opening or void space. The brown limestone is the most competent layer above the existing pit floor based on fracture spacing. This stratum acts as a beam spanning across the headers in tunnels 1 and 3 and in the crosscuts between tunnel 2 and tunnels 1 and 3. Under shallow overburden where the overburden pressure is

lower as it is in the proposed tunnels, the simply supported beam equation is used with the assumption that the ends of the beam are free to move or slide along the interface between adjacent beds¹. The rock strength and physical property values on which the beam safety factor results are based are provided at the end of the report in Appendix I. The simply supported beam equation is shown below.

$$\sigma_{\max} = \frac{3wL^2}{4t^2} \quad \text{Eq. 1}$$

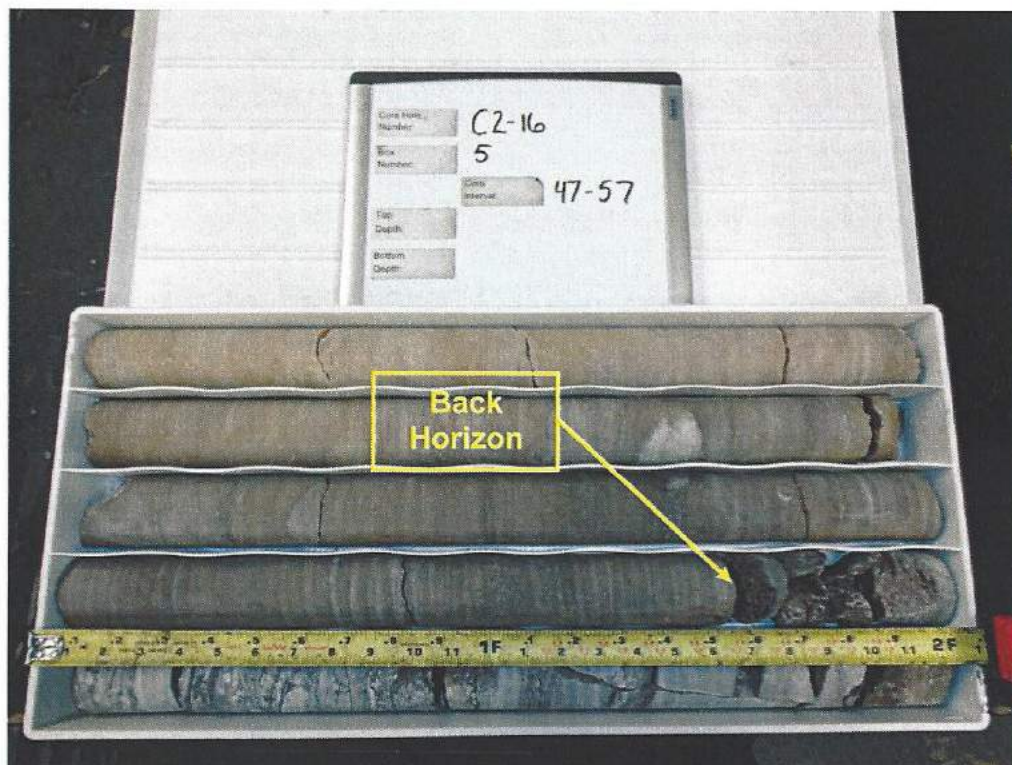
Where:

w = γt
t = beam thickness (ft),
g = rock density (lb/ft³),
L = span width (ft), and
 σ_{\max} = tensile strength (lb/in²)



Photograph 1. Tunnel Back Horizon - Core Hole C-1

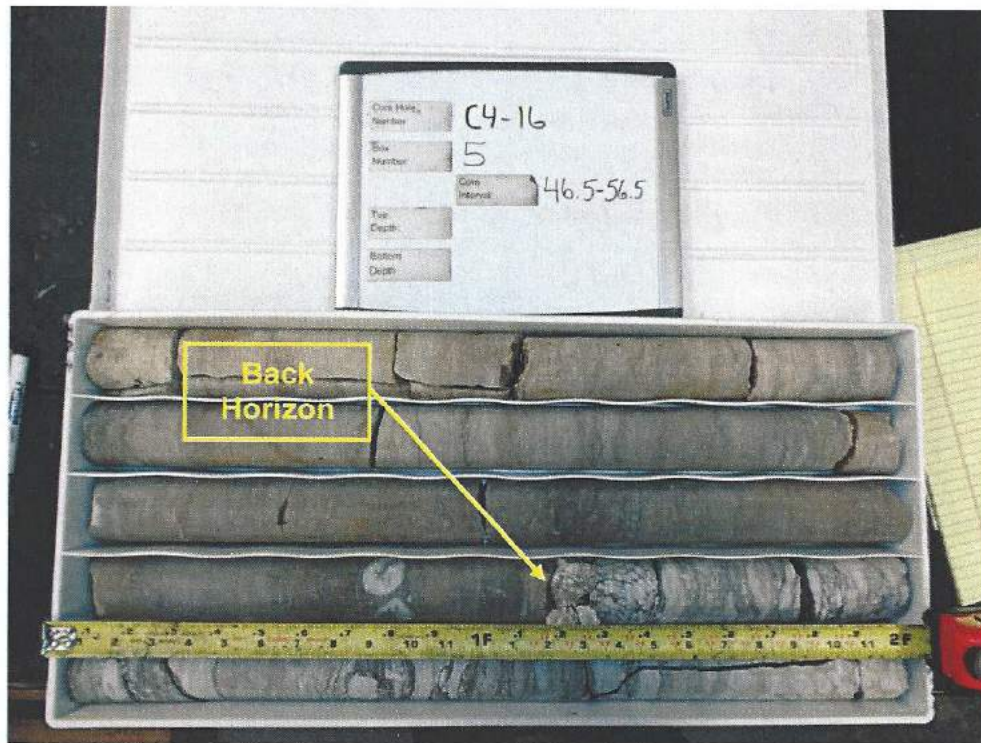
¹ Peng, S.S. (1978), Coal Mine Ground Control, John Wiley & Sons, New York, N.Y., p. 124.



Photograph 2. Tunnel Back Horizon - Core Hole C-2



Photograph 3. Tunnel Back Horizon - Core Hole C-3



Photograph 4. Tunnel Back Horizon - Core Hole C-4

The safety factor can be written as the ratio of the resisting stress (tensile strength)/driving stress ($3wL^2/4t^2$) as shown in equation 2.

$$\left\{ \frac{\sigma_{\max} * 144 \text{ in}^2 / \text{ft}^2 * 4t^2}{3wL^2 * \text{SF}} \right\}^{1/2} \quad \text{Eq. 2}$$

The simply supported beam safety factors divided by borehole and consequently by the variation in limestone thickness, tensile strength, and density are illustrated in Table 2. The threshold for short-term and long-term safety factors is 4 and 8 respectively based on the recommendation of Obert-Duvall². A safety factor of 1.0 demonstrates the widest span of the brown limestone possible for a given area. It is clear from examining Table 1 that a 30-foot opening width provides long-term stability for all core holes except C-3 where the limestone beam is 4.00-feet. Supplementary

² Obert, L. and Duvall, W.I. (1967), Rock Mechanics and the Design of Structures in Rock, John Wiley & Sons, New York, N.Y., p. 490/

support in the form of fully grouted roof bolts is recommended to ensure long-term stability in all areas including the area around core hole C-3.

The recommended back support is a 7.0-foot long, #7 bar (0.875-inch), Grade 60 steel, fully grouted roof bolt installed on 5-foot centers with 6-inch x 6-inch x 1/4-inch domed plates and spherical seat washers. A 7.00-foot beam is shown in Table 3 to reflect the 7.00-foot long roof bolts. It is noted that the 7.00-foot beam is relevant only for core holes C-3 and C-4 as the brown limestone is thicker than 7.00-feet in the other two core holes. However, the fully grouted roof bolts provide a 7.00-feet composite beam as any bedding planes are integrated together.

Table 2. Simply Supported Beam Safety Factors and Maximum Roof Span at Safety Factors of 1.00, 4.00, and 8.00 for Unsupported Roof

Shelly Materials - Ostrander Quarry						
Tunnel Roof Stability in the Overburden at the Ostrander Mine Tunneling Beneath Jerome Road/County Road 11 Simply Supported Beam Lengths at Various Safety Factors						
Borehole Number	Brown Limestone Thickness (feet)	Rock Density (lb/ft³)	Tensile Strength (lb/in²)	Maximum Roof Span for a S.F. = 1.00	Maximum Roof Span for a S.F. = 4.00	Maximum Roof Span for a S.F. = 8.00
C-1	7.30	163.9	885	87	43	31
C-2	7.51	165.0	1,285	106	53	37
C-3	4.00	163.2	1,097	72	36	25
C-4	6.20	162.1	1,020	87	43	31

Table 3. Simply Supported Bolted Beam Safety Factors and Maximum Roof Span at Safety Factors of 1.00, 4.00, and 8.00 for Roof Supported by 7-Foot Long Roof Bolts

Shelly Materials - Ostrander Quarry						
Tunnel Roof Stability in the Overburden at the Ostrander Mine Tunneling Beneath Jerome Road/County Road 11 Simply Supported Beam Lengths for 7-Foot Bolted Roof at Various Safety Factors						
Borehole Number	Bolted Roof Thickness (feet)	Rock Density (lb/ft³)	Tensile Strength (lb/in²)	Maximum Roof Span for a S.F. = 1.00	Maximum Roof Span for a S.F. = 4.00	Maximum Roof Span for a S.F. = 8.00
C-1	7.00	163.9	885	85	43	30
C-2	7.00	165.0	1,285	102	51	36
C-3	7.00	163.2	1,097	95	48	34
C-4	7.00	162.1	1,020	92	46	33

Recommendations and Conclusions

The brown limestone that is present in the overburden immediately above the existing pit floor should provide a competent stratum for the immediate back of the three proposed tunnels beneath Jerome Road/County Road 11. The limestone is present in all four core holes (C-1, C-2, C-3, and C-4) and is at a distance of between 47-feet and 57-feet from the core hole collar.

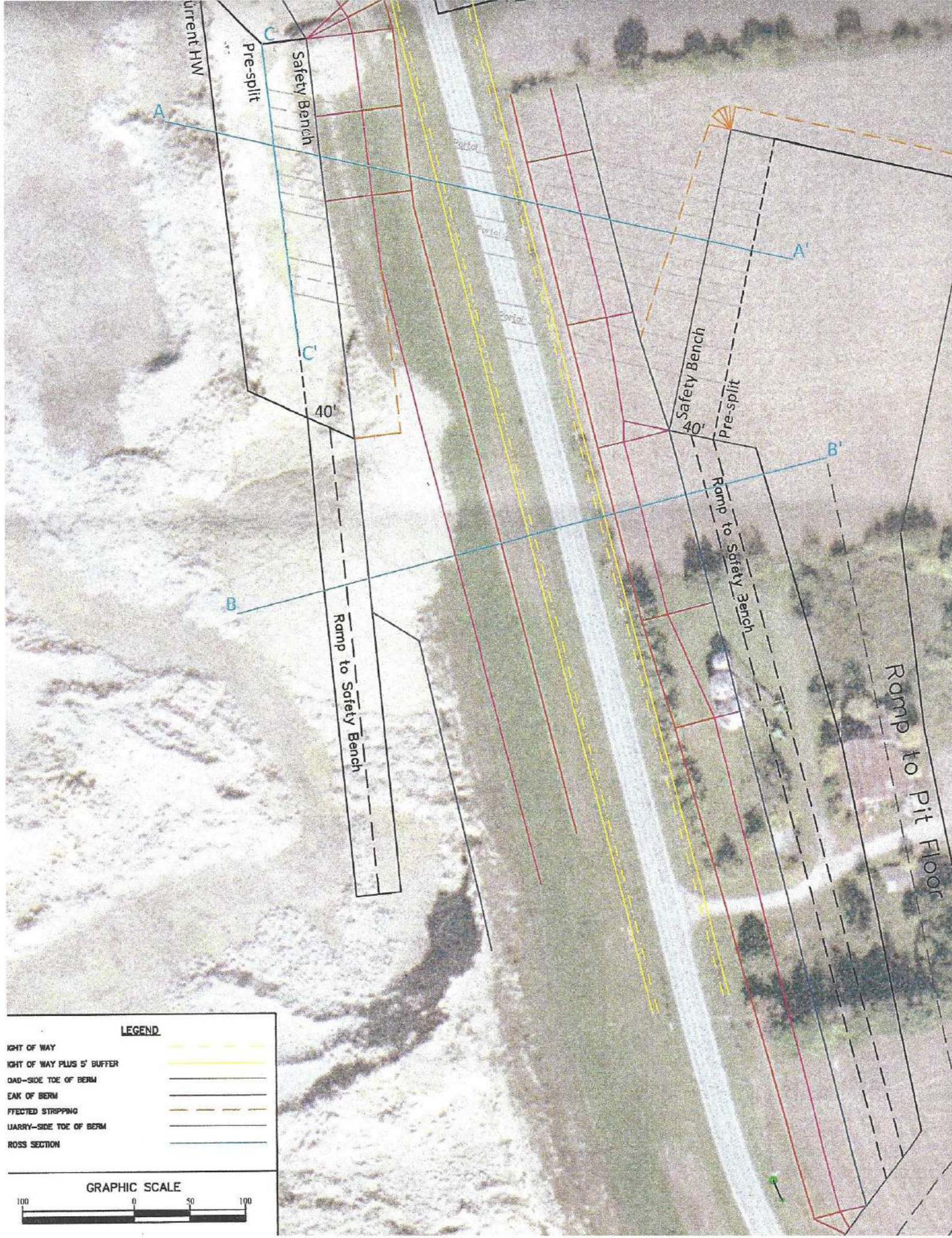
- ⇒ *The brown limestone strata must be roof bolted using 7.0-foot long, #7 bar (0.875-inch) diameter, Grade 60 steel, fully grouted roof bolts installed on 5-foot centers with 6-inch x 6-inch x 1/4-inch domed plates and spherical seat washers.*
- ⇒ *The roof bolts should be installed as soon as the shot is mucked and scaled to ensure the back does not have the opportunity to sag or deform.*
- ⇒ *The tunnel width that provides long-term stability ranges between 30-feet and 36-feet as shown in Table 3. It is recommended that a 30-foot tunnel and crosscut be used in the truck haul roads with a 35-foot wide tunnel in the service road.*
- ⇒ *The floor elevation of the tunnel should be maintained above that of the adjacent pit floor to prevent water from entering the tunnels.*
- ⇒ *Positive drainage to a ditch line should be established on one side of each tunnel to permit water dripping from the roof to be collected and diverted from the haul road.*
- ⇒ *At the conclusion of surface mining and/or the end of the service life of the tunnels, the long-term stability of the tunnels should be monitored using extensometers installed at the edge of the shoulder on either side of Jerome Road/County Road 11 and in the center of the road. It is recommended that extensometer monitors be set in the tunnels on 100-foot centers and in the intersections between the tunnels and the crosscuts. The extensometers should be capable of being remotely read. Alternatively, the tunnels could be backfilled with rock to within 4-feet of the back long-term monitoring would be required.*

Ted, let me know if you, Tom, Mike, or others have any questions regarding the tunnels and the stability calculations.

Sincerely,
Appalachian Mining & Engineering, Inc.

A handwritten signature in black ink, appearing to read "David Newman", written in a cursive style.

David Newman Ph.D., P.E.
President



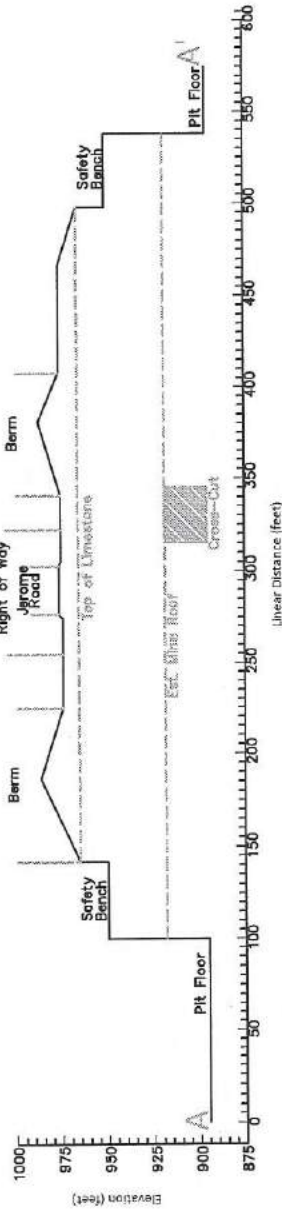
LEGEND

- RIGHT OF WAY
- RIGHT OF WAY PLUS 5' BUFFER
- ROAD-SIDE TOE OF BERM
- PAVEMENT
- PROPOSED STRIPPING
- ROAD-SIDE TOE OF BERM
- ROAD SECTION

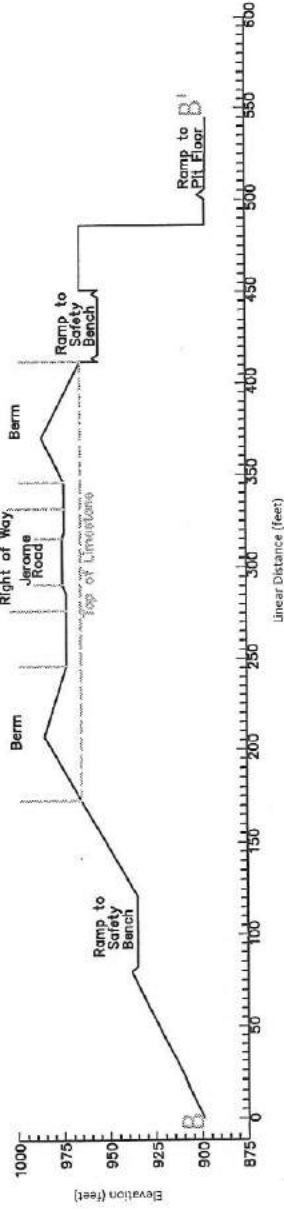
GRAPHIC SCALE



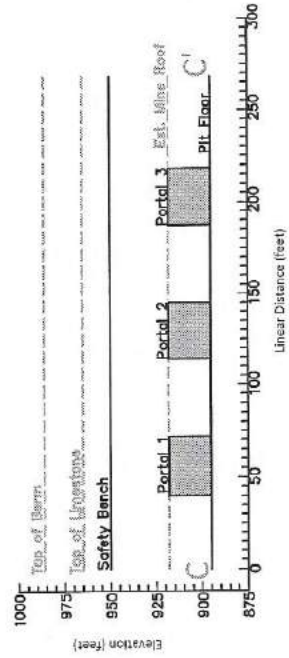
Cross Section A-A'



Cross Section B-B'



Cross Section C-C'



THE SHELLY COMPANY
 OSTRANDER QUARRY
 Portal Project
 Cross Sections
 Date: 2-13-17
 SCALE: 1"=100' (8.5x11)

Ohio Edison

Haul Road Crossing (TA-14)

Jerome Rd. (CR-11)

Haul Road

See Note 1 & 2



See Note 3

Temporary
pavement
crossing
marking



Type "B"
Flasher
Lights

Note 1:



Note 2:

Proceed
With
Caution
Sign

Note 3:

Temporary
Lighting



Shelly Materials Inc.

ROW

SHelly MATERIALS, INC.
Temporary Crossing Drawing
Jerome Rd. Tunneling Project

MEMORANDUM OF AGREEMENT

THIS MEMORANDUM OF AGREEMENT dated as of this 26th day of January, 2017, by and between Shelly Materials, Inc., an Ohio corporation, whose address is 80 Park Drive, P.O. Box 266, Thornville, Ohio 43076 ("Shelly"), and Dwight and Beulah Thompson, husband and wife, whose address is 13660 Jerome Road, Ostrander, Ohio 43061 ("Thompsons").

WITNESSETH:

That in consideration of the royalties, covenants, and conditions more particularly set forth in that certain Agreement dated 26th day of January, 2017, between Shelly and Thompsons (the "Agreement"), Shelly and Thompsons do hereby covenant, promise and agree as follows:

1. **Setback Area.** Shelly owns certain tracts of land, more particularly known as parcel numbers 2500130200010, 2500130280000, and 2500130270000 located in Millcreek Township, Ostrander, Union County, Ohio (hereinafter referred to as the "Premises"). The setback area on the Premises is currently set at 275' feet for parcel 2500130200010 and 500' feet for parcels 2500130280000 and 2500130270000. Shelly seeks approval from Thompsons per Section 666 (1) of the Millcreek Township Zoning Resolution to move the setback area to 100' feet from the Thompsons' property line (hereinafter referred to as "Setback Area"). Thompsons hereby approve the request from Shelly to move the Setback Area on the Premises to 100' feet. Thompsons agree to execute any and all documents from any governmental agency relating to the approval of the Setback Area. Thompsons understand and agree that on the west side of Jerome road, there will be drilling and blasting performed up to the Setback Area

2. **Description of Setback Area.** The description of the Setback Area on the Premises is set forth on **Exhibit A** attached hereto.

3. **Effect of Memorandum.** The sole purpose of this instrument is to give notice of the Agreement and its terms, covenants and conditions to the same extent as if the Agreement were fully set forth herein. This Memorandum of Agreement shall not modify in any

manner the terms, conditions or intent of the Agreement and the parties agree that this Memorandum of Agreement is not intended nor shall it be used to interpret the Agreement or determine the intent of the parties under the Agreement.

IN WITNESS WHEREOF, the parties hereto have executed this Memorandum of Agreement as of the day and year first written above.

SHELLY MATERIALS, INC.

By: [Signature]

Its: VICE PRESIDENT

[Signature]
Dwight Thompson

[Signature]
Beulah Thompson

STATE OF OHIO :
COUNTY OF Union : SS
:

The foregoing instrument was acknowledged before me this 26th day of January, 2017 by TED Lemmon, a duly authorized representative of Shelly Materials, Inc., on behalf of Shelly Materials, Inc.



DONNA ROOF SUAIN
NOTARY PUBLIC - OHIO
My Commission Expires

February 24, 2021

[Signature]
NOTARY PUBLIC

STATE OF OHIO

:

: ss.

COUNTY OF Union

:

The foregoing instrument was acknowledged before me this 26th day of January, 2017 by Dwight Thompson, who acknowledged the signing of the foregoing Agreement to be his voluntary act and deed.



CHRISTINE M. MILLS
NOTARY PUBLIC
STATE OF OHIO
Recorded in
Union County
My Comm. Exp. 9/27/17

Christine M. Mills
NOTARY PUBLIC

STATE OF OHIO

:

: ss.

COUNTY OF Union

:

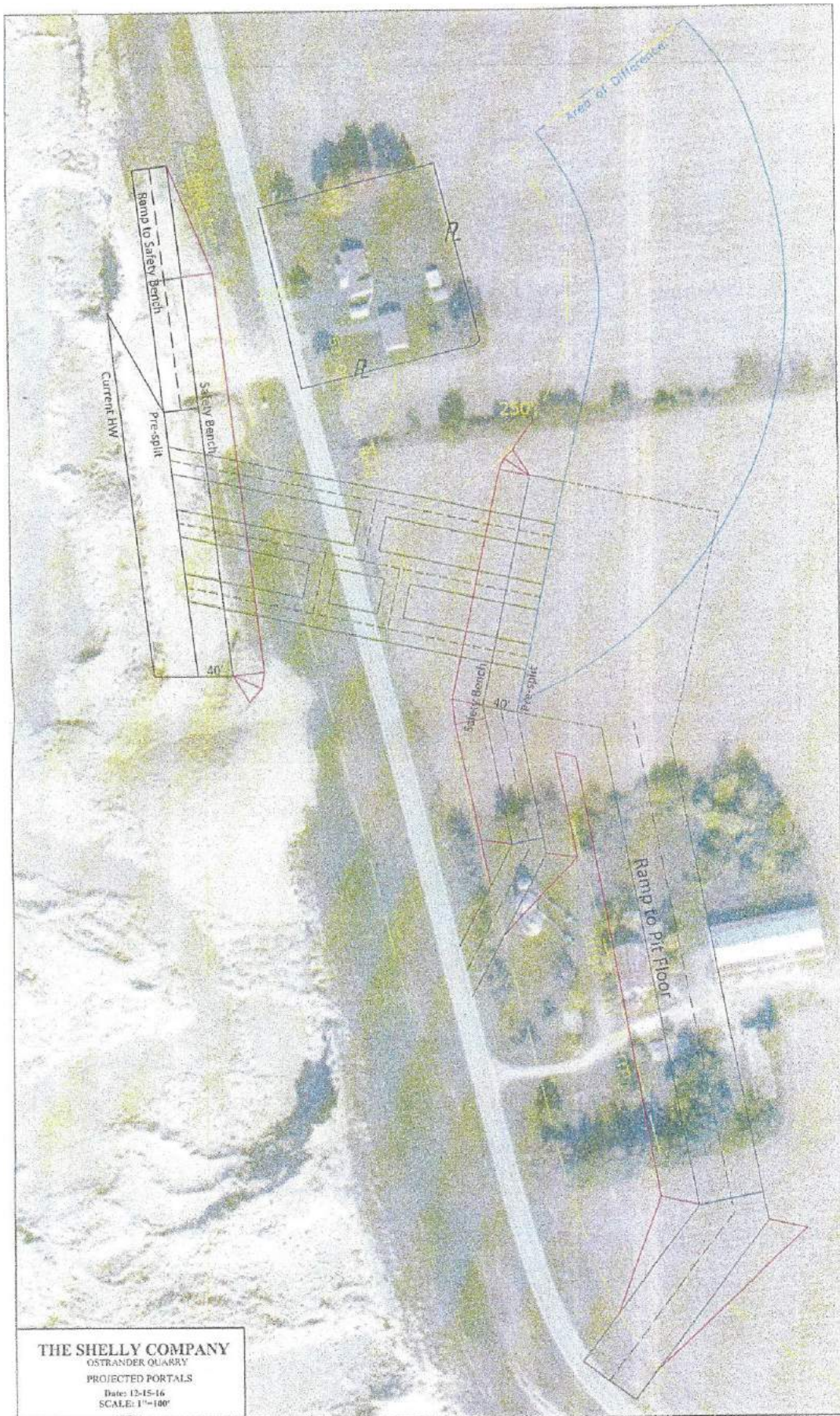
The foregoing instrument was acknowledged before me this 26th day of January, 2017 by Beulah Thompson, who acknowledged the signing of the foregoing Agreement to be her voluntary act and deed.



CHRISTINE M. MILLS
NOTARY PUBLIC
STATE OF OHIO
Recorded in
Union County
My Comm. Exp. 9/27/17

Christine M. Mills
NOTARY PUBLIC

EXHIBIT A



THE SHELLY COMPANY
OSTRANDER QUARRY
PROJECTED PORTALS
Date: 12-15-16
SCALE: 1"=100'

ZONING MAP AMENDMENT APPLICATION

MILLCREEK TOWNSHIP ZONING (937) 644-3449
P.O. Box 157, OSTRANDER, OH 43061
ZONING@WWW.MILLCREEKTHWPOHIO

ZC CASE NO.: 22-2017-0

EFFECTIVE: 02-27-17

Property Owner(s): Shelly Materials, Inc. Mailing Address: 1771 Harmon Ave. Columbus, Ohio 43223

DEVELOPER/CONTRACTOR: SHELLY MATERIALS, INC. PHONE: 614-437-2345

ADDRESS: 1771 HARMON AVE. COLUMBUS, OHIO 43223 EMAIL: KCOOPERRIDER@SHELLYCO.COM

PRIMARY CONTACT: KEVIN COOPERRIDER PHONE: 614-437-2343

ADDRESS: 1771 HARMON AVE. COLUMBUS, OHIO 43223 EMAIL: KCOOPERRIDER@SHELLYCO.COM

PROPERTY ADDRESS: 8328 WATKINS RD. OSTRANDER, OHIO 43061

PARCEL NUMBER(S): 2500130230000, 2500130240020, 2500130270000 & 2500130280000

ACREAGE: 50 ACRES NUMBER OF PROPOSED LOTS (BUILDABLE LOTS): N/A PROPOSED OPEN SPACE: N/A ACRES

SUBDIVISION NAME (IF APPLICABLE): N/A LOT NUMBER(S): N/A LOT SIZE: N/A

EXISTING ZONING DISTRICT(S): U1

PRESENT USE(S): AGRICULTURE

PROPOSED ZONING DISTRICT(S): EQ

PROPOSED USE(S): LIMESTONE EXTRACTION. THREE (3) 425' +/- TUNNELS WILL BE CONSTRUCTED UNDERNEATH JEROME RD. TO TRANSFER MATERIAL EAST OF JEROME RD. TO THE PROCESSING PLANT. ONCE TUNNELS ARE RETIRED BY SHELLY MATERIALS, INC. TUNNELS WILL BE BACKFILLED AND SEALED OFF. ALL STORM WATER DRAINAGE WILL BE DIRECTED TOWARDS THE OPERATION. ALL MONITORING WELLS WILL CONTINUE TO BE MONITORED MONTHLY WITH RESULTS BEING SUBMITTED TO THE ZONING ADMINISTRATOR MONTHLY. BLASTING SCHEDULES WILL BE SUBMITTED TO THE ZONING ADMINISTRATOR MONTHLY. DUST WILL BE SUPPRESSED BY A WHEEL WASH SYSTEM AND WATERED HAUL ROADS AT A NEED TO BE BASIS. ALL NEW QUARRYING/EXCAVATION AREAS WILL BE GUARDED BY MANICURED SOUND/SITE BARRIERS WITH WARNING SIGNS POSTED. ALL NEW AND OLD QUARRYING/EXCAVATION AREAS WILL BE RECLAIMED TO STATE OF OHIO GUIDELINES.

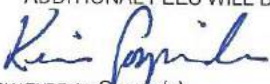
BY SIGNING THIS APPLICATION ON THE LINE BELOW, I HEREBY CERTIFY THAT ALL INFORMATION CONTAINED HEREIN IS TRUE AND ACCURATE. I ALSO AGREE TO BE BOUND BY PROVISIONS OF THE ZONING RESOLUTION OF MILLCREEK TOWNSHIP, AS WELL AS ACKNOWLEDGE THE FOLLOWING:

X I REQUEST TO INDUCE THE AFOREMENTIONED AMENDMENT TO THE MILLCREEK TOWNSHIP ZONING MAP.

X I HAVE ATTACHED OR ENCLOSED WITH THIS APPLICATION TEN (10) COPIES OF ALL MATERIALS WHICH ARE TO BE CONSIDERED FOR APPROVAL WITH THIS APPLICATION AND ONE DIGITAL COPY (PDF FORMAT), ADDRESSING EXISTING FEATURES, A VICINITY MAP, A DEVELOPMENT PLAN, A LANDSCAPE PLAN, A SIGNAGE PLAN, DRAINAGE, SEWER AND WATER SERVICE FEASIBILITY PLANS, A TRAFFIC STUDY AND OTHER INFORMATION REQUIRED IN ACCORDANCE WITH THE APPLICATION PROCEDURES AND/OR TO PROVE COMPLIANCE WITH OTHER SECTIONS OF THE ZONING RESOLUTION.

X I HAVE ATTACHED OR ENCLOSED A LIST OF NAMES AND ADDRESSES OF ALL PROPERTY OWNERS WITHIN, CONTIGUOUS TO OR ACROSS THE STREET FROM, AND OTHERS THAT MAY HAVE A SUBSTANTIAL INTEREST IN THE CASE, OF THE PROPERTY(S) FOR WHICH THIS APPLICATION IS SUBMITTED. ALSO, PROVIDED IS A SET OF ADDRESSED AND STAMPED PLAIN WHITE BUSINESS SIZE ENVELOPES FOR EACH NAME ON THIS LIST. UPDATED ENVELOPES WILL BE REQUIRED PRIOR TO THE TRUSTEE'S HEARING.

X I HAVE SUBMITTED APPLICABLE FEES, PER THE CURRENT MILLCREEK TOWNSHIP ZONING FEE SCHEDULE AND ACKNOWLEDGE THAT ADDITIONAL FEES WILL BE DUE FOR SUBSEQUENT PUBLIC HEARINGS IF I SO CHOOSE TO TABLE OR WITHDRAW THIS APPLICATION.


SIGNATURE OF OWNER(S)

KEVIN COOPERRIDER PROPERTY MGR
OWNER(S) NAME PRINTED OR TYPED

3/7/2017
DATE OF APPLICATION

INCOMPLETE APPLICATION FORMS WILL NOT BE PROCESSED

Do NOT WRITE BELOW THIS LINE -- FOR OFFICE USE ONLY

DATE RECEIVED: 3/21/17 COMPLETE APPLICATION: ☒ YES ☐ NO RECEIVED BY: Phil Hensley, Jan. Allen

TYPE OF PAYMENT: ☐ CASH ☒ CHECK NO. 116234916 AMOUNT: \$5,400 STAFF COMPLETING REVIEW: Phil Hensley

RPC HEARING DATE: 4/13/17 ACTION: ☐ APPROVED ☐ DENIED / ZC HEARING DATE: 4/18/17 ACTION: ☐ APPROVED ☐ DENIED

NOTES: _____ TRUSTEE HEARING DATE: _____ ACTION: ☐ APPROVED ☐ DENIED



LEGAL NOTICE

NOTICE OF PUBLIC HEARING

Millcreek Township Zoning Commission

Tuesday, April 18, 2017, 7:00 p.m.

Millcreek Township Hall

10420 Watkins Road

Marysville, OH 43040

The Millcreek Township Zoning Commission will hold a public hearing at 7:00 p.m. on Tuesday, September 20, 2016, to hear a proposal by Shelly Materials, Inc. for a zoning map amendment (rezoning) of 50 acres at 8328 Watkins Rd, parcel numbers 2500130230000, 2500130240020, 2500130270000 and 2500130280000 from the Farm/Residential District (U1) to the Excavation and Quarry District (EQ). The meeting will be held at the Millcreek Township Hall, located at 10420 Watkins Road, Marysville, OH 43040, and is open to the public. The regularly scheduled Millcreek Township Zoning Commission monthly meeting will immediately follow the public hearing. After conclusion of the public hearing, the matter will be submitted to the Millcreek Township Board of Trustees, who will provide public notice and also conduct a public hearing at a future meeting, prior to taking action. A copy of the proposed rezoning is available online at www.millcreektwpohio.us or in the Marysville Public Library.

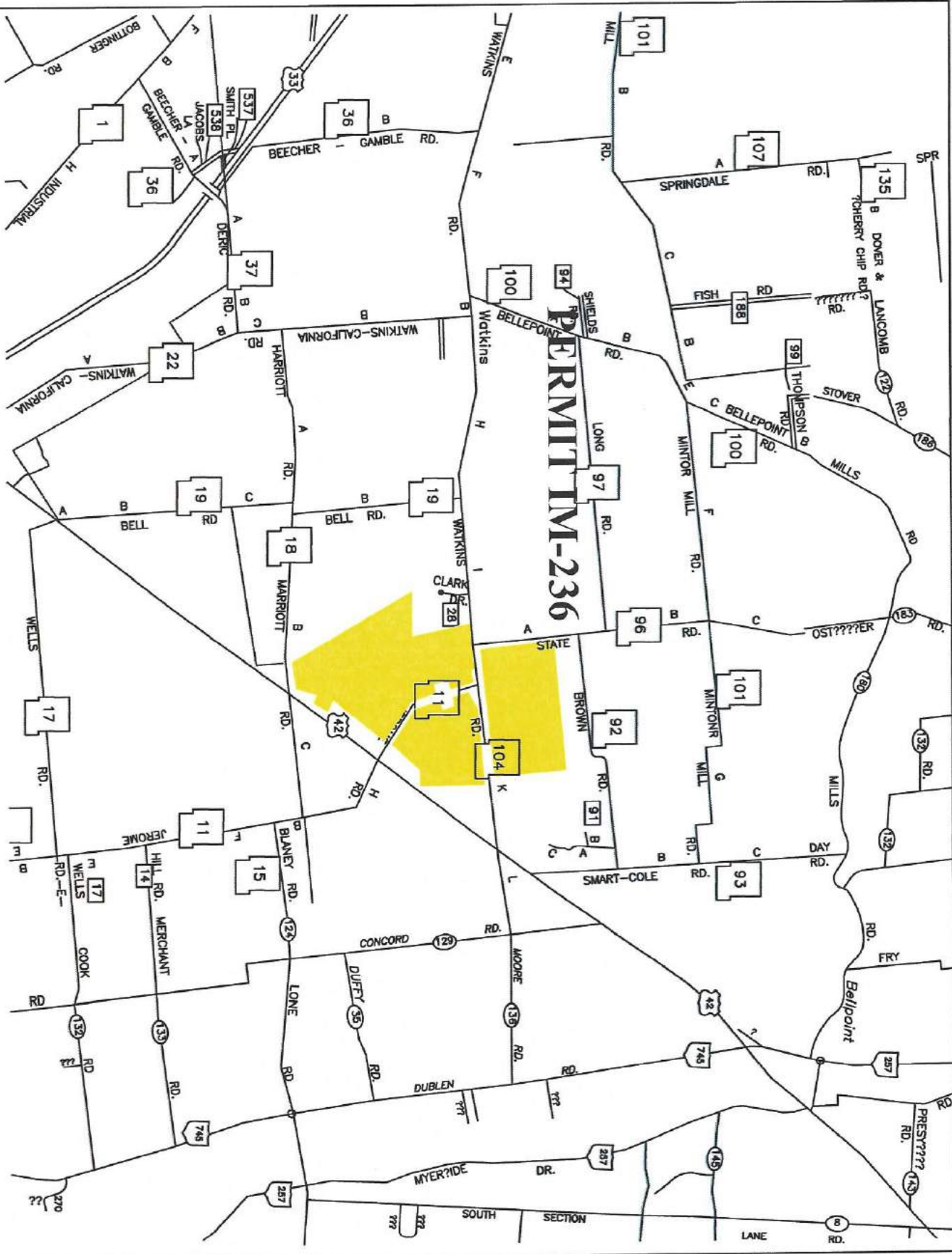
Phil Honsey

Zoning Administrator | Millcreek Township

(937) 644-3449 phone | zoning@millcreektwpohio.us

2017 Millcreek Zoning 50 Acre Contiguous Property Owner List

JR Touchstone LTD.	13275 US 42 Plain City, OH 43017
Conklin Dairy Farm	12939 US 42 Plain City, OH 43017
Hughes, Anita	12605 US 42 Plain City, OH 43017
Claas, David & Sandra	12533 US 42 Plain City, OH 43017
Millcreek Heritage Farms, LLC.	8086 Queen Palm LN. Apt 337 Fort Myers, FL 33966-6445
Bouic, Frank & Barbara	9404 Hinton Mill Rd. Ostrander, OH 43061
Thompson, Dwight & Beulah	13660 Jerome Rd. Ostrander, OH 43061
Ohio Edison Company	1040 S. Prospect St. Marion, OH 43302
Stewart, Melvin & Katzenbach, Nancy	18755 Pine LN. Marysville, OH 43040
Wellman, Lowell	11730 Lafayette Plain City Rd. Plain City, OH 43017



SHELLY MATERIALS, INC. VICINITY MAP

SCALE: 1" = 1 mile, QUADRANGE: Shawnee Mills, Ohio: V. M. S.: 2998 & 3006; (T-3N, R-20W); U.T.M.G.C.: 445400mN, 312600mE, TOWNSHIP: Millcreek; COUNTY: Union; STATE: Ohio

MA-1

(S&M)

SHELLY MATERIALS, INC.
(S&M)

SHELLY MATERIALS, INC.
(S&M)

PARRY
DUSTPILE
AREA

Water Monitoring Well
J. Stewart & N. Katzenbach
(S&M)

Shelly Materials Inc.
(S&M)

Shelly Materials Inc.
(S&M)

SP Property
(S&M)

Shelly Materials Inc.
(S&M)

Conklin Dairy Farms Inc.
(S&M)

Conklin Dairy Farms Inc.
(S&M)

David & Sonja Dean
(S&M)

Jerome Village Company LLC
(S&M)

SHELLY MATERIALS, INC.
Millcreek Zoning Amendment Map
ADMIN. Permit #M-235

WMS: 2008-0308 (1:50,000) (1:50,000)
TOWNSHIP: Harrison COUNTY: Union
SCALE: 1" = 400' STATE: Ohio
DATE: 5/14/2012 CONTOUR INTERVAL: 5'

SHELLY MATERIALS, INC.
1771 HARRISON AVENUE
COLUMBUS, OHIO 43223
Phone: 614.437.2343
Fax: 614.444.7852



March 9, 2017

Phil Honsey
Millcreek Township Zoning Administrator
10420 Watkins Road
Marysville, Ohio 43040

Dear Mr. Honsey,

My interpretation of Section 6830 of the Millcreek Township Zoning Resolution is that the applicant to rezone can rezone land if it shows that the rezoning is necessary to continue an existing mining operation and will be commenced within three years of the application to rezone.

Shelly Materials, Inc. intends to begin mining of said land in the Spring of 2017.

Sincerely



Paul Rice, Attorney for Shelly Materials, Inc.

cc: Kevin Cooperrider, Shelly Materials, Inc.

Legal Description
35.000 Acres

Situated in the State of Ohio, Union County, Millcreek Township, Virginia Military Survey Number 3006, and being part of a 311.574 acre tract, conveyed to Shelly Materials, Inc. in Official record 504, Page 990, as recorded in the Union County Recorder's Office and being more particularly described as follows:

COMMENCING at a point in the intersection of U.S. Route 42 and Jerome Road (C.R. 18); Thence North 65 degrees 03 minutes 15 seconds West 104.60 feet to a point; Thence, North 55 degrees 54 minutes 52 seconds West 2108.26 feet to a point; Thence, North 34 degrees 05 minutes 08 seconds West 128.11 feet to the **TRUE POINT OF BEGINNING** for the parcel herein described:

Thence, across the grantor's tract, **North 55 degrees 42 minutes 20 seconds West, 69.54 feet** to a point;

Thence, across the grantor's tract, **North 48 degrees 30 minutes 16 seconds West, 86.19 feet** to a point;

Thence, across the grantor's tract, **North 24 degrees 35 minutes 02 seconds West, 92.51 feet** to a point;

Thence, across the grantor's tract, **North 46 degrees 49 minutes 35 seconds East, 148.57 feet** to a point;

Thence, across the grantor's tract, **North 10 degrees 10 minutes 25 seconds West, 259.34 feet** to a point;

Thence, across the grantor's tract, **North 52 degrees 04 minutes 54 seconds East, 625.91 feet** to a point;

Legal Description
35.000 Acres

Thence, across the grantor's tract, **North 20 degrees 02 minutes 01 seconds East, 377.38 feet** to a point;

Thence, across the grantor's tract, **North 83 degrees 49 minutes 31 seconds East, 238.82 feet** to a point;

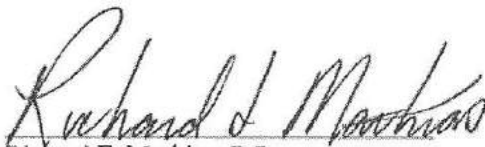
Thence, across the grantor's tract, **South 01 degrees 27 minutes 48 seconds East, 2092.96 feet** to a point;

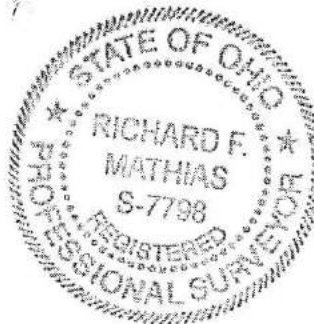
Thence, across the grantor's tract, **South 79 degrees 11 minutes 24 seconds West, 602.78 feet** to the **TRUE POINT OF BEGINNING**, containing 35.000 acres.

It is understood that the parcel of land described contains, 35.000 acres, more or less, in Union County Auditor's Parcel No. 2500130230000.

Description prepared from mapping provided by Shelly Materials for township zoning. This description is NOT based on a field survey by 2LMN, Inc.

Bearings based on assumed meridian to denote angles.


Richard F. Mathias, P.S.
Professional Land Surveyor No. 7798



3-10-17
Date

Legal Description
15.000 Acres

Situated in the State of Ohio, Union County, Millcreek Township, Virginia Military Survey Number 3006, and being part of a 311.574 acre tract, conveyed to Shelly Materials, Inc. in Official record 504, Page 990, as recorded in the Union County Recorder's Office and being more particularly described as follows:

COMMENCING at a point in the intersection of U.S. Route 42 and Jerome Road (C.R. 18); Thence North 65 degrees 03 minutes 15 seconds West 104.60 feet to a point; Thence, North 55 degrees 54 minutes 52 seconds West 524.00 feet to a point; Thence, South 34 degrees 05 minutes 08 seconds West 140.00 feet to a point; Thence, North 55 degrees 54 minutes 52 seconds West 175.00 feet to the **TRUE POINT OF BEGINNING** for the parcel herein described:

Thence, across the grantor's tract, **South 72 degrees 07 minutes 26 seconds West, 2686.75 feet** to a point;

Thence, across the grantor's tract, **North 57 degrees 54 minutes 15 seconds West, 329.22 feet** to a point;

Thence, across the grantor's tract, **North 24 degrees 17 minutes 17 seconds West, 138.02 feet** to a point;

Thence, across the grantor's tract, **North 78 degrees 07 minutes 33 seconds East, 2860.49 feet** to a point;


Thence, across the grantor's tract, **South 55 degrees 20 minutes 42 seconds East, 113.59 feet** to the **TRUE POINT OF BEGINNING**, containing 15.000 acres.

It is understood that the parcel of land described contains, 15.000 acres, more or less, in Union County Auditor's Parcel No. 2500130230000.

Legal Description
15.000 Acres

Description prepared from mapping provided by Shelly Materials for township zoning. This description is NOT based on a field survey by 2LMN, Inc.

Bearings based on assumed meridian to denote angles.


Richard F. Mathias, P.S.
Professional Land Surveyor No. 7798



3-10-17
Date



Staff Report – Zane Township Zoning Amendment

Township:	Zane Township Zoning Commission c/o Doug Henry 7162 Road 277 East Liberty, OH 43319 (937) 666-5625
Applicant:	Royce Hughes Holdings, LLC PO Box 508 Bellefontaine, OH 43311 (937) 593-1849
Request:	<p>The Zoning Commission received an application to rezone a total of 5.090 acres from multiple parcels from Service Business District (B-1) to Light Manufacturing District (M-1). The parcel is listed below:</p> <ul style="list-style-type: none"> • 531270000011000 <p>Total acres:</p> <ul style="list-style-type: none"> • 5.090 acres <p>Existing Use:</p> <ul style="list-style-type: none"> • Vacant land <p>Proposed Use:</p> <ul style="list-style-type: none"> • Remove present structures, making it available for future industrial use
Location:	Zane Township is in Logan County. The parcel involved sits in the northwest corner of State Route 287 and State Route 347.

Staff Analysis:	<p>This proposed rezoning eliminates an island of Service Business District (B-1), albeit it is a relatively small parcel, and extends an existing, larger area of Light Manufacturing District (M-1).</p> <p>Land Use: Comprehensive Plan Perry and Zane Township have a joint comprehensive plan. That plan mentions a decision by the Logan County Commissioners to allocate funds for townships to pursue their own comprehensive plans. The Commissioners felt, because of the several unique areas in the County, local officials would develop more specific goals and objectives for</p>
------------------------	---



Staff Report – Zane Township Zoning Amendment

the betterment of their individual communities (Joint Comp Plan, pp. 1). The joint plan came-about, in part, because of that decision.

The existing conditions analysis provides important demographic conditions about the Township. The population doubled since 1980 and the manufacturing industry is a major provider of employment (2011 Comp Plan, pp. 4 & 9). The Joint Plan encourages business growth in areas that already have a strong manufacturing presence. Also, because of its location along US Highway 33 Corridor and State Routes 287 and 347, this particular site is generally suited toward manufacturing (pp. 40, 46, & 50). Finally, this proposal redevelops a parcel with existing development, rather than occupying farmland, open space, or parks (pp. 48, 59).

Zoning Resolution

The B-1 District is intended to provide land for sales, service, and repair establishments which require highway orientation or large tracts of land not normally available in central and local business districts; do not contribute to the design of a unified business center; depend on drive-in business; and require a location on or near major thoroughfares and intersections (ZR, pp. 48). While this district may also make sense at this particular location, single, isolated zones are not the norm.

The M-1 District is intended to encourage the development of manufacturing and wholesale business establishments which are clean, quiet, and free of hazardous or objectionable elements such as noise, odor, dust, smoke, or glare; operate mostly within enclosed structures and generate little industrial traffic. Heavy manufacturing is prohibited (pp. 49).

Vicinity Zoning & Uses

Nearby uses are dedicated to nature preservation, agriculture, or manufacturing. More than 600 acres west of the property are owned by the Nature Conservancy and this also broadly follows the wishes of Zane Township residents, which suggested increased open space/parks improvements (Comp Plan, pp. 59).

Vicinity and adjacent zoning includes R-2 and M-1 Districts.



Logan-Union-Champaign regional planning commission

Staff Report – Zane Township Zoning Amendment

Staff Recommendations:	Staff recommends <i>APPROVAL</i> of the proposed zoning amendment based on the 2011 Perry and Zane Township Joint Comprehensive Plan.
Z&S Committee Recommendations:	



Zoning Parcel Amendment Checklist

Date: April 15, 2017 Township: Zane Township, Logan County

Amendment Title: Change In Zoning District

Notice: Incomplete Amendment requests **will not** be processed by our office. LUC Regional Planning Commission will return them to the requestor, stating the reason the amendment was not accepted.

Each Zoning Parcel Amendment change must be received in our office along with a cover letter, explaining the proposed zone change (s). All items listed below must be received **no later than 10 days** before the next scheduled LUC Regional Planning Commission Executive Board Meeting (which is the second Thursday of every month). It is recommended that a person who is able to provide further information on the amendment attend the Zoning and Subdivision Committee meeting to answer any additional questions that may arise.

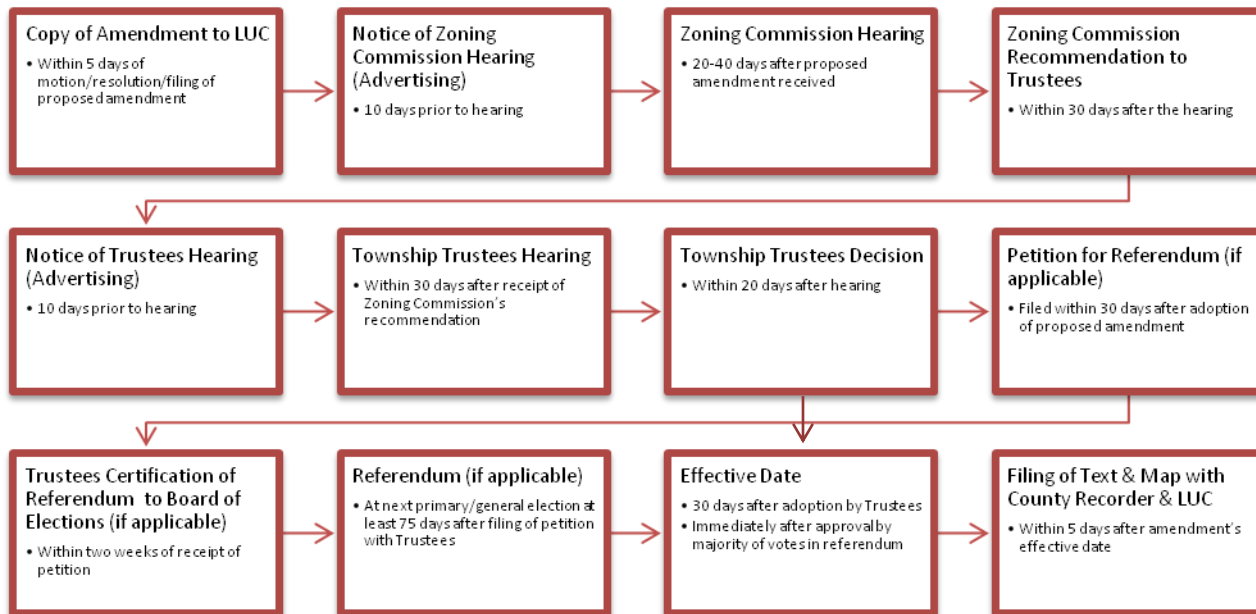
Required Item:	Completed by Requestor:	Received by LUC:
Cover Letter & Checklist	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Date of Request (stated in cover letter)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Description of Zoning Parcel Amendment Change(s)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Date of Public Hearing (stated in cover letter)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Township point of contact and contact information for zoning amendment (stated in cover letter)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Parcel Number(s)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Copy of Completed Zoning Amendment Application	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Applicant's Name and contact information	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Current Zoning	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Proposed Zoning	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Current Land Use	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Proposed Land Use	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Acreage	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Copy of Zoning Text associated with proposed district(s)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Contiguous and adjoining Parcel Information, including Zoning District(s)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Any other supporting documentation submitted by applicant	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Non-LUC Member Fee, If applicable	<input type="checkbox"/>	<input type="checkbox"/>

Additionally, after final adoption regarding this zoning parcel amendment, please provide LUC with a letter stating the results of the Trustees vote, along with a copy of the adopted parcel change (s).

Please see reverse side for a timeline of the Township Zoning Amendment Process, per ORC 519.12



Township Zoning Amendment Process (ORC 519.12)



ZANE TOWNSHIP TRUSTEES
P.O. Box J
10495 Columbus St.
Middleburg, Ohio 43336

March 15, 2017

LUC Regional Planning Commission
c/o Brad Bodenmiller
PO Box 219
East Liberty, OH 43319

RE: Zoning District Change Application, Zane Township, Logan County

An application for change in zoning district was received from Boyce Hughes Holdings, LLC on March 14, 2017. A copy of this application was forwarded to LUC on 3/15/2017.

Description of Zoning District Change Requested:

Change in zoning district from B-1 to M-1

Public Hearing:

The Zane Township Zoning Commission will tentatively hold a public hearing concerning the proposed change on Monday, April 17, 2017, in the Zane Township Building at 10495 Columbus Street, Middleburg, OH 43336. The Zane Township Trustees will tentatively hold a hearing at their regularly scheduled meeting on May 1, 2017.

Point of Contact:

Doug Henry
7162 Rd 277
East Liberty, OH 43319
(937) 666-5625

Tom Scheiderer
Zoning Inspector

Applicants Contact Information:

Boyce Hughes Holdings
PO Box 508
Bellefontaine, OH 43311
(937) 593-1849

Current Zoning - B-1

Proposed Zoning -M-1

Current Land Use - Vacant land

Proposed Use - Available for Future Industrial Use

Acreage - 5.090

Adjoining Parcel Information:

Parcel #	Name	Address	Current Zoning
<u>53-127-00-00-013-001</u>	Kriegel Holdings, LLC	13060 SR 287 East Liberty 43319	M-1
<u>53-127-00-00-010-000</u>	Nature Conservancy	12889 SR 287 East Liberty 43319	R-2
<u>53-127-00-00-014-000</u>	Honda of America (TRC)	375 East Harrison East Liberty 43319	?
<u>53-127-00-00-013-702</u>	NK Parts Industries	13434 SR 287 East	?

OFFICIAL SCHEDULE OF DISTRICT REGULATIONS

**Zane Township,
Logan County**

<u>ZONING DISTRICTS</u>	<u>PERMITTED USES</u>	<u>CONDITIONAL USES</u>	<u>PLANNED UNIT DEVELOPMENT</u>
(Symbols as used on the Official Zoning Map) 1	(Accessory uses and essential services are included) 2	(Permitted upon issuance of a Conditional Use Permit by the Board of Zoning Appeals) 3	(permitted upon Approval by the Board of Zoning Appeals) 4
M-1 LIGHT MANUFACTURING	Light manufacturing and related offices; Public and quasi-public uses; Wholesale & warehousing;	Printing & publishing; Storage facilities; Transport terminals; Signs & advertising structures; Public Service facility; Adult entertainment;	Commercial; Industrial; Public and quasi-public uses individually or in combination;
B-1 SERVICE BUSINESS	Service business; Drive-in business; Eating & drinking estab.; Commercial recreation; Animal hospital, clinic, kennel; Transient lodgings; Retail business; Offices; Personal services; Public & quasi-public uses	Wholesale & warehousing; Food processing; Printing & publishing; Transport terminals; Signs & advertising structures; Public & service facility;	Commercial; Residential; Industrial; Public & quasi-public uses individually or in combination;

**ZANE TOWNSHIP
ZONING COMMISSION
LOGAN COUNTY, OHIO
APPLICATION FOR CHANGE IN ZONING DISTRICT**

APPLICATION DATE: 3-14-2017 RESIDENT PHONE: 937-593-1849
APPLICANTS NAME: BOYCE HUGHES HOLDINGS LLC OTHER PHONE: 937-935-2675
ADDRESS: P.O. BOX 508 / 811 NORTH MAIN ST. BELLEFONTAINE, OH 43311
ADDRESS WHERE CHANGE IS REQUESTED: 8161 SR 347
EAST LIBERTY, OH 43319
PARCEL NR. WHERE CHANGE IS REQUESTED: 53-127-00-00-011-000

PRESENT ZONING DISTRICT: ~~Residential~~ B-1 PROPOSED ZONING DISTRICT: ~~Industrial~~ M-1
PROPOSED USE OF PROPERTY: Remove present structures
Clear parcel of land making it available for future Industrial use


List all property owners who are within, contiguous to, and directly across the road or street from the property to be rezoned. Include any others that may have a substantial interest in the case.

NAME:

ADDRESS:

Kriegel Holdings LLC
NATURE Conservancy
NK Parts Industries Inc

13060 SR 287 East Liberty, OH 43319
12889 SR 287 East Liberty, OH 43319
13434 SR 287 East



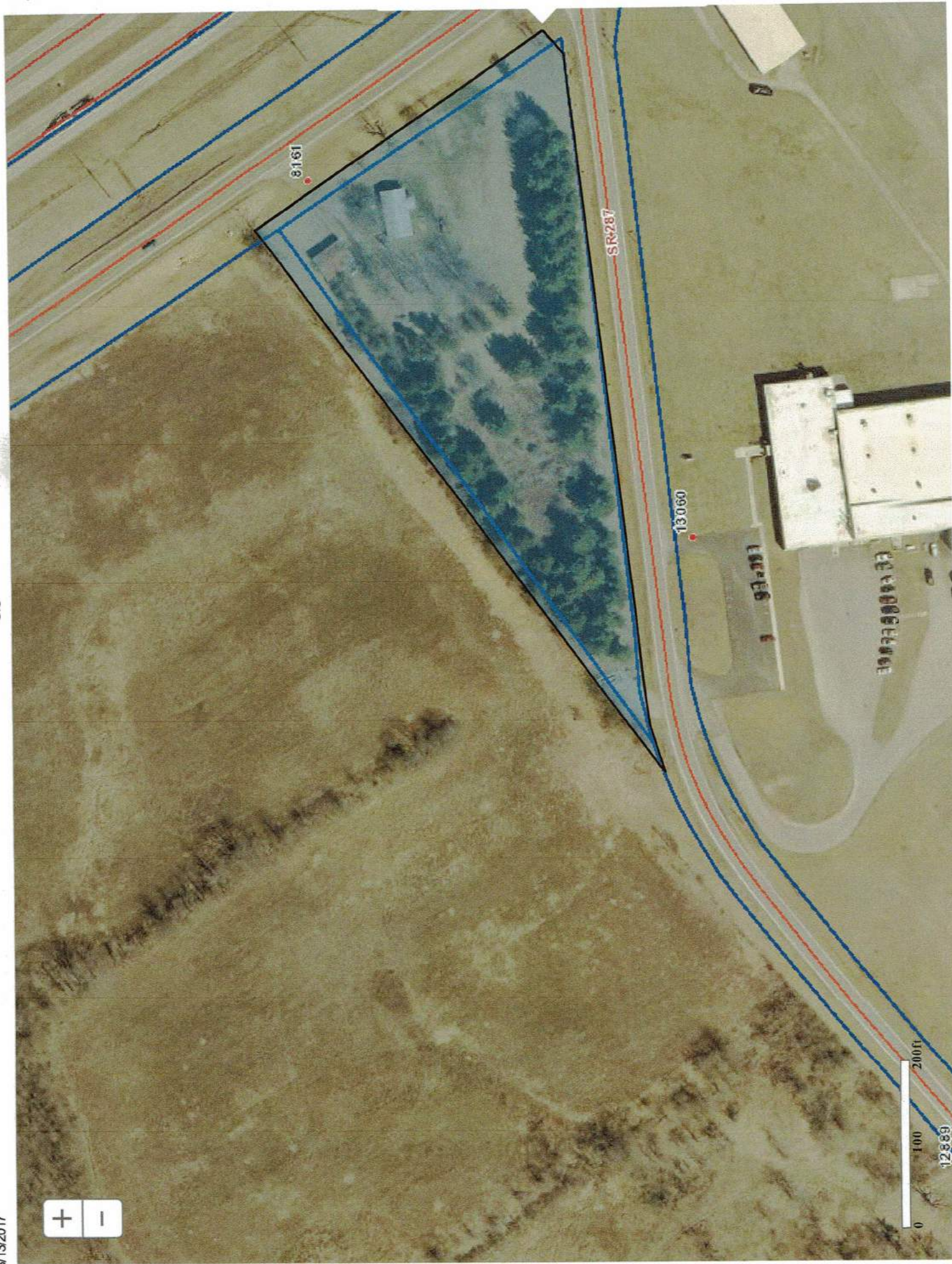
SIGNATURE OF APPLICANT:

DATE: 3-14-17

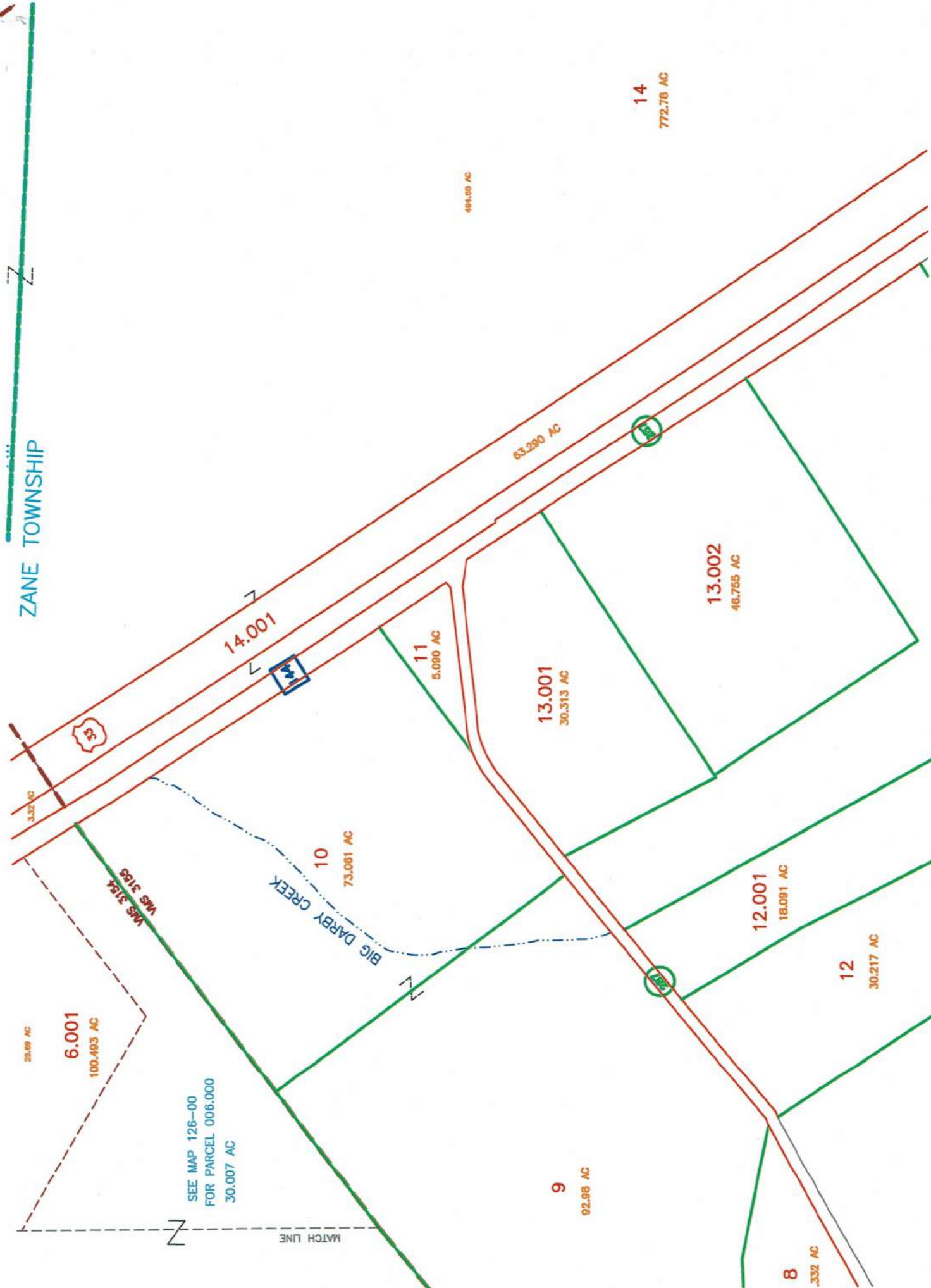
Submit this form in triplicate. Include a vicinity map showing property lines, proposed roadways, current structures, proposed structures, proposed zoning areas and all other information that would allow the Zoning Commission to arrive at a decision. These items are to be submitted to the Zoning Inspector. If necessary use additional sheets. Processing fee is \$1,000.00 to be included with the application. Make checks payable to Zane Township.

DATE RECEIVED: 3/14/17 RECEIVED BY:  FEE PAID: 1000⁰⁰

DATE Sent To Zoning Commission 3/15/17 DATE Received By Zoning Commission _____



ZANE TOWNSHIP



ZANE TOWNSHIP





Zoning Parcel Amendment Checklist

Date: April 15, 2017 Township: Zane Township, Logan County

Amendment Title: Change In Zoning District

Notice: Incomplete Amendment requests **will not** be processed by our office. LUC Regional Planning Commission will return them to the requestor, stating the reason the amendment was not accepted.

Each Zoning Parcel Amendment change must be received in our office along with a cover letter, explaining the proposed zone change (s). All items listed below must be received **no later than 10 days** before the next scheduled LUC Regional Planning Commission Executive Board Meeting (which is the second Thursday of every month). It is recommended that a person who is able to provide further information on the amendment attend the Zoning and Subdivision Committee meeting to answer any additional questions that may arise.

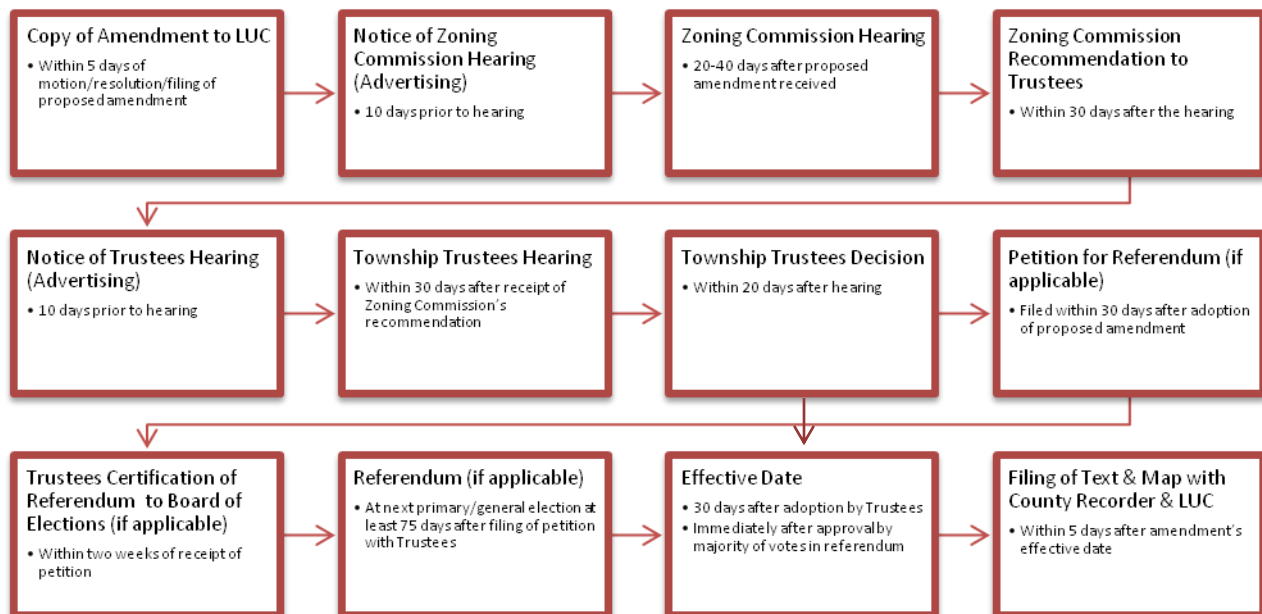
Required Item:	Completed by Requestor:	Received by LUC:
Cover Letter & Checklist	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Date of Request (stated in cover letter)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Description of Zoning Parcel Amendment Change(s)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Date of Public Hearing (stated in cover letter)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Township point of contact and contact information for zoning amendment (stated in cover letter)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Parcel Number(s)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Copy of Completed Zoning Amendment Application	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Applicant's Name and contact information	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Current Zoning	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Proposed Zoning	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Current Land Use	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Proposed Land Use	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Acreage	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Copy of Zoning Text associated with proposed district(s)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Contiguous and adjoining Parcel Information, including Zoning District(s)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Any other supporting documentation submitted by applicant	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Non-LUC Member Fee, If applicable	<input type="checkbox"/>	<input type="checkbox"/>

Additionally, after final adoption regarding this zoning parcel amendment, please provide LUC with a letter stating the results of the Trustees vote, along with a copy of the adopted parcel change (s).

Please see reverse side for a timeline of the Township Zoning Amendment Process, per ORC 519.12



Township Zoning Amendment Process (ORC 519.12)



ZANE TOWNSHIP TRUSTEES
P.O. Box J
10495 Columbus St.
Middleburg, Ohio 43336

March 15, 2017

LUC Regional Planning Commission
c/o Brad Bodenmiller
PO Box 219
East Liberty, OH 43319

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Logan County**

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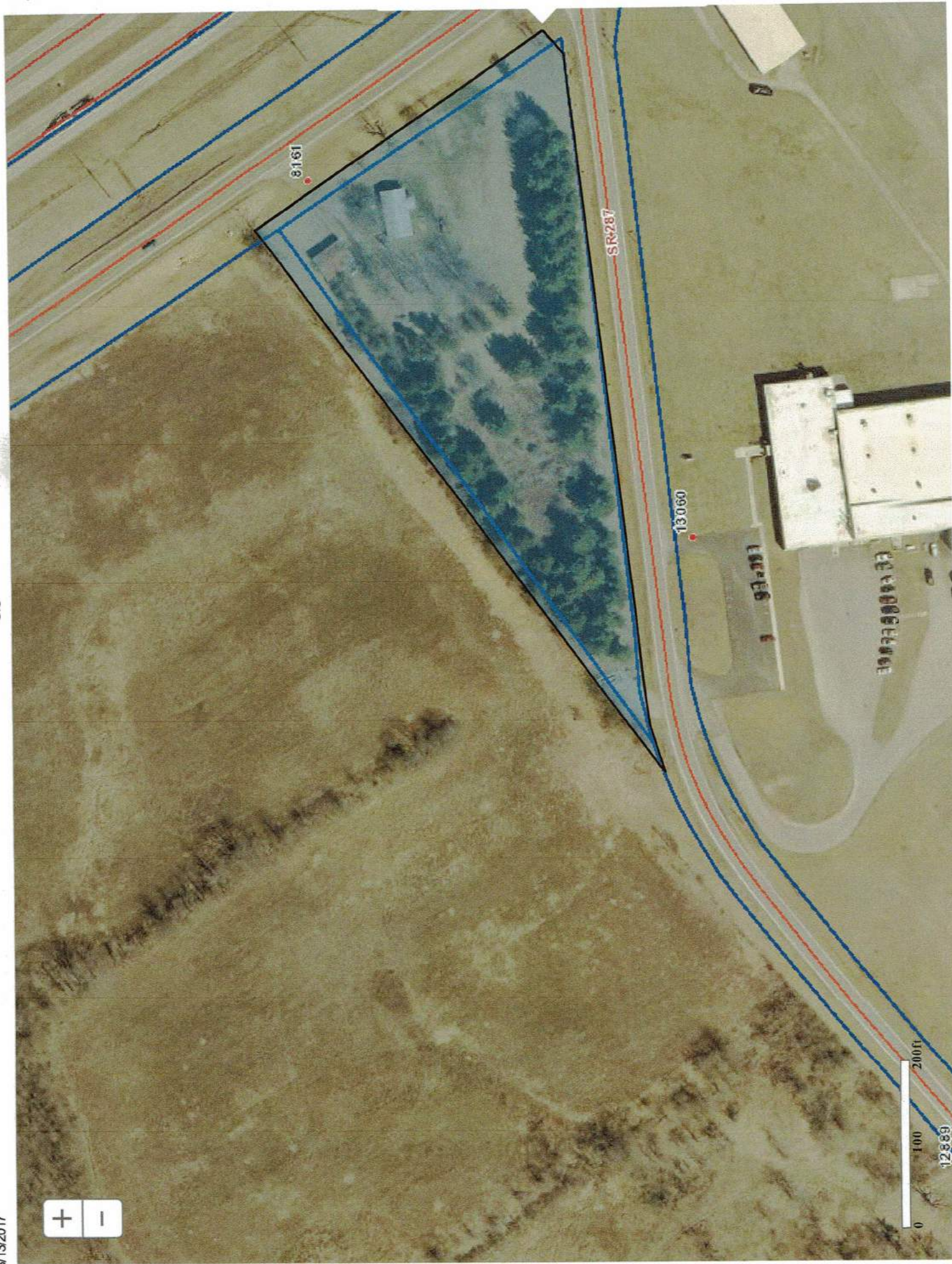
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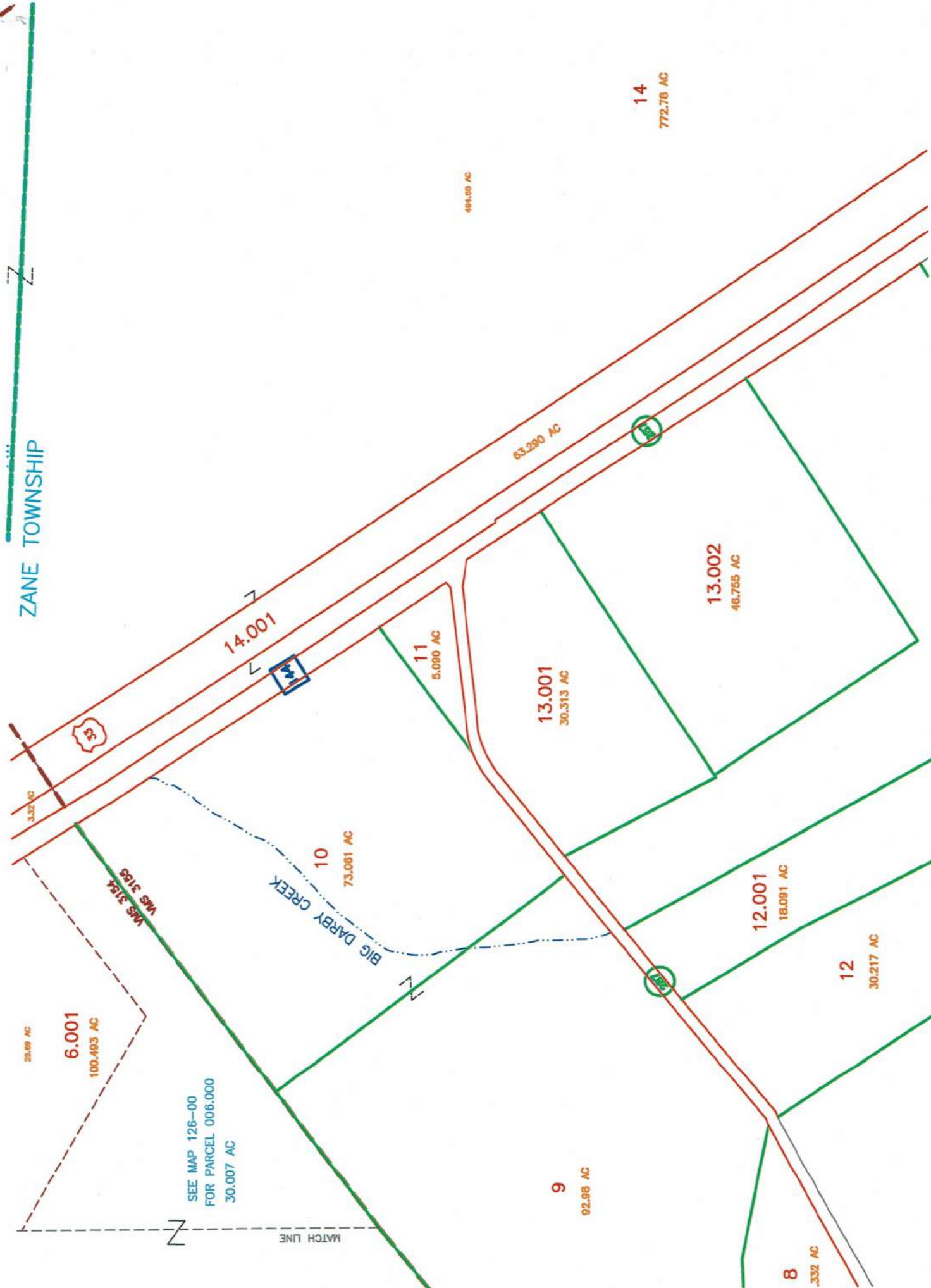
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ZANE TOWNSHIP



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Logan-Union-Champaign regional planning commission

Dave Gulden, AICP
Director

Jim Holycross
President

Jeremy Hoyt
Vice-President

Dave Faulkner
2nd Vice-President

Robert A. Yoder
Treasurer

Zoning & Subdivision Committee Thursday, April 13, 2017

The Zoning and Subdivision Committee met in regular session on Thursday, April 13, 2017 at 12:30 pm at the LUC East Liberty Office.

Zoning & Subdivision Committee Members were in attendance as follows: Brad Bodenmiller, Tyler Bumbalough, Wes Dodds, Chad Flowers, Dave Gulden, Charles Hall, Mark Mowry for Steve McCall, Heather Martin, Bill Narducci, Tom Scheiderer, and Andy Yoder. Absent members were Scott Coleman, Vince Papsidero, Jeff Stauch.

Guests included: Jim Holycross, City of Bellefontaine; Jerry Robinson, Robinson Investment; Kevin Cooperrider, Shelly Materials, Inc; Tom Appel, Shelly Materials, Inc; Bill Pizzino, Pizzino Engineering; Wayne Ballantyne, Darby Braeside, LLC.

Charles Hall chaired the Zoning & Subdivision Committee Meeting.

Andy Yoder moved a motion to approve the minutes from the March 9, 2017 meeting as written and Tyler Bumbalough seconded. All in favor.

1. Review of Darby Braeside Preliminary Plat Extension (Union County) – Staff Report by Brad Bodenmiller
 - Tyler Bumbalough – Has this not been started yet?
 - Brad Bodenmiller – It has been started.
 - Bill Pizzino – The next phase is under design and the bridge is under review; once that's approved the next phase will be started.
 - Charles Hall – Does the Engineer's Office need to approve the bridge?
 - Bill Pizzino – Yes. It will be four phases by the end of the project.
 - Charles Hall – Is it going to be large tile or a real bridge?
 - Bill Narducci – It will be a real bridge.
 - Andy Yoder moved a motion to recommend approval of the Darby Braeside Preliminary Plat Extension in accordance with staff comments and Bill Narducci seconded. All in favor.
2. Review of Millcreek Township Zoning Parcel Amendment (Union County) – Staff Report by Brad Bodenmiller
 - Charles Hall – Will the house be coming down?
 - Brad Bodenmiller – No.

9676 E. Foundry St, PO Box 219
East Liberty, Ohio 43319

• Phone: 937-666-3431 • Fax: 937-666-6203
• Email: luc-rpc@lucplanning.com • Web: www.lucplanning.com



Logan-Union-Champaign regional planning commission

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Treasurer

- Charles Hall – How will they access that property.
 - Brad Bodenmiller – They're proposing to put a tunnel under Jerome Road.
 - Bill Narducci – It will be a series of three tunnels.
 - Kevin Cooperrider – We will access the road 4-6 months
 - Bill Narducci – After that all traffic will be through tunnels.
- Bill Narducci moved a motion to recommend approval of the Millcreek Township Zoning Parcel Amendment in accordance with staff comments and Wes Dodds seconded. All in favor.

3. Review of Zane Township Zoning Parcel Amendment (Logan County) – Staff Report by Brad Bodenmiller

- Jerry Robinson explained to the committee who he is and what he's done for Zane Township.
- Tom Scheiderer moved a motion to recommend approval of the Zane Township Zoning Parcel Amendment in accordance with staff comments and Tyler Bumbalough seconded. All in favor.

The Zoning and Subdivision Committee adjourned at 12:45 pm with Andy Yoder moving the motion to adjourn and Tyler Bumbalough seconding. All in favor.

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