



## Logan-Union-Champaign regional planning commission

Director: Dave Gulden, AICP

### Zoning & Subdivision Committee Thursday, June 11, 2015, 12:30 pm

Start Time: \_\_\_\_\_

- Minutes from last meeting of April 9, 2015  
1<sup>st</sup>: \_\_\_\_\_ 2<sup>nd</sup>: \_\_\_\_\_
  1. Darby Braeside Preliminary Plat (Union County) – Staff Report by Brad Bodenmiller
  2. Review of Jerome Township Zoning Text Amendment, Minimum Lot Size & Width in RU District (Union County) – Staff Report by Brad Bodenmiller
  3. Review of Jerome Township Parcel Amendment, Jacquemin Farms (Union County) - Staff Report by Brad Bodenmiller
- Adjourn End Time: \_\_\_\_\_  
1<sup>st</sup>: \_\_\_\_\_ 2<sup>nd</sup>: \_\_\_\_\_

#### Members:

Scott Coleman – Logan County Engineer  
– City of Marysville Planning  
Charles Hall – Union County Commissioner  
Jeff Stauch – Union County Engineer  
Paul Hammersmith – Dublin Engineer  
Steve McCall – Champaign County Engineer  
Pam Babjack – City of Urbana Zoning  
Robert A. Yoder – North Lewisburg Administrator  
Weston R. Dodds – City of Bellefontaine Zoning  
Dave Gulden – LUC  
Heather Martin – LUC  
Skyler Wood – LUC  
Brad Bodenmiller - LUC

#### Guests:

9676 E. Foundry St, PO Box 219  
East Liberty, Ohio 43319

• Phone: 937-666-3431 • Fax: 937-666-6203  
• Email: [luc-rpc@lucplanning.com](mailto:luc-rpc@lucplanning.com) • Web: [www.lucplanning.com](http://www.lucplanning.com)



## Logan-Union-Champaign regional planning commission

### Staff Report – Darby Braeside

<b>Applicant:</b>	Ballantyne Family Ltd Partnership c/o Wayne Ballantyne 1119 Regency Drive Columbus, OH 43220 <a href="mailto:wayne@guildassociates.com">wayne@guildassociates.com</a>  Pizzino Engineering & Consulting c/o Bill Pizzino 9495 State Route 161 Plain City, OH 43064 <a href="mailto:pizzinoeng1@gmail.com">pizzinoeng1@gmail.com</a>
<b>Request:</b>	Approval of the Darby Braeside Preliminary Plat.
<b>Location:</b>	Located west of State Route 736, east of the Big Darby Creek, and between Robinson Road and US State Route 42 in Jerome Township, Union Co.

<b>Staff Analysis:</b>	<p>This Preliminary Plat is for the Darby Braeside Development. A new Preliminary Plat was required because the 2008 approval, 2010 extension, and 2012 extension all expired in August 2014. This subdivision proposes 48 lots for single family residential development on a total of 152.867 acres. In addition, 36.72 acres in open space is proposed. The proposed method of supplying sanitary waste disposal is private, on site sewer treatment systems. The proposed method of supplying water service is private, on site wells.</p> <p>• <b>Union County Engineer's Office</b></p> <ul style="list-style-type: none"><li>○ In a letter dated 06-05-15, the Union County Engineer's Office recommended approval with modifications that must be addressed in the final Construction Drawings and Final Plat. Some of those modifications are summarized as follows:<ul style="list-style-type: none"><li>✓ Zoning will need to be approved through Jerome Township <i>prior</i> to the approval to the Final Plat. Note: Jerome Township revised their zoning code in May of 2015, which may effect this development.</li><li>✓ ODOT access approval will need to be submitted.</li><li>✓ Health Department approval will be needed <i>prior</i> to Construction Drawing approval by our office.</li></ul></li></ul>
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	<ul style="list-style-type: none"><li>✓ Any new construction, filing or storage of materials within a designated FEMA flood hazard area will be required to get a Flood Hazard Permit through the Union County Building Department.</li><li>✓ Show the 100 year storm elevations for the ditches throughout the site.</li><li>✓ All reserves with detention basins need to have access provided with maintenance easements.</li><li>✓ Stormwater easements for swales should be at least 30' wide or the width of the water spread, whichever is greater.</li><li>✓ Delineate change of pavement type at the transition from public road r/w (turn around) to walk.</li><li>✓ Provide temporary barricade at the end of Fitzhamon and the temporary turnaround.</li><li>✓ Need to provide easement or dedicated open space lot at entrance to allow for entrance feature.</li><li>✓ The following Union County Standard Deed Restrictions shall be placed on the Final Plat: 1-3, 5, 6b, 8-11, 14b, and 15.</li><li>✓ Please submit a copy of the deed restrictions and covenants for review.</li><li>✓ The Developer will be required to sign a Ditch Petition for the maintenance of off-site storm, ditches, and retention facilities.</li><li>✓ Submit copy of EPA Stormwater NOI (when available).</li></ul> <p>• <b>Union County Soil &amp; Water Conservation District</b></p> <ul style="list-style-type: none"><li>○ No comments as of 06-04-15.</li></ul> <p>• <b>Union County Health Department</b></p> <ul style="list-style-type: none"><li>○ Per a letter dated 06-05-15, the Union County Health Department submitted the following comment:<ul style="list-style-type: none"><li>✓ The Board of Health will need to issue a more up-to-date approval letter. Since the original approval letter from Paul Pryor is dated 06-18-08, there have been multiple revisions to the plat as well as new state-wide sewage codes.</li></ul></li></ul> <p>• <b>City of Marysville</b></p> <ul style="list-style-type: none"><li>○ No comments received as of 06-04-15.</li></ul> <p>• <b>Village of Plain City</b></p>
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- No comments received as of 06-04-15.

• **Jerome Township**

- Per a letter dated 05-18-15, the Jerome Township Zoning Officer submitted the following comments:
  - ✓ “Jerome Township understands that this project has been in the process of engineering and platting for some time and, as such, the owner has a substantial vested interest in the project.”
  - ✓ “In light of this vested interest...please feel free to file this plat under the requirements of the U-1 zoning district in force when the Preliminary Plat was originally approved.”

• **Darby Township**

- No comments received as of 06-04-15.

• **ODOT District 6**

- The applicant submitted a letter dated 11-08-06 from ODOT. The letter speaks to a revised proposal, from 46 to 49 lots. “In summary, no traffic study is required by ODOT, no turn lanes are warranted, and sight distance is met per the survey drawings.” However, a right of way use permit will be required to gain access to the site and the driveway shall be placed at the furthest western property line.
- No comments received otherwise as of 06-04-15.

• **Union Rural Electric/URE**

- Per 2 letters, dated 06-04-15, URE submitted several technical items, some of which include easement requirements. Those items must be incorporated in Construction Drawings and Final Plat.

• **LUC Regional Planning Commission**

- No Final Plat of land shall be approved unless it conforms to the Zoning Resolution (Union County Subdivision Regulations Section 401). Therefore, at the time of Final Plat submittal, letters from Darby and Jerome Townships must be included indicating that the lots conform to township zoning regulations.
- Any Preliminary Plat approval is contingent on Board of Health or the OEPA approval (Union County Subdivision Regulations, Section 314 6. & 7.). This must occur *prior* to approval of the Construction



# Logan-Union-Champaign regional planning commission

## Staff Report – Darby Braeside

	<p>Drawings and the Final Plat.</p> <ul style="list-style-type: none"><li>○ Clearly identify lots, lot dimensions, open space reserves, and BFEs and Special Flood Hazard Areas. Lots located on a curve or when side lot lines are not at ninety degree angles, the width at the building line shall be shown, if it is less than the frontage width.</li><li>○ Permanent dead end streets shall not be permitted (Union County Subdivision Regulations, Section 408, 3.). The developer indicated that the north end of Fitzhamon Drive is to be converted-into parking for residents to access the trail system. The roadway and parking area must conform to the Subdivision Regulations and Jerome Township Zoning Resolution.</li><li>○ All bonds and/or letters of credit shall be submitted and approved <i>prior</i> to submittal of the Final Plat.</li></ul>
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<b>Staff Recommendations:</b>	LUC Staff recommends <b>APPROVAL</b> of the Darby Braeside Preliminary Plat with the condition that all comments from LUC and reviewing agencies shall be incorporated into Construction Drawings and the Final Plat. The developer shall ensure that <i>prior</i> to Final Plat submittal, all requirements and items outlined in the Union County Subdivision Regulations are incorporated in the Final Plat <i>prior</i> to submittal.
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<b>Z&amp;S Committee Recommendations:</b>	
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Logan-Union-Champaign  
regional planning commission

Director: Dave Gulden, AICP

Application for Preliminary Plat Approval

Date: 5-20-15

Name of Subdivision: DARBY BRAESIDE

Location: 8673 SR 736 PLAIN CITY, OH 43064

Township: JEROME /

Military Survey:

Complete Parcel(s) Identification Number (PIN): 1500160020000

4100170230000

Have ALL Sketch Plan review letters been obtained? YES (Engineer, SWCD, Board of Health)

Name of Applicant: BALLANTYNE FAMILY LTD PARTNERSHIP

Address: 1119 REGENCY DR

City: COLUMBUS

State: OH

Zip: 43220

Phone: 614 406-7514

Fax: 614 798-1972

Email: wayne@guildassociates.com

Name of Owner of property to be subdivided: BALLANTYNE FAMILY LTD PARTNERSHIP

Address: 1119 REGENCY DR

City: COLUMBUS

State: OH

Zip: 43220

Phone: 614 406-7514

Fax: 614 798-1972

Email: wayne@guildassociates.com

Name of Applicant's Surveyor or Engineer: PIZZINO ENGINEERING & CONSULTING

Address: 9495 SR 161

City: PLAIN CITY

State: OH

Zip: 43064

Phone: 614 325-2462

Fax:

Email: PIZZINOeng1@gmail.com

Proposed Acreage to be Subdivided: 152.867

Current Zoning Classification: U1

Proposed Zoning Changes: U1

Proposed Land Use: SINGLE FAMILY RESIDENTIAL

Development Characteristics

Number of proposed lots: 48

Typical lot width (feet): 250

Number of proposed units: 48

Typical lot area (sq. ft.): 90,000

Single Family Units: 48

Multi-Family Units: NO

Acreage to be devoted to recreation, parks or open space: 36.72 ACRES RESERVE

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18	The limits of all Flood Hazard Areas (zone A, AE, B, and X) as determined by the Federal Emergency Management Agency (show the FEMA map number and date). The Base Flood Elevation shall be determined and shown. Minimum first floor elevations shall be shown for all lots located within Flood Hazard Areas.	✓	
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Supplementary Information			
19	Statement of proposed use of lots, giving the type and number of dwelling units; and type of business or industry if use is not residential.	✓	
20	Description of proposed covenants and restrictions.	✓	
21	Description of proposed zoning changes.	✓	
22	Typical sections and tentative profiles of streets and other related improvements as required in Article 5. Calculations as required to justify horizontal and vertical curves, pipe sizes, etc. The County Engineer shall have approved the layout and design of the lots, streets and other improvements prior to the Preliminary Plat approval.	✓	
23	A preliminary drainage plan which shall identify adequate drainage outlets and shall contain adequate measures for control of erosion and siltation and for surface water management in accordance with Article 5 and the Technical Design Standards. The County Soil and Water Conservation District shall have approved the preliminary drainage plan prior to Preliminary Plat approval.	✓	
24	If the subdivider proposes individual household sewage systems, the County Board of Health or the OEPA shall have approved the use of individual household sewage systems prior to the Preliminary Plat approval.	✓	
25	If the subdivider proposes individual household wells, the subdivider shall supply evidence acceptable to the County Board of Health of the availability of satisfactory water. The County Board of Health or the OEPA shall have approved the use of individual household wells prior to the Preliminary Plat approval.	✓	
26	Letters from utility companies, as required, indicates approval of easement locations and widths prior to the Preliminary Plat approval.	✓	
27	A vicinity map at scale of generally not more than six thousand feet to an inch shall be shown on, or shall accompany, the Preliminary Plat. This map shall show all existing subdivisions, roads, and tract lines, together with the names of the owners of land immediately adjoining the proposed subdivision and between it and the nearest existing thoroughfares. It shall also show the most advantageous connections between the roads in the proposed subdivision and those of the neighboring areas.	✓	
28	Preliminary Plat Fees: Payment/Check made out to LUC Regional Planning Commission, based on the current fee schedule.	✓	

SEE  
ATTACHED

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## Preliminary Plat Review Checklist

#	Required Item Description	Have	Need
1	Drawn at a scale not less than 1:100 and shall be on one or more sheets 24" X 36"	✓	
2	Proposed name of the subdivision, which shall not duplicate or closely approximate the name of any other subdivision in the county.	✓	
3	Location by section, range, and township or Virginia Military Survey (VMS).	✓	
4	Names, addresses and telephone numbers of the owner, subdivider, and professional surveyor or professional engineer who prepared the plat; and the name, address and telephone number of the professional surveyor who performed the boundary survey.	✓	
5	Date of survey.	✓	
6	Scale of the plat, north point, and date.	✓	
7	Boundaries of the subdivision and its acreage.	✓	
8	Names of adjacent subdivisions, owners of record of adjoining parcels of unsubdivided land, and the location of their boundary lines.	✓	
9	Locations, widths, and names of existing streets, railroad rights-of-way, easements, parks, permanent buildings, and corporation and township lines; location of wooded areas and other significant natural features; soil types and soil type limits; limits of Flood Hazard zones.	✓	
10	Zoning classification of the tract and adjoining properties.	✓	
11	Existing contours (USGS datum) at an interval of not greater than two feet if the slope of the ground is fifteen percent or less; and not greater than five feet where the slope is more than fifteen percent.	✓	
12	Existing sewers, water and gas mains, culverts and other underground structures, and electric and telephone poles and lines and other above ground structures within and adjacent to the tract.	✓	
13	Layout, names and widths of proposed streets and easements.	✓	
14	Building setback lines with dimensions.	✓	
15	Layout and dimensions of all proposed water and sewer lines, showing their connections with the existing systems, and all proposed easements for utility, water and sewer lines.	✓	
16	Layout, numbers and approximate dimensions of each lot. When lots are located on a curve or when side lot lines are not at ninety degree angles, the width at the building line shall be shown, if it is less than the frontage width. Location of access from lots to the proposed streets shall be shown.	✓	
17	Parcels of land to be reserved for public use or to be reserved by covenant for residents of the subdivision.	✓	

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Application for  
Preliminary Plat Approval  
Darby-Braeburn

- 19.A Proposed Use of Lots:  
Single family residential
- 19.B Number of Dwelling Units:  
48
20. Description of Proposed Covenants and Restrictions:  
Attached
21. Description of Proposed Zoning Changes:  
None

darbybraeburn.lst (net)  
5/18/15 S:Docs

# **DARBY BRAESIDE**

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## **Development Standards and Design Guidelines**

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# Darby Braeside

On the banks of the Big Darby Creek.

As the last development permitted on the now-protected Big Darby Creek, Darby Braeside is an extraordinary gated community, thoughtfully created to capture the rural sophistication of Union County.

614.282.7555 | [DarbyBraeside.com](http://DarbyBraeside.com) | [Live@DarbyBraeside.com](mailto:Live@DarbyBraeside.com)

8673 SR 736 | Plain City, Ohio 43064



## **Introduction and Design Intent**

The following Design Guidelines are provided as reference for the architectural and landscape designs of home in Darby Braeside.

## **Architectural Scaling**

All “primary structures” shall be all natural brick, stone or clapboard, and stucco shall be used in moderation. The height, form and scale of architectural elements shall follow American architectural styles and move subtly between the historic and the modern.

Architectural elements include, but are not limited to:

- Windows
- Doors
- Columns
- Shutters
- Hyphens
- Pavilions

American architectural styles include:

- Georgian
- Farmhouse
- Colonial
- English Country
- Country French
- Coastal

## **General Notes**

Each lot in Darby Braeside is unique and may have unique architectural guidelines.

Prior to submittal of architectural plans, a concept meeting with the Darby Braeside Architectural Review Board (DRB) shall be required for purchasers of lots in Darby Braeside. This service is offered to all purchasers of lots, builders and architects.

Final architectural and preliminary landscape plans are required to be formally submitted, reviewed and approved by DRB prior to commencement of construction and installation of materials related to the home’s construction. Architectural designs will be reviewed within 30 days of receipt of the Architectural Review Submittal Form, plans and the Architectural Approval Fee of \$1,500.

Final landscape plans must be formally submitted for approval a minimum of 30 days prior to installation of any related materials. Landscape designs will be reviewed within 21 days of receipt of final plans and the Landscape Approval Fee of \$750.

Failure to submit required plans and forms is a violation of Design Guidelines and may result in the issuance of a Stop Work Order and other measures deemed necessary by DRB.

Subject to change without notice.

\* DRAFT

**DARBY BRAESIDE**



## B. SINGLE FAMILY LOT DEVELOPMENT STANDARDS

1. Single Family Lot Development Matrix		LOT TYPE		
		Main Drive Lots	Cul de sac Lots	Creek Side Lots
Primary Structure and Garages	Build-To-Zone			
	Front Setback <sup>1,2</sup>	80 feet as indicated on Final Plat		
	Side Setback <sup>3</sup>	20 feet		
	Rear Setback	30 feet		
	Ranch-Min. Bldg. SF <sup>7</sup>	2,500 sq. ft.	2,500 sq. ft.	2,500 sq. ft.
	2, 2 ½ Story-Min. Bldg. SF <sup>7</sup>	2,800 sq. ft.	2,800 sq. ft.	2,800 sq. ft.
	Max Lot Impervious Coverage <sup>5</sup>	45%		
	Architectural Styles	Rural, sophisticated and blending with the environment. See Architectural Pattern Book (or example character images)		
	Special Architectural Treatment	As corner lots or lots terminating views or vistas, the following lots will be held to a higher architectural standard by the DRB: 1, 9, 12, 15, 16, 27, 28, 35, 36, and 37		
Garage and Auto-court	Garage Door Max. Width	10 feet	10 feet	10 feet
	Cars Min/Max (Attached to house)	2 / 4 (6)	2 / 4 (6)	2 / 4 (6)
	Front Setback	See garage setback standards		
	Side Driveway Setback	10 feet	10 feet	10 feet
	Rear Driveway Setbacks	30 feet	30 feet	30 feet
	Driveway Max Width	16 feet	16 feet	16 feet
	Auto-court Max Width <sup>6</sup>	25 feet	25 feet	25 feet
	Driveway Materials	Permitted: Asphalt, crushed limestone, decomposed granite, tar and chip, pavers or any approved combination with hard surface apron per county specifications.		
	Driveway Apron Materials	Concrete or Pavers		
	Auto-court Materials	Permitted: Concrete, asphalt, crushed limestone, decomposed granite, tar and chip or any approved combination with hard surface apron per county specifications.		

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**DARBY BRAESIDE**

		LOT TYPE		
		Main Drive Lots	Cul de sac Lots	Creek Side Lots
Accessory Buildings	Front Setback <sup>1,2</sup>	80 feet and within the Build-To Zone		
	Side Setback <sup>3</sup>	20 feet		
	Rear Setback	30 feet		
	Max Number of Buildings	3	3	3
	Max Aggregate Building SF	1,750 sq. ft.		
	Accessory Building Materials	All accessory buildings shall be consistent with building architecture and materials.		
	Architectural Styles	This architectural style shall capture the rural sophistication of Union County, incorporate American architectural styles and blend with the environment. See Architectural Selection Portfolio.		
	Existing Trees	Existing trees shall be preserved as much as possible. Home siting shall attempt to preserve existing trees. See Landscape Section for preservation and replacement procedures.		

1. Corner Lots apply front setback lines to both street frontages.
2. Orientation of homes on lot is subject to DRB approval.
3. Side setbacks are required to be approximately equal excluding easements.
4. Homes greater than 2 stories or 35 ft require DRB approval. Note on application.
5. Impervious lot coverage shall include structures, parking, auto-courts, driveways (except pervious gravel), pedestrian walks, patios (except decks) and other hard surfaces or paved areas.
6. Excludes garage and porch width.
7. House size should not exceed 20% of the total lot size.

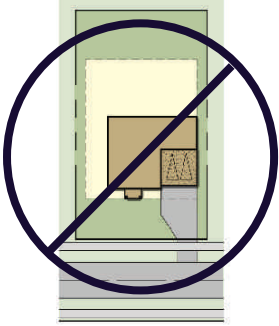
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## DARBY BRAESIDE

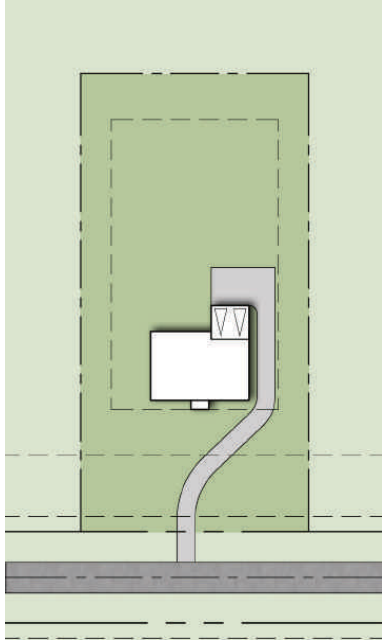
#### 4. Single Family Building Placement and Orientation

##### Example House & Garage Orientations

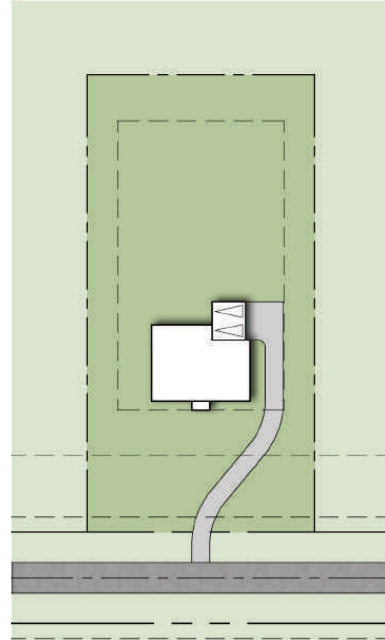
Front Load Garage  
Prohibited



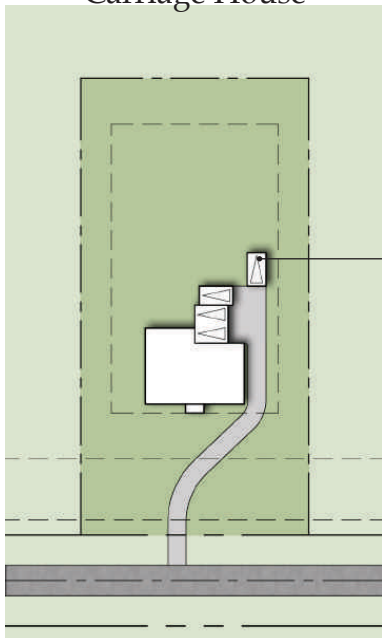
Rear Load



Side Load

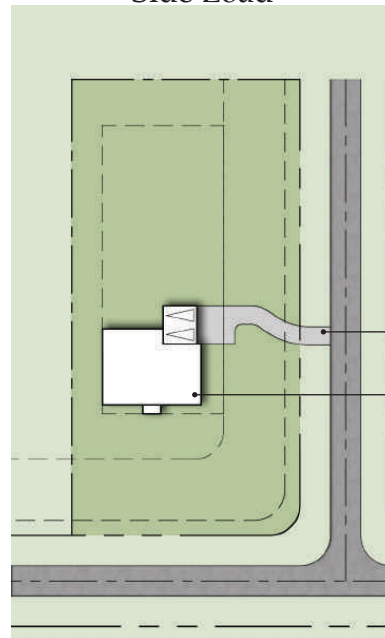


Side Load with 4th Car  
Carriage House



Optional 4th Car,  
Detached, Carriage-  
Style

Corner Lot  
Side Load



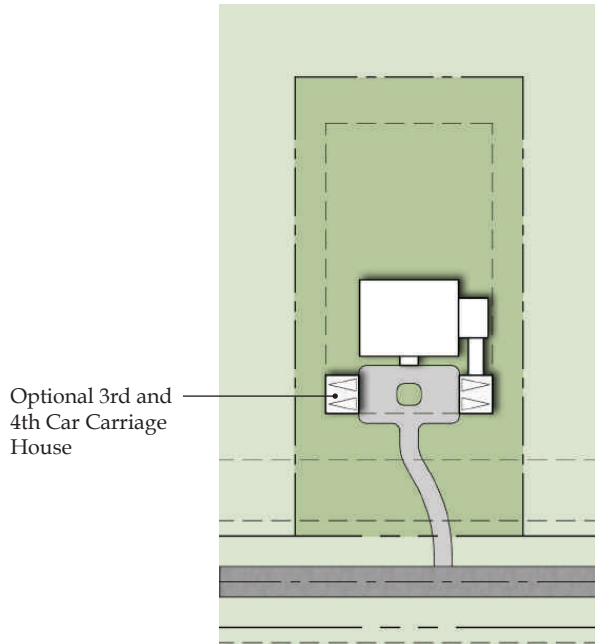
Secondary Street  
Access Preferred  
Garage Access  
at Corner  
Prohibited

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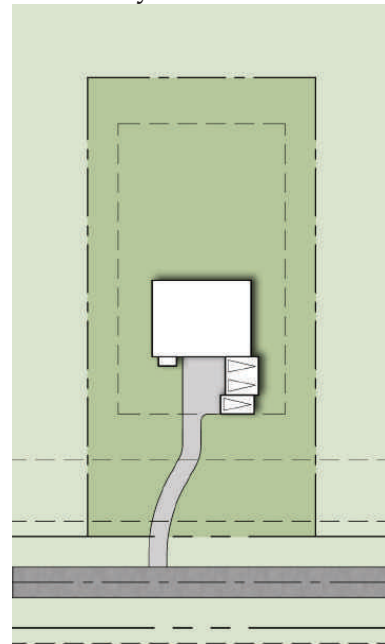
**DARBY BRAESIDE**

## Example House & Garage Orientations

Courtyard Side Load with  
3rd and 4th Car Carriage  
House



Courtyard Side Load



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**DARBY BRAESIDE**

## 5. Single Family Architecture Requirements

All homes should follow traditional historic examples as outlined in the Darby Braeside Pattern Book. Style and character can follow historic examples without being literal duplications, applied in a Neo-traditional manner. Diversity of architectural styles is encouraged in order to provide visual interest and distinctive character through out Darby Braeside. The following matrix outlines architectural requirements that must be incorporated into all home designs and subject to DRB approval. All four elevations should meet the same level of design, including use of water tables, trim, and materials.

	Configuration	Materials	Technique & Colors
Building Walls and Elements	<ul style="list-style-type: none"> <li>Walls must consist of natural or natural appearing materials.</li> <li>Glass openings should be between 20% of the entire wall.</li> <li>Siding should be traditional profiles such as 4"-8" horizontal beveled.</li> <li>Brick shall be laid in a traditional masonry pattern.</li> <li>Stone should be laid in a random ashlar pattern.</li> <li>Brick or stone facing on the full front of home is required to also be on the side elevations or terminate at an appropriate location.</li> <li>Building elements should be based on traditional historic examples. Refer to the Pattern Book.</li> <li>Blank or empty side elevations are not permitted.</li> <li>Exposed concrete or block foundations shall not be permitted. Visible foundations shall be finished with veneer, brick, or stone. Paint shall not be an acceptable finish. Another style appropriate material may be used with DRB approval.</li> <li>Decks, patios, and exit stairs must be submitted for DRB approval, with materials noted.</li> </ul>	<ul style="list-style-type: none"> <li>Brick shall be earth tone colors in standard sizes, see selection.</li> <li>Stone shall be natural or simulated material, see selection.</li> <li>Precast concrete with the appearance of traditional limestone shall be permitted.</li> <li>Stucco and EIFS shall be used only in moderation and shall not be permitted on the ground level. Stucco and EIFS must be detailed to look like traditional cornices, soffits, etc. Stucco is only permitted as a primary building material on Italianate style homes and requires DRB approval.</li> <li>Siding shall be wood or simulated wood (vinyl and aluminum siding shall be prohibited). See selection.</li> <li>Columns, cornices, and similar elements should be of natural materials or simulated natural materials, such as wood, brick or stone. See selection.</li> </ul>	<ul style="list-style-type: none"> <li>Brick may have the appearance of painted or "washed" if in context with the architectural theme being portrayed and only in limited situations.</li> <li>Wall colors should be appropriate to the architectural style of the home. Diversity of color is encouraged throughout the development. High chroma, bright colors should be avoided.</li> <li>Homes with brick or stone on the front elevation shall include a matching brick or stone plinth on side elevations with a minimum height of 24 inches.</li> <li>Exposed PVC, such as for vents, utility service, etc., is required to be located on the rear elevation or the rear half of a side elevation and be painted to match the color of adjacent materials and finishes.</li> </ul>

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**DARBY BRAESIDE**



	Configuration	Materials	Technique & Colors
<b>Windows, Garages &amp; Doors</b>	<ul style="list-style-type: none"> <li>All windows and doors are required to have trim, with the exception of facades composed of masonry.</li> <li>Garages are required to be side loaded and any additional garage space above 4 cars must be provided with a detached carriage house, except courtyard where a 3 and 3 configuration is acceptable.</li> <li>Style appropriate carriage doors are required on all garages. All carriage doors require glazing and style appropriate details.</li> </ul>	<ul style="list-style-type: none"> <li>Glazing, wood trim, wood grids. Wood with aluminum or vinyl clad are acceptable.</li> <li>Glass shall be clear. Windows only on garage doors or into bathrooms may be clear, frosted, tinted, or stained glass.</li> <li>Front doors shall be of a style appropriate to the style of the house.</li> <li>Garage doors may be natural or synthetic materials with natural appearance.</li> </ul>	<ul style="list-style-type: none"> <li>Grids and windows shall be appropriate in style to the house.</li> <li>Windows shall be consistent on all four sides</li> </ul>
<b>Roofs &amp; Fireplaces</b>	<ul style="list-style-type: none"> <li>Sloped roof are required on all homes.</li> <li>Pitched roofs shall have 8" overhangs, or as appropriate for the style of the house.</li> <li>Doghouse and cantilevered chimneys shall be prohibited.</li> </ul>	<ul style="list-style-type: none"> <li>Natural or simulated slate or tile.</li> <li>Dimensional shingles (40-50 year).</li> <li>Wood shakes</li> <li>Copper.</li> <li>Single-ply membrane roofs allowed when hidden from public view.</li> <li>Painted metal</li> </ul>	<ul style="list-style-type: none"> <li>Use of cornice lines are encouraged.</li> <li>Bright colored roofs are not allowed.</li> </ul>
<b>Lighting</b>	<ul style="list-style-type: none"> <li>All lighting is to be directed downward.</li> <li>Sconce lights shall not be mounted higher than 7' above finished floor elevation.</li> <li>Porch light fixtures shall not be mounted higher than 12' above finished floor elevation.</li> <li>Lamp posts shall be located within 20' of the house and shall not encroach into sideyard setbacks</li> <li>Site lighting shall be downlights and full cut-off. Spotlights and floodlights shall be attached to the house. Uplights shall be prohibited.</li> <li>Landscape uplighting may be permitted with DRB approval.</li> </ul>	<ul style="list-style-type: none"> <li>Antiqued and painted materials including brass, steel, aluminum and copper are acceptable.</li> <li>Fixtures with exposed bulbs are not permitted.</li> </ul>	<ul style="list-style-type: none"> <li>Lighting should display a uniform, comfortable and warm appearance.</li> </ul> <p style="text-align: right;">* DRAFT</p>

## DARBY BRAESIDE

## **C. SINGLE FAMILY LOT LANDSCAPE DESIGN STANDARDS**

### **1. Residential Neighborhood Landscape Standards**

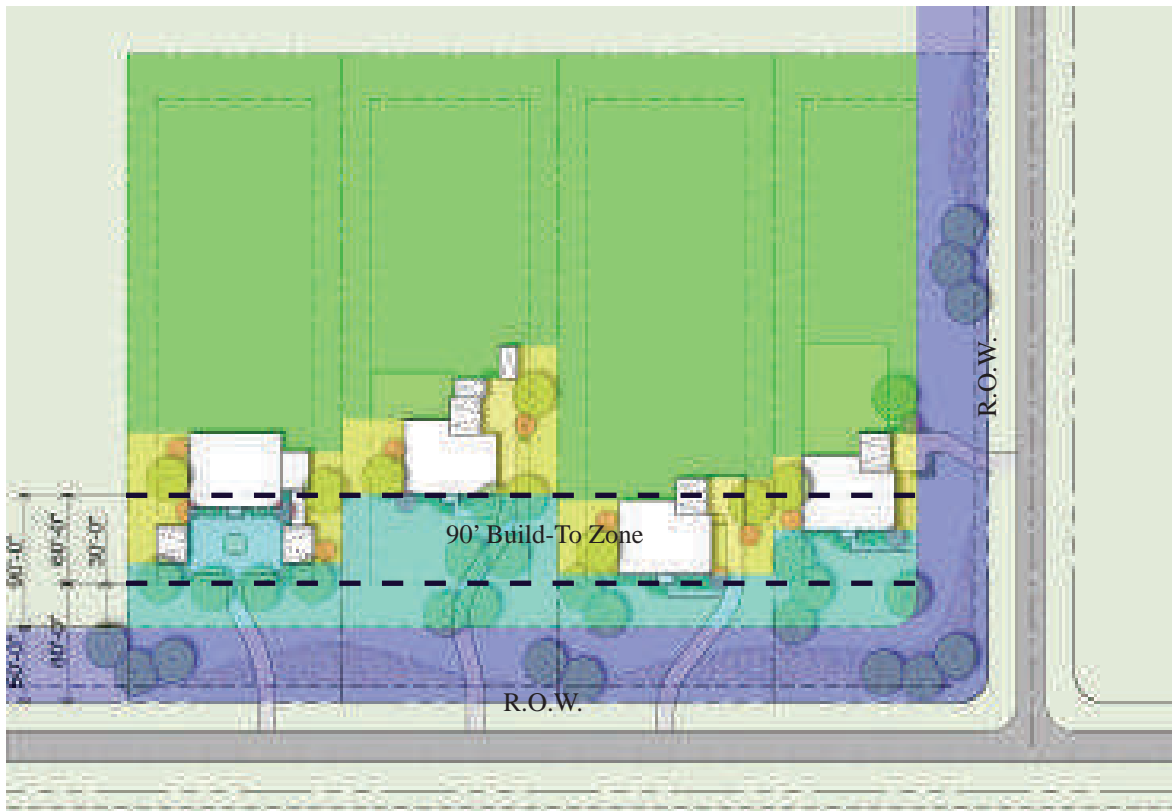
Design Intent: Purpose and design intent of this subchapter is to outline design quality parameters for the residential sub areas throughout Darby Braeside, as well as promote the preservation and replacement of trees removed through development. These guidelines are provided as recommendations for various site conditions and design elements. The following matrix identifies the specific minimum site design and landscaping requirements. All site layouts and planting plans shall be subject to design review and approval by the DRB prior to any site work or installation. Landscape plans must be submitted indicating landscaping for the entire lot, including required landscaping, utility screening, and intended outdoor living areas such as patios or decks and play equipment. All side entry garages must be screened from adjacent lots. The landscape plans exclusive of seed/sod, and irrigation systems should cost a minimum of \$10,000.



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**DARBY BRAESIDE**

## 2. Single Family Lot Zone Diagram



**Street Zone** is the 50 foot setback from street right-of-way that is reserved for street trees and meadow grasses that help to develop the character of the community and will be designed, installed, and maintained by the developer or Home Owners Association. Areas defined as mowed turf shall be maintained by the lot owner.

**Front Yard Zone** is the area between the 50 foot setback line of the Street Zone to the front line of the primary structures. See Landscape Requirements 2 a. Foundation Planting, 2 c. Additional Foundation Planting and 4. Trees.

**Side Yard Zone** is the area between the front and rear corner of the primary structures to the side lot lines. See Landscape Requirements 2 b. Secondary Foundation Planting, 2 c. Additional Foundation Planting and 4. Trees.

**Rear Yard Zone** is the area between the rear line of the primary structures to the rear lot line.

**Build-To Zone** is the 90 foot area, 80 to 140 feet from the street right of way, designated for placement of the front building lines and can vary within this range.

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**DARBY BRAESIDE**

### 3. Single Family Lot Development Matrix

Landscape Requirements	Main Drive Lots	Cul de sac Lots	Creek Side Lots
1. Lot Entries			
a. Driveways	Driveways shall not exceed sixteen feet in width (excluding auto-courts). Drive-way gates, piers, and lights shall be prohibited within any front or side yard setback.		
b. Auto-courts	Auto-courts of side-loaded garages shall be screened from the street and from adjoining lots with a 4 foot screen consisting of hedge, plantings, decorative fence, or walls complimentary with building architecture and materials.		
2. Landscaping			
a. Foundation Planting: Primary Street Frontage	<ul style="list-style-type: none"><li>• A planting bed shall be provided along the length of the entire elevation fronting a primary street, except for locations of doors and garage access and shall be a minimum depth of 6 feet at any point.</li><li>• The planting beds shall have one (1) ornamental tree and a continuous, full coverage planting of shrubs at minimum size at installation. Plantings shall be a mix of small and intermediate sizes, a mix of species, and a mix of evergreen and deciduous materials.</li><li>• Planting should be designed to coordinate with the architectural features of the adjoining building elevations.</li></ul>		
b. Secondary Foundation Planting: Corner lots, secondary street frontage, or other side elevations with exposed views (per DRB)  <i>The landscape plan must be approved by the DBR.</i>	<ul style="list-style-type: none"><li>• A planting bed shall be provided along the length of the entire elevation fronting a secondary street, except for locations of doors and garage access and shall be a minimum depth of 3 feet at any point.</li><li>• The planting beds shall be a continuous, full coverage planting of shrubs at minimum size at installation. Plantings shall be a mix of small and intermediate sizes, a mix of species, and a mix of evergreen and deciduous materials.</li><li>• Planting should be designed to coordinate with the architectural features of the adjoining building elevations.</li><li>• Corner lots, lots adjoining common open space, and lots that terminate streets or prominent vistas will be held to a higher standard of design and may be required to provide additional landscaping to meet DRB approval.</li></ul>		

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**DARBY BRAESIDE**

Landscape Requirements	Main Drive Lots	Cul de sac Lots	Creek Side Lots
<b>c. Foundation Planting: Minimum Plant Quantities</b>	The Landscape Plan must be approved by the DRB.		
<b>d. Foundation Planting: Additional Plant Qualities</b>	The Landscape Plan must be approved by the DRB.		
<b>3. Tree Preservation and Replacement</b>	The Landscape Plan must be approved by the DRB.		
<b>4. Trees</b>	<ul style="list-style-type: none"> <li>• Front Yard Zone: Trees may be arranged along the driveway or in clumps with in the Front Yard Zone. <ul style="list-style-type: none"> <li>• 30 feet from Street Zone-2 shade trees (min.)</li> <li>• 31-59 feet from Street Zone-4 shade trees (min.)</li> <li>• 60-90 feet from Street Zone-6 shade trees (min.)</li> </ul> </li> <li>• Side Yard Zone: One shade tree and one ornamental tree is required in the Side Yard Zone per side elevation. Trees should be arranged to break up the building elevations or to correspond with building architecture.</li> </ul>		

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**DARBY BRAESIDE**



Landscape Requirements	Main Drive Lots	Cul de sac Lots	Creek Side Lots
<b>5. Plant Material Specifications at installation</b>	<ul style="list-style-type: none"> <li>Deciduous shade trees: 2.5 inch caliper</li> <li>Ornamental Trees: 1.5 inch caliper (if multi-stem: 6' tall)</li> <li>Small Shrubs (Plants that mature to a height of up to 36 inches) <ul style="list-style-type: none"> <li>18 inches minimum height</li> </ul> </li> <li>Intermediate Shrubs (Plants shall mature to a height of 36 inches to 7 ft) <ul style="list-style-type: none"> <li>24 inches Minimum Height.</li> </ul> </li> <li>All front-yard trees shall be selected from the approved plant list.</li> <li>All plants shall meet or exceed the standards defined in ANSI Z60.1: American Standards for Nursery Stock.</li> </ul>		
<b>6. Lawn</b>	For all lots, lawn may be seed or sod. Some lots will be required to have meadow grasses, to a varying degree, to the front of the house, in the Street Zone, these areas can be identified on the master plan.		
<b>7. Service Screening</b>	<ul style="list-style-type: none"> <li>All utility meters, air conditioning equipment, exhaust pipes, valve covers, irrigation equipment, other service structures, and architectural bump-outs shall be located to the side or rear of the building and shall be screened from view from any street.</li> <li>Screen materials may include evergreen shrubs, a mix of evergreen and deciduous shrubs, decorative fences, or walls.</li> <li>All materials shall be consistent with the home's architecture and landscaping and shall reach a mature height that at minimum matches the height of the item being screened.</li> <li>Exposed PVC vents, pipes, and risers shall be painted to blend with architecture. Utilities permitted within front yards with DRB approval shall be screened.</li> </ul>		
<b>8. Mailbox</b>	Mailbox, post, and address numbers and name plates shall be of a standard style specified by the master developer.		
<b>9. Recreational Facilities</b>	e.g. pools, tennis courts and basketball courts, must be located at the rear of the house and require DRB approval. All ancillary structures require DRB approval.		
<b>10. LP6 Fuel Tanks</b>	All LP6 fuel tanks are to be buried.		
<b>11. Satellite Dishes</b>	All satellite dishes are limited to 2/lot and are to be hidden from the street.		

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## DARBY BRAESIDE

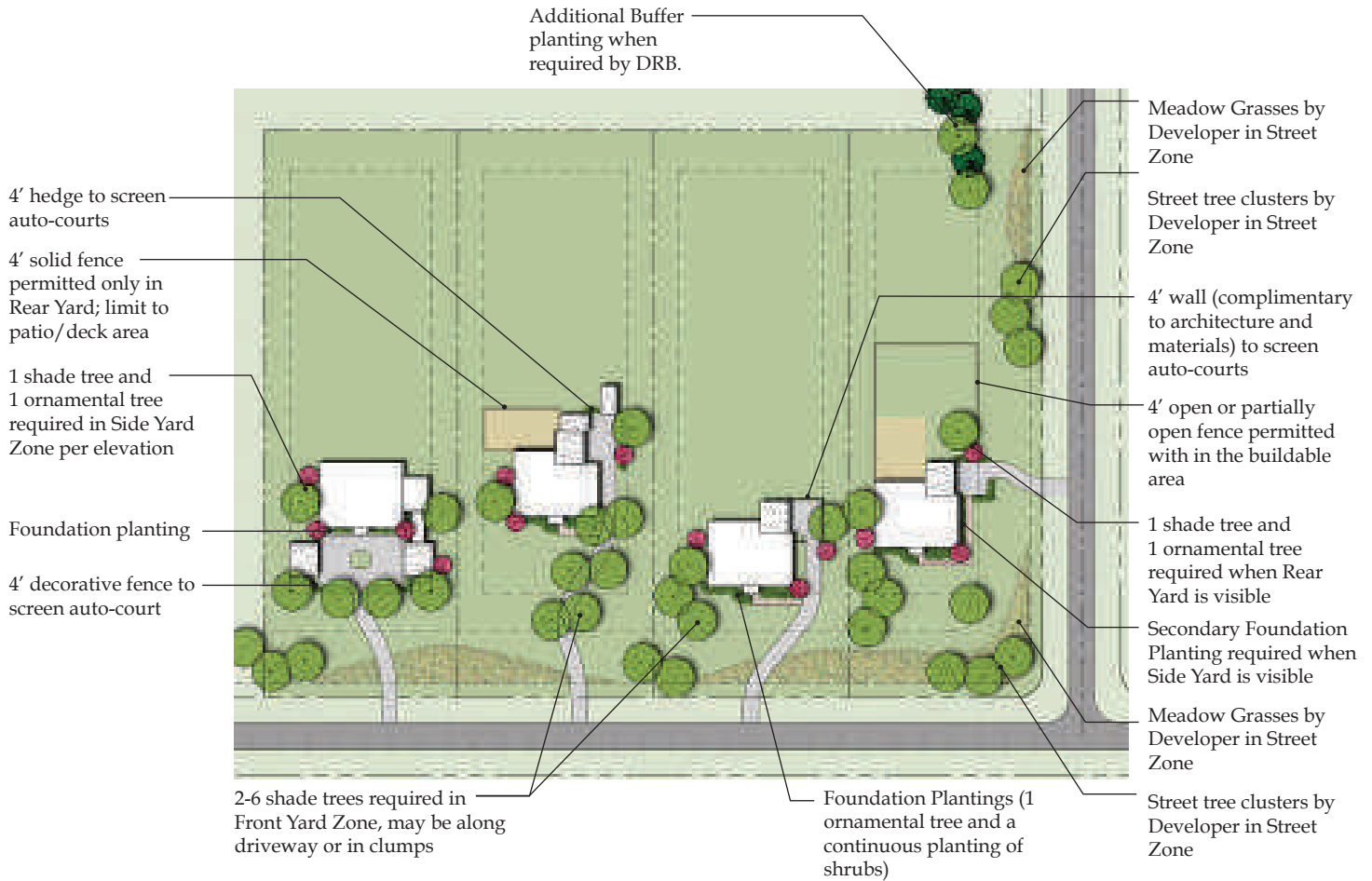
## Fencing

- 1) Permitted fencing:
  - a) Open fences: A fence constructed for its functional, ornamental or decorative effect and, when viewed at right angles, having not less than 50 percent of its vertical surface area open to light and air. See Detail for examples.
    - i) Open or partially open, (ornamental or decorative) fences shall be permitted and shall be no greater than four feet in height above the established grade, unless otherwise permitted herein. The partially open or open fence may be located only within the buildable area of the lot. These fences may be used to enclose the entire perimeter of the rear yard.
    - ii) Partially open or open accent fences may be located within the buildable area forward of the primary structure if limited to four feet in height and designed to only partially enclose an area.
    - iii) Wire mesh fencing may be permitted when permanently fastened to the inside of a permitted open or partially open fence, with DRB approval.
    - iv) Pool fencing shall be ornamental and the appearance and shall meet the approval of the DRB. Height and design parameters shall otherwise be governed by applicable state and local laws or health department regulations.
    - v) Open fences include 2, 3, and 4 rail fence, split rail fence, accent fence, and wrought iron fence.
    - vi) Partially open fences include picket fence, arbor fence, and trellis fence.
  - b) Solid fences: A fence designed to inhibit public view and provide seclusion and, when viewed at right angles, having more than 50% of its vertical surface area closed to light and air. See Detail for examples.
    - i) Solid fences shall be permitted only in rear yards and shall be no greater than four feet in height, unless otherwise permitted herein, and shall not be used to enclose the entire perimeter of the property.
    - ii) Such fences shall be located within the buildable area of the lot and only be used to enclose a deck or patio.
    - iii) Solid fences shall not be located within a required side and rear yard and design and appearance must be approved by the DRB.
    - iv) Solid fences include board on board fence, alternating board on board fence, louver fence, ventilating fence, solid picket fence, stockade fence, palisade fence, and wall, stone or brick.
- 2) A maximum of 20% of the lot may be fenced.
- 3) Prohibited fencing
  - a) Chainlink,
  - b) Electrified, barbed wire, razor wire, and stockade fences.
  - c) Vinyl clad, plastic or pvc (polyvinylchloride) fences.
- 4) Other fencing:
  - a) The DRB may permit other fences similar in character and design to one or more of the permitted fences herein, upon application.
- 5) The use of landscape buffers using mixed plant material is encouraged where screening is desired.

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**DARBY BRAESIDE**

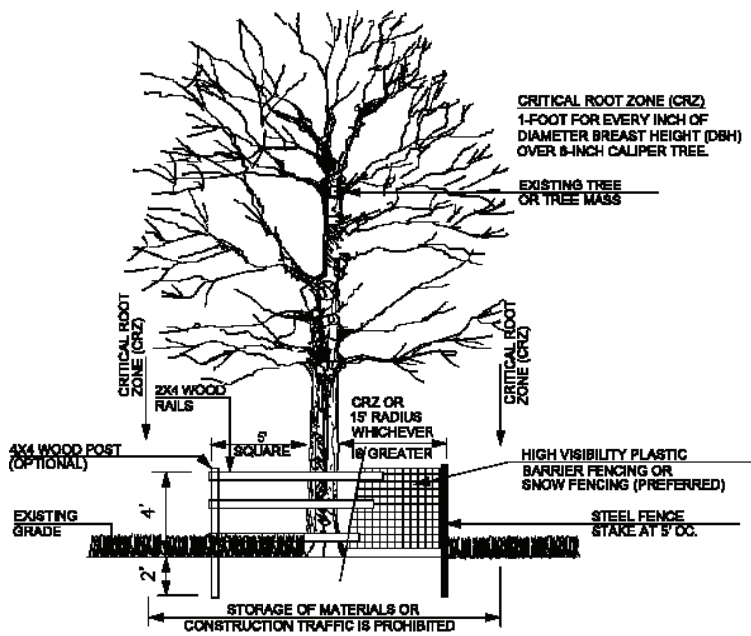
#### 4. Single Family Lot Landscape Design Diagram



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**DARBY BRAESIDE**

## 5. Details



a. Tree Protection Detail

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**DARBY BRAESIDE**

## 6. Reference Images



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**DARBY BRAESIDE**



<b>Plant List: Front Yard Shade Trees</b>	
<b>Botanical Name</b>	<b>Common Name</b>
Acer platanoides	Norway Maple
Acer rubrum	Red Maple
Acer saccharum	Sugar Maple
Acer x freemanii	Freeman Maple (various cultivars)
Betula nigra 'Heritage'	Heritage River Birch
Carpinus betulus	European Hornbeam
Carpinus caroliniana	American Hornbeam
Carya ovata	Shagbark Hickory
Corylus colurna	Turkish Filbert
Fagus grandiflora	American Beech
Fagus sylvatica	European Beech
Ginkgo biloba	Ginko
Gleditsia triacanthos var. inermis	Thornless Honeylocust
Gymnocladus dioica	Kentucky Coffeetree
Liquidambar styraciflua	Sweetgum
Liriodendron tulipifera	Tuliptree
Nyssa sylvatica	Blackgum
Quercus alba	White Oak
Quercus palustris	Pin Oak
Quercus rubra	Red Oak
Quercus shumardii	Shumard Oak
Ulmus x (various improved varieties)	Elm
Zelkova serrata	Zelkova

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**DARBY BRAESIDE**

<b>Plant List: Ornamental Trees</b>	
<b>Botanical Name</b>	<b>Common Name</b>
Acer ginnala	Amur Maple
Acer griseum	Paperbark Maple
Acer palmatum	Japanese Maple
Acer tataricum	Tatarian Maple
Amelanchier laevis	Alleghany Serviceberry
Amelanchier x grandiflora	Apple Serviceberry
Betula nigra 'Fox Valley'	Fox Valley River Birch
Cercis canadensis	Redbud
Cornus alternifolia	Pagoda Dogwood
Cornus kousa chinensis	Chinese Dogwood
Cornus mas	Cornelian Cherry
Crataegus (various)	Hawthorn
Halesia carolina	Carolina Silverbell
Magnolia virginiana	Sweetbay Magnolia
Malus (various)	Flowering Crabapple
Prunus (various)	Flowering Cherry / Plum
Quercus glandulifera	Konara Oak
Sassafras albidum	Sassafras
Syringa reticulata	Japanese Tree Lilac
<p>Notes: Each species of plant has unique growth characteristics. Likewise, each species of plant has varying needs for particular site conditions. Plants from this list should be matched to appropriate locations, considering the unique conditions of each site, including soil characteristics, drainage, micro climate and seasonal changes, maintenance availability. Plants should be scrutinized for ultimate size, growth rate, and need for maintenance, so as not to over-grow their intended locations. No plant stops growing once it reaches it's "mature" size. It is recommended that a horticulturist and/or a landscape architect be consulted when choosing landscape materials and locations.</p>	

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**DARBY BRAESIDE**

FEMA Flood Plain affects Lots 1 thru 13 and is shown on sheets 12 & 13. Flood plain is shown based on Flood Insurance Rate Map No. 3908080139C dated October 6, 2006, revised to reflect LOMR effective January 11, 2008.



SHEET INDEX

ENGINEER

OWNER

SURVEYOR

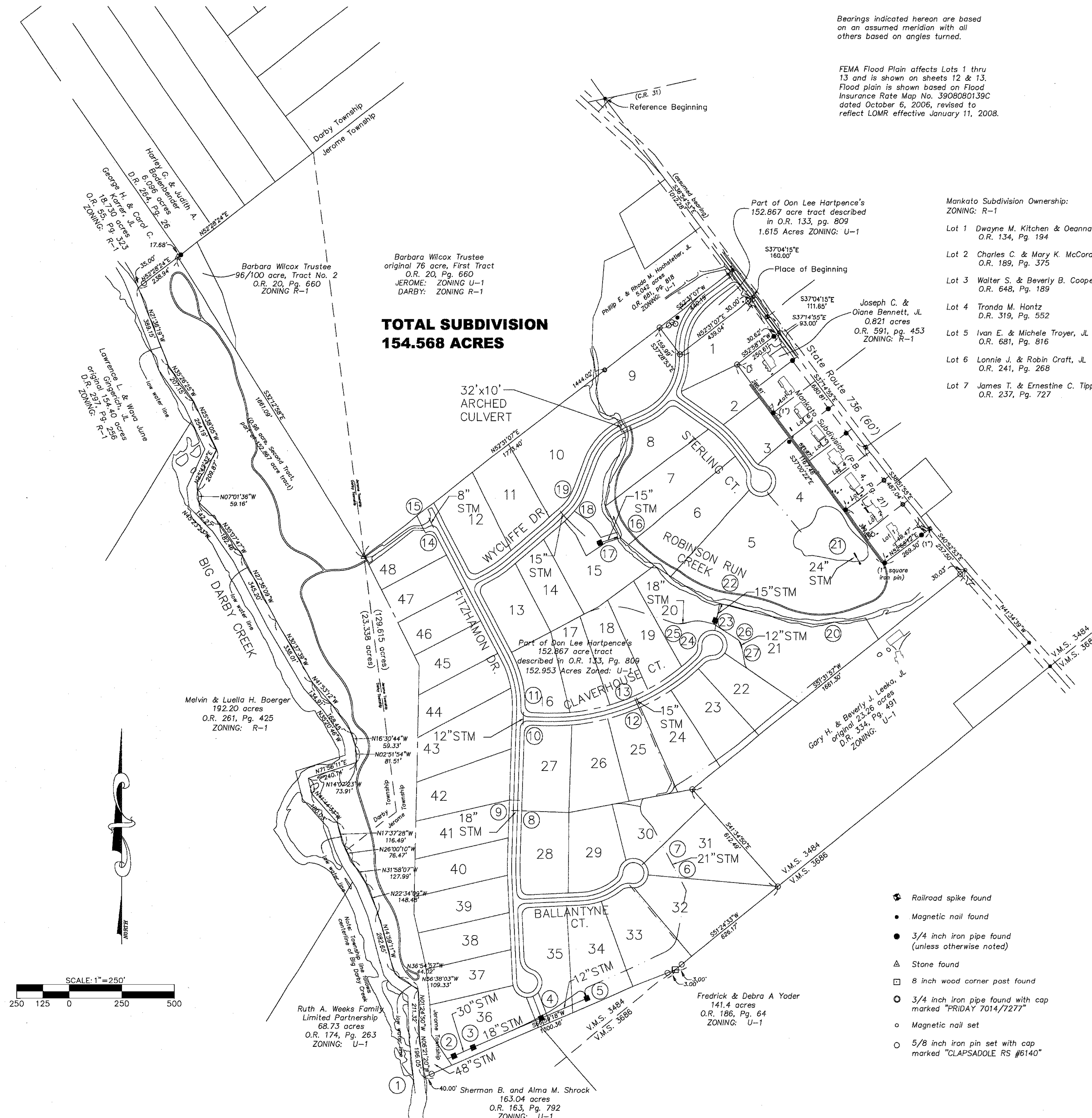
THIS IS NOT A  
STAMPED OR  
SIGNED DRAWING

TITLE SHEET.

ISSUED:	
Preliminary	07-17-2008
	07-19-2010
	07-18-2012
	05-18-2015
Construction	
As Built	

1 of 30

1 of 30





**UNION COUNTY**  
HEALTH DEPARTMENT

940 London Ave  
Suite 1100  
Marysville, Ohio 43040

Administration  
Environmental Health  
Health Education  
(937) 642-2053  
Fax: (937) 645-3047

Help Me Grow  
Nursing  
(937) 642-2053  
Fax: (937) 642-9725

Toll Free  
1-888-333-9461

WEB Address  
[www.uchd.net](http://www.uchd.net)

HEALTH COMMISSIONER  
Mr. Jason E. Orcena, MA

BOARD OF HEALTH  
Mr. James "Al" Channell  
President

Mr. Rod Goddard  
Vice-President

Ms. Donna Burke

Dr. Carol Karrer

Dr. Justin Krueger

Mr. Eric Milholland

Mr. Keith Watson

June 10, 2015

Ballantyne Family Partnership  
1119 Regency Drive  
Columbus, Ohio 43220  
Attn: Wayne Ballantyne

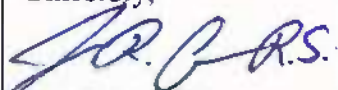
RE: Preliminary Plat for Darby Braeside Subdivision 2015

Dear Mr. Ballantyne:

After meeting with you and Bill Pizzino, PE on June 9, 2015 and discussing the types of changes that will be required, I feel comfortable moving forward and approving the preliminary plat. As previously stated in my letter dated June 5, 2015, the Union County Board of Health will need to issue a more up-to-date letter prior to the approval of the final construction drawings.

If you have questions, comments or concerns, please feel free to contact me directly at (937) 645-2041 or via email at [jim.cogar@uchd.net](mailto:jim.cogar@uchd.net).

Sincerely,



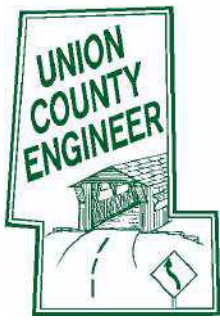
Jim Cogar R.S.  
Deputy Director  
Environmental Health  
Union County Health Department

cc: Bradley J. Bodenmiller - Planner II | LUC Regional Planning Commission

Our mission is to protect the  
health, safety and well-being  
of all Union County by  
providing quality public health  
services.

An equal opportunity  
employer/ provider





**County Engineer  
Environmental Engineer  
Building Department**  
233 W. Sixth Street  
Marysville, Ohio 43040  
P 937. 645. 3018  
F 937. 645. 3161  
[www.co.union.oh.us/engineer](http://www.co.union.oh.us/engineer)

**Marysville Operations Facility**  
16400 County Home Road  
Marysville, Ohio 43040  
P 937. 645. 3017  
F 937. 645. 3111

**Richwood Outpost**  
190 Beatty Avenue  
Richwood, Ohio 43344

*Public Service with integrity*

June 5, 2015

Bradley Bodenmiller  
9676 E. Foundry St. PO Box 219  
East Liberty, Ohio 43319

Re: Darby Braeside Subdivision  
Preliminary Plat Review

Bradley,

We have completed our review for the above plans received May 26, 2015 and recommend it to be approved with the following modifications:

1. Zoning will need to be approved through Jerome Township prior to the approval of the final plat. Please note that Jerome Township revised their zoning code in May of 2015, which may have an effect on this development. Please contact Jerome Township for further information.
2. ODOT access approval will need to be submitted.
3. Health Department approval will be needed prior to construction drawing approval by our office. While lots appear to meet minimum size requirements, the effective buildable area of many lots is significantly reduced by the presence of the flood plain.
4. Any new construction, filling or storage of materials within a designated FEMA flood hazard areas will be required to get a Flood Hazard Permit through the Union County Building Department.
5. Show 2' berm on pavement cross section.
6. Show cross section for 24' width pavement.
7. Provide design details for the arched culvert crossing.
8. Reroute existing drive at 8717 SR 736 to Wycliffe Dr.
9. Show the 100yr storm elevations for the ditches throughout the site.
10. All reserves with detention basins need to have access provided with maintenance easements.
11. Stormwater easements for swales should be at least 30' wide or the width of the water spread, whichever is greater.
12. Submit stormwater calculations.
13. Provide calculations for culvert sizing.
14. What is pavement section of walking path – delineate change of pavement type at the transition from public road r/w (at turn around) to walking path.
15. Provide temp barricade at the end of Fitzhamon and the temporary turnaround.
16. Need to include off-site drainage areas in stormwater trib map.
17. Do not see an easement or any mention of an existing tile along the back side of existing homes on SR 736. Need to investigate tile location, document, reroute (if necessary) and provide easement across subdivision to outlet.

18. Does the Developer still plan to install an entrance feature? Need to provide easement or dedicated Open Space lot at entrance to allow for feature.
19. The following Union County Standard Deed Restrictions shall be placed on the Final Plat: 1-3,5,6b,8-11,14b, and 15.
20. Please submit a copy of the deed restrictions and covenants for review.
21. The Developer will be required to sign a Ditch Petition for the maintenance of off-site storm, ditches, and retention facilities.
22. Submit copy of EPA Stormwater NOI (when available)

In accordance with Subdivision Regulations of Union County, additional information is required from the developer prior to final plat approvals. It is the responsibility of the developer to become familiar with the regulations and file requisite information within the time frames outlined in the regulations. Should you have any questions, feel free to contact me at (937) 645-3122.

Sincerely,



Luke Sutton  
Project Engineer  
Union County Engineer





June 4, 2015

Bradley Bodenmiller  
LUC Regional Planning Commission  
9676 E. Foundry St.  
East Liberty, OH 43319

RE: URE notes for Darby Braeside

Brad,

Ron Rockenbaugh and Martin Nicol noted comments per paper drawings received 05/26/15. Drawing set of 30 pages issued preliminary drawings for Darby Braeside, Dated 05/18/15:

1) Drawing 1/30 – Title Sheet

- a) Noted 48 lots in a subdivision of 154.568 Acres – URE CIAC will be based on material/labor cost per Single – Family Residence per Terms and Conditions for Supplying Electric Service.
  - Average of 0.31 Lots / Acre
  - Or
  - 3.22 Acres / Lot
- a) Will roadways be dedicated public roadways maintained by a governmental authority?
- b) Request 10 ft easement adjacent to Mankato Subdivision. Easement to be used to serve lots 1 through 4 from Mankato Subdivision facilities. URE propose to replace existing overhead with underground facilities.
- c) Proposed to provide one side of a loop development with a tap between lots 1 and 2 from Mankato Subdivision circuit.
- d) Propose to serve the majority of lots from road with offsets to transformer locations closer to the homes.
- e) Request AutoCAD drawings when available for URE mapping system to review for possible layout considerations and CIAC estimates.
- f) URE request easement facilities from proposed layout be included on the final plat.
- g) Will any of the basins require electric service?
- h) Will electric service be required for entrance or street lighting?
- i) Does developer known the service requirements of the homes? 200 amp or 320 amp services.

2) Drawing 2/30 – Typical Section & Details

- j) Because home location are setback from roadway URE may need to offset transformers on property lines opposite side of sewage absorption area.

- k) URE will not cross sewage absorption areas.
  - l) What are the restriction for the 50 ft isolation radius at the wells?
  - m) When possible URE request transformers to be placed on property line to serve two homes (minimal).
  - n) Require 20 ft easement for primary and secondary facilities to reach transformer / pedestal locations. When on property line require 10 ft easement on each of the adjacent properties.
  - o) Note URE road crossing drawing (attached) for Typical Pavement Section
  - p) Noted Road Right-of-way at 60 ft.
- 3) Drawing 3/30 – General Notes & Quantities
- q) Under Utilities: Request some type of reference to URE's road crossing conduit requirements. See attachment to email
  - r) Under Utilities: Developer to install conduit crossings for Robinson Run Creek or other such waterways per Ohio EPA requirements.
- 4) Drawing 4 & 5/30 – Plan/Profile Wycliffe Dr.
- s) Noted 10 ft utility easement on both sides of roadways. Need to have a total of 20 ft easement if additional easements are adjacent.
  - t) Request 20 ft easements adjacent to SR 736 road right of way.
  - u) Verify setback designations have easement reserved for Private Utilities consisting of Electric, Phone and Cable (acceptance of joint use agreement)
- 5) Drawing 6 & 7/30 – Plan/Profile Fitzhamon Dr.
- b) Noted 10 ft utility easement on both sides of roadways. URE require 20 ft easements.
  - c) Verify setback designations have easement reserved for Private Utilities consisting of Electric, Phone and Cable (acceptance of joint use agreement).
- 6) Drawing 8/30 – Plan/Profile Sterling CT. & Ballantyne Ct.
- d) Same as Item 5 above.
- 7) Drawing 9/30 – Plan/Profile Claverhouse Ct.
- e) Same as Item 5 above.
- 8) Drawing 10/30 – Overlot Grading/Utilities
- f) URE will not be responsible for silt fence if placed in easement area for lots 1 through 4.
  - g) Noted 10 ft utility easement on both sides of roadways. URE require 20 ft easements per Terms and Conditions for Supplying Electric Service.
- 9) Drawing 11/30 – Overlot Grading/Utilities
- h) URE will not be responsible for sediment fence if placed in easement area.

- i) Noted 10 ft utility easement on both sides of roadways. URE require 20 ft easements per Terms and Conditions for Supplying Electric Service.
- 10) Drawing 12/30 – Overlot Grading/Utilities
- j) URE will not be responsible for sediment fence if placed in easement area.
  - k) Noted 10 ft utility easement on both sides of roadways. URE require 20 ft easements per Terms and Conditions for Supplying Electric Service.
- 11) Drawing 13/30 – Overlot Grading/Utilities
- l) URE will not be responsible for sediment fence if placed in easement area.
  - m) Noted 10 ft utility easement on both sides of roadways. URE require 20 ft easements per Terms and Conditions for Supplying Electric Service.
- 12) Drawing 14/30 – Overlot Grading/Utilities
- n) URE will not be responsible for sediment fence if placed in easement area.
  - o) Noted 10 ft utility easement on both sides of roadways. URE require 20 ft easements per Terms and Conditions for Supplying Electric Service.
- 13) Drawing 15/30 – Storm Profiles
- p) No comments
- 14) Drawing 16 - 29/30 – Cross Sections
- q) No comments
- 15) Drawing 30/30 – Erosion Control
- r) URE will not be responsible for silt / sediment fence if placed in easement area.

Please contact me with questions or concerns.

Thanks,  
Ron Rockenbaugh  
Manager of Engineering Services  
Union Rural Electric Cooperative, Inc.  
PO Box 393  
15461 US Route 36  
Marysville, Ohio 43040  
Cell: (937) 537-0369  
Direct: (937) 645-9241

THE PARTY IN CHARGE OF THE TRENCHING ALSO HAS THE FOLLOWING RESPONSIBILITIES IN ORDER TO MAINTAIN A SAFE AND EFFECTIVE UNDERGROUND CABLE INSTALLATION

1.) SCHEDULING OF URE TRENCH / CONDUIT INSPECTION MUST BE AT LEAST 2 DAYS IN ADVANCE. FAILURE TO PROPERLY COORDINATE THIS WORK WITH URE MAY RESULT IN ADDITIONAL TRIP CHARGES(S) AND/OR ADDITIONAL EXCAVATION COSTS TO THE CUSTOMER. URE SHALL DETERMINE THE ROUTING OF THE TRENCH

2.) NOTIFY OHIO UTILITIES PROTECTION SERVICE (OUPS) 800-362-2764 AT LEAST TWO WORKING DAYS PRIOR TO TRENCHING. THIS ALLOWS TIME TO LOCATE EXISTING UNDERGROUND FACILITIES.

3.) ENTIRE TRENCH ROUTE MUST BE AT LEAST 36 INCHES MINIMUM DEPTH.

4.) CLEARING OF ALL DEBRIS AND STONE FROM THE OPEN TRENCH.

5.) REPAIRING OR RETRENCHING CAVE-INS ETC. AS REQUIRED BY URE

6.) IF DITCH IS NOT ADEQUATE WHEN A LINE CREW ARRIVES, A TRIP CHARGE ACCORDING TO THE COOPERATIVE'S TERMS AND CONDITIONS FOR SUPPLYING ELECTRIC SERVICE WILL BE ASSESSED.

7.) THE PROPERTY OWNER/EXCAVATOR HAS FULL RESPONSIBILITY FOR REPAIRING CUT/DAMAGED DRAIN TILE OR ANY UNDERGROUND FACILITIES SUCH AS WATER LINES, LEACH BEDS, ELECTRICAL LINES, ETC.

8.) HAND DIG AREAS WHICH ARE WITHIN 2' OF URE OWNED EQUIPMENT.

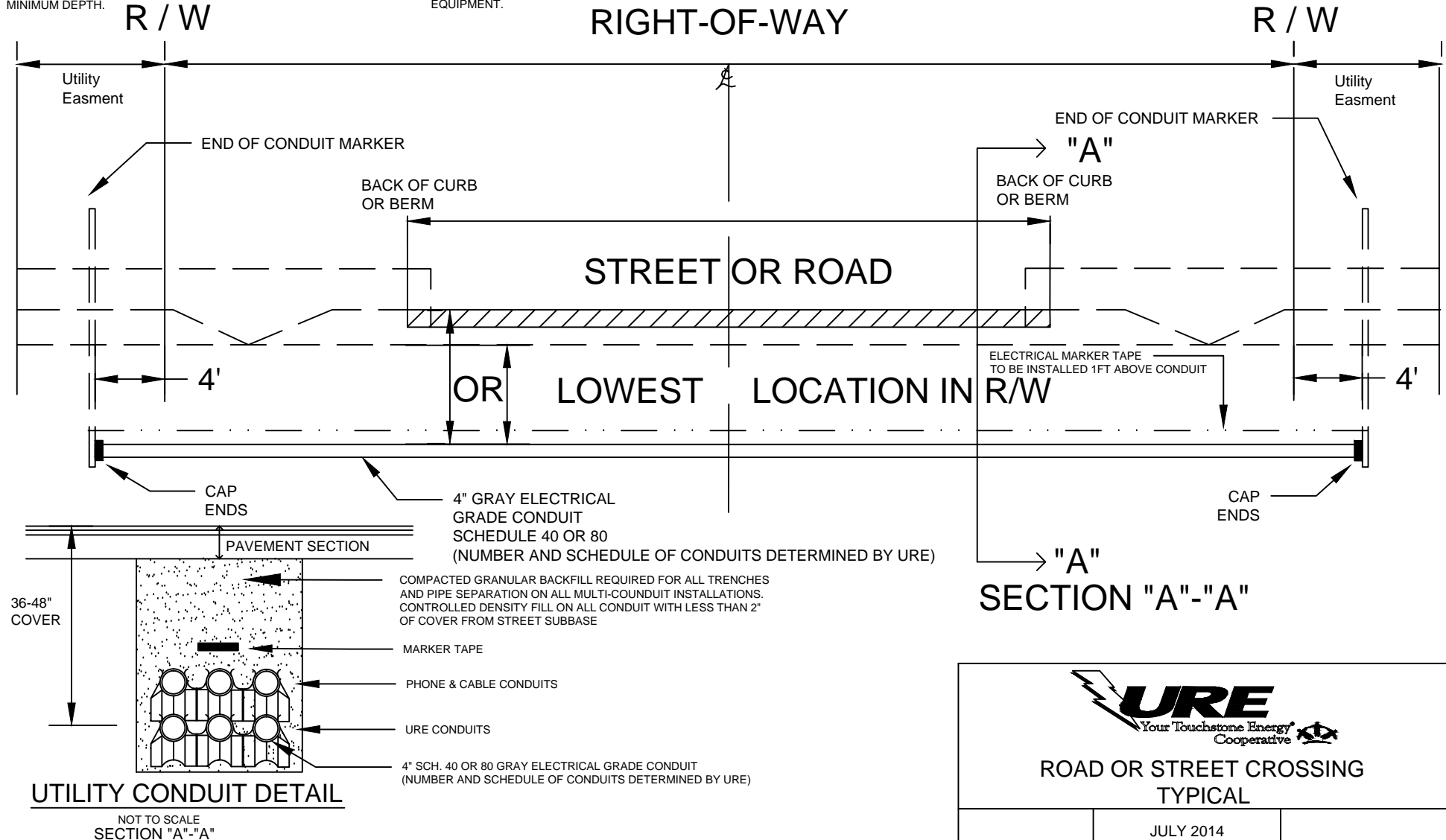
9.) CALL (937) 642-18-26 OR (800) 642-1826 FOR ADDITIONAL INFORMATION AS NECESSARY.

10) CONDUIT TO HAVE A MINIMUM PITCH OF 1 INCH PER 10 FEET.

11) INSTALL CONDUIT MARKERS AT ENDS.

12) CAP CONDUIT ENDS.

13) BACKFILL PER GOVERNMENT AUTHORITY OR COMPACTED GRANULAR BACKFILL TO BE MACHINE TAMPED WITH EVERY 6 INCHES OF RISE USING ODOT 304 CRUSHED AGGREGATE.



**URE**  
Your Touchstone Energy  
Cooperative

**ROAD OR STREET CROSSING  
TYPICAL**

JULY 2014



**Staff Report – Jerome Township Zoning Amendment**

<b>Applicant:</b>	Jerome Township c/o Anita Nichols 9777 Industrial Parkway Plain City, Ohio 43064 (614) 873-4480
<b>Request:</b>	This request is to review a zoning text amendment to the Rural Residential (RU) District of the Jerome Township Zoning Resolution. The amendment proposes to reduce the minimum lot size from 2 acres to 1.5 acres, to reduce the minimum lot frontage from 200 feet to 150 feet, and prohibits flag lots having an access strip less than the minimum width of 150 feet.
<b>Location:</b>	Jerome Township is in Union County.

<b>Staff Analysis:</b>	<p>The Township increased the minimum lot size and minimum lot frontage when it passed its new Zoning Resolution. This moved those minimums closer to the recommendations in the Comprehensive Plan.</p> <p>Prior to that increase, earlier this year, the U-1 minimum lot size was 65,400 square feet with on-site sewage and 20,000 square feet with group or central sewage treatment. The U-1 minimum lot width was 150 feet.</p> <p>The Comprehensive Plan recommends lot splits in the Agriculture/Rural areas to be a minimum 3 acres in size or larger to meet county requirements for septic and well systems. Where utilities become available, conservation Planned Development Districts should be contemplated. Additionally, lot splits in the Low Density District are recommended to be closer to 3 acres due to the soil and lot size requirements for on-site septic systems.</p> <p>Staff notes the <i>“purpose and intent of the RU District is to preserve the rural character and provide for land which is suitable or used for very low density residences.”</i></p> <p><b>• Union County Health Department</b> Staff requested comments from the Union County Health Department regarding this proposal. The Department indicated that 3-4 bedroom houses have sewage treatment</p>
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## Staff Report – Jerome Township Zoning Amendment

	<p>systems (STS) that range between 160 feet to 208 feet long. A lot that is too narrow or too shallow can be problematic, depending on the direction that the contours run. For more information, refer to the email and diagram provided by the Health Department.</p> <p>Also, the Health Department offered comments about RU District regulations unrelated to minimum width and lot size. If the Township is interested in inclusion of those comments, staff recommends submitting a new Zoning Amendment. This is because staff recommends those comments apply to more districts than just the RU District.</p>
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<b>Staff Recommendations:</b>	Staff recommends <b><i>DENIAL</i></b> of the proposed zoning amendment based on the purpose and intent of the RU District, the Comprehensive Plan, and the practical reasons submitted by the Union County Health Department.
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<b>Z&amp;S Committee Recommendations:</b>	
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**From:** Jim Cogar [<mailto:jim.cogar@uchd.net>]  
**Sent:** Thursday, June 04, 2015 3:54 PM  
**To:** Brad Bodenmiller  
**Cc:** Holly Rast; Marcia Dreiseidel  
**Subject:** Re: Minimum lot size and width

Brad,

Rgarding the Jerome Township Zoning Resolution you sent me, my comments are as follows:

#### **425.02 Accessory Uses and Structures**

1. Accessory buildings or structures normally associated with single family residential use including detached garages, tool or garden sheds, playhouses and swimming pools subject to the requirements of section 645 of this Resolution.

*Would recommend adding something to the effect of.....Prior to approving/permitting the construction of the aforementioned items, including but not limited to ponds, driveways, geothermal systems or any other hardscapes, the Union County Health Department shall be contacted to ensure and approve that any proposed construction or excavation does not encroach within the required isolation distances from existing and replacement sewage treatment system areas and private water systems.*

#### **2. Minimum Lot Frontage**

Lots in the RU District shall have a minimum ~~200~~150 feet of continuous frontage as defined in Chapter 3 of this Resolution.

#### **3. Flag Lots**

Flag lots, having an access strip less than the minimum width of 150 feet, are not permitted within the RU District.

**Requiring a minimum road frontage of 150 feet for flag lots or otherwise has and will continue to cause hardships from both a financial and land use perspective. This is particularly the case when the land contours run parallel to the road, (see attached example). In general, 3-4 bedroom houses have sewage treatment systems (STS) that range between 160 feet to 208 feet long and when land contours run parallel to the road on a lot that is 150 foot wide, it creates financial hardships when designing and installing the STS. The result is a STS footprint that takes up significantly more space than a lot with**

contours running perpendicular to the road or a flag lot with a narrow access strip and a larger more user friendly flag area.

In the interest of progressive public planning and practical land use management, every consideration should be given to approve new parcels that are being proposed with less than 150 feet of frontage when the aforementioned conditions exist.

#### 8. Driveways and parking areas

Driveways and parking areas for any residential use, or any other permitted, accessory, or approved conditional use, shall not be permitted within any side or rear yard setback within the RU District. Except as noted herein, parking areas for any permitted use or approved conditional or accessory use shall not be located within the front yard setback of any property within the RU district.

*Would recommend adding something to the effect of.....Prior to approving/permitting the construction of the aforementioned items, including but not limited to ponds, driveways, geothermal systems or any other hardscapes, the Union County Health Department shall be contacted to ensure and approve that any proposed construction or excavation does not encroach within the required isolation distances from existing and replacement sewage treatment system areas and private water systems.*

#### 425.05 Building and Site Development Standards

The following standards shall apply to the development of all permitted uses and structures, accessory uses and structures, and approved conditional uses and structures within the RU District:

##### 2. Minimum and Maximum Square Footages

- a) Residential Accessory Structures – See Section 645 for regulations concerning accessory structures.
- b) Single Family Dwellings – Single family dwellings in the RU District shall provide a minimum of 1,200 square feet of floor area for a single story dwelling and a minimum of 1,600 square feet of floor area for a split-level or multi-story dwelling. Floor area shall be measured as defined in Chapter 3.

May want to consider revising the square footage requirement from an "overall sq. footage" requirement to a "sq. footage per bedroom" requirement. Meeting with homeowners on a weekly basis and being a home inspector for the SLIPS program (Seniors Living Independently and Safely Program), there is a growing trend and county-wide support for seniors to live longer in their homes, independently. Many of the seniors I meet with express interest in down-sizing and plan to build homes with one or two bedrooms. Situations like these often come with house plans of less than 1200 sq. feet of floor area. In the interest of our seniors, The SLIPS program, and the philosophy of our county and community partners regarding independent living, every consideration should be given for approval when reviewing house plans of less than 1200 sq. feet.

**Thank you,**

Jim Cogar R.S.

Deputy Director

Environmental Health Division

Union County Health Department

940 London Ave. Suite 1100

Marysville, Ohio 43040

Office: (937) 642-2053

Direct: (937) 645-2041

Fax: (937) 645-3047

[jim.cogar@uchd.net](mailto:jim.cogar@uchd.net).

[www.facebook.com/unioncohealthdept](http://www.facebook.com/unioncohealthdept)

[www.uchd.net](http://www.uchd.net)

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On Wed, Jun 3, 2015 at 9:41 AM, Brad Bodenmiller <[bradbodenmiller@lucplanning.com](mailto:bradbodenmiller@lucplanning.com)> wrote:

Jim,

Attached is a proposed Zoning Resolution Amendment from Jerome Twp (U)—it is a very quick read. The changes proposed are in **red**—see items 1., 2., and 3. on page 2/4.

Please review and let me know how it relates to the Health Department's regulations. If possible, can you email me a comment to include in my staff report before the end of the day this Friday?

Thanks in advance!

**Bradley J. Bodenmiller**

**Planner II | LUC Regional Planning Commission**

P.O. Box 219 | 9676 E. Foundry | East Liberty, Ohio 43319

P: [\(937\) 666-3431](tel:9376663431) | F: [\(937\) 666-6203](tel:9376666203)

[www.lucplanning.com](http://www.lucplanning.com) | [Find us on Facebook!](#)

## 425 Rural Residential District (RU)

The purpose and intent of the Rural Residential District (RU) is to preserve rural character and provide for land which is suitable or used for very low density residences as defined in the Jerome Township Comprehensive Plan. On-site water and sewer facilities are permitted, provided such facilities comply with all applicable County Health Regulations. This district supersedes the U-1 Rural zoning district in existence prior to the enactment of this Resolution.

### 425.01 Permitted Uses

Within the RU District the following uses, developed in accordance with all other provisions of this Resolution, shall be permitted:

1. One single-family detached dwelling per lot
2. Limited Home Occupation subject to requirements of section 635 of this Resolution
3. The use of land for conservation, preservation, or wetland restoration
4. 6111 – Elementary and Secondary Schools
5. 813110 Church or other places of religious worship
6. 922160 – Fire Protection Services
7. Parks, Playgrounds and Playfields

### 425.02 Accessory Uses and Structures

1. Accessory buildings or structures normally associated with single family residential use including detached garages, tool or garden sheds, playhouses and swimming pools subject to the requirements of section 645 of this Resolution.

### 425.03 Conditional Uses

The following uses may be permitted as Conditional Uses in the RR District by the Board of Zoning Appeals in accordance with the requirements of Section 240 of this Resolution and subject to the development standards for such uses as established herein.

1. 721191 Bed-and-Breakfast Inns
2. 921140 – Executive and Legislative Offices
3. Telecommunications towers subject to the requirements of section 655 of this resolution
4. Expanded home occupations subject to the requirements of section 635 of this Resolution.
5. Accessory Apartment (Granny Flat) subject to the requirements of section 645 of this Resolution.
6. Small Wind Projects (less than 5 mw) subject to the requirements of section 650 of this Resolution.

**Note:** The text, images and diagrams in this highlighted area are for clarification and explanation purposes only. See Section 135

## 425.04 Lot Size and Yard Setback Standards

The following lot size and yard setback standards shall apply to all lots in the RU District:

### 1. Minimum Lot Size

The minimum lot size for parcels in the RU District shall be ~~2~~1.5 acres or as required by the Union County Board of Health for the provision of on-site water and sanitary systems. In addition, the minimum lot size for all permitted and conditional uses shall be adequate to allow for the development of the lot in accordance with the applicable development standards of the RU District and this Resolution.

### 2. Minimum Lot Frontage

Lots in the RU District shall have a minimum ~~200~~150 feet of continuous frontage as defined in Chapter 3 of this Resolution.

### 3. Flag Lots

Flag lots, having an access strip less than the minimum width of 150 feet, are not permitted within the RU District.

### 4. Front Yard Setbacks

All Front Yard Setbacks, as defined in Section 300, shall be measured from the right of way of the Dedicated Public Road. Such Setbacks for the RU District shall be as follows:

- Type 'A'** – The Setback for Farm Markets shall be a minimum of 15 feet as determined by Section 605 of this Resolution.
- Type 'B'** – The Setback for Single Family Dwellings shall be a minimum of 50 feet.
- Type 'C'** – The setback for all other buildings or structures supporting a permitted, conditional, or accessory use of the property shall be 75 feet.

### 5. Side Yard Setbacks

The minimum side yard setback for all buildings and structures in the RU District shall be 20 feet.

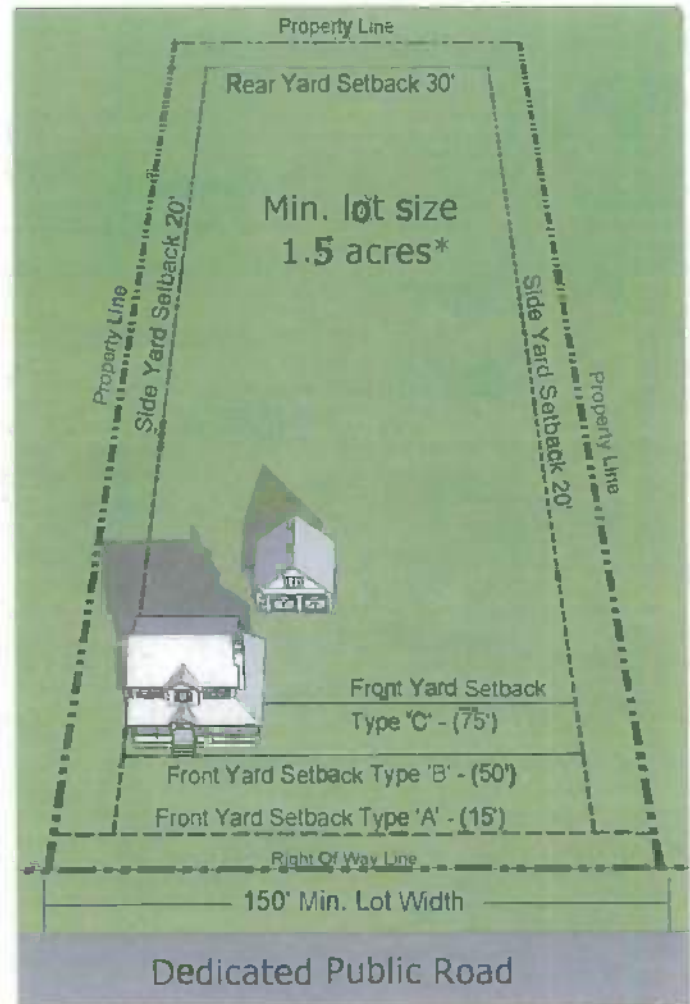


Figure 425.01: Lot size and setback diagram for the RU District

Note: The text, images and diagrams in this highlighted area are for clarification and explanation purposes only. See Section 135



## 6. Rear Yard Setbacks

The minimum rear yard setback for all buildings and structures in the RU District shall be 30 feet.

## 7. Architectural Projections

Open structures such as porches, canopies, balconies, platforms, carports, and covered patios, and similar architectural projections shall be considered parts of the building or structure to which it is attached and shall not project into the required minimum front, side or rear yard.

## 8. Driveways and parking areas

Driveways and parking areas for any residential use, or any other permitted, accessory, or approved conditional use, shall not be permitted within any side or rear yard setback within the RU District. Except as noted herein, parking areas for any permitted use or approved conditional or accessory use shall not be located within the front yard setback of any property within the RU district.

## 425.05 Building and Site Development Standards

The following standards shall apply to the development of all permitted uses and structures, accessory uses and structures, and approved conditional uses and structures within the RU District:

### 2. Minimum and Maximum Square Footages

- a) Residential Accessory Structures – See Section 645 for regulations concerning accessory structures.
- b) Single Family Dwellings – Single family dwellings in the RU District shall provide a minimum of 1,200 square feet of floor area for a single story dwelling and a minimum of 1,600 square feet of floor area for a split-level or multi-story dwelling. Floor area shall be measured as defined in Chapter 3.

### 3. Maximum Building Height

The maximum height of buildings and structures shall be measured as defined in Section 300 of this Resolution and shall meet the requirements listed below:

- a) Accessory Structures – See Section 645 for regulations concerning accessory structures.
- b) Single Family Dwellings – The maximum building height for single family dwellings in the RU District shall be 35 feet.
- c) All Other Permitted Uses and Approved Conditional Uses – The maximum building height for all other permitted uses and approved Conditional Uses shall be 35 feet.

**Note:** The text, images and diagrams in this highlighted area are for clarification and explanation purposes only. See Section 135

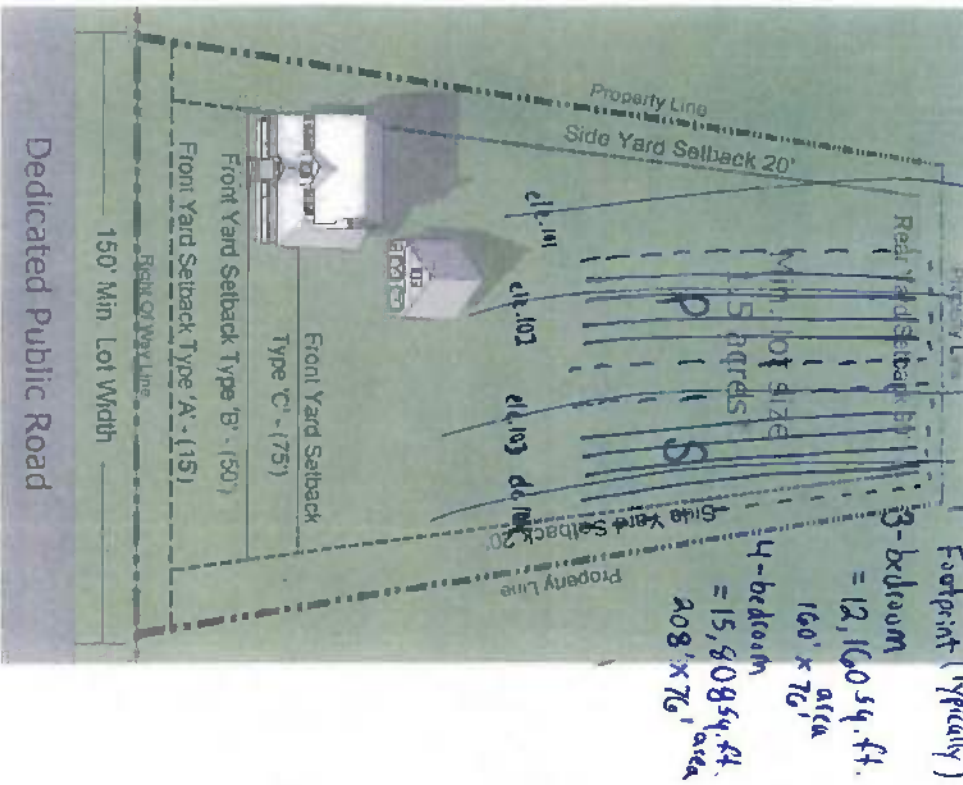
## 4. Residential Building Standards

The following standards apply to all single-family dwellings within the RU District:

- a) Mobile Homes, Travel Trailers, or Park Trailers— The use of a Mobile Home, Travel Trailer, or Park Trailer, as defined by ORC 4501.01, is prohibited within the RU District.
- b) Manufactured Home – The use of a permanently sited Manufactured Home, as defined by ORC 3781.06, is permitted within the RU District provided that the home meets all applicable residential building code standards, is installed on a permanent foundation, and meets all minimum floor area requirements.

Note: The text, images and diagrams in this highlighted area are for clarification and explanation purposes only. See Section 135

Example - Primary & Secondary Septic - Leach Field



VS.

Example - Primary & Secondary Septic Footprint (Typically)

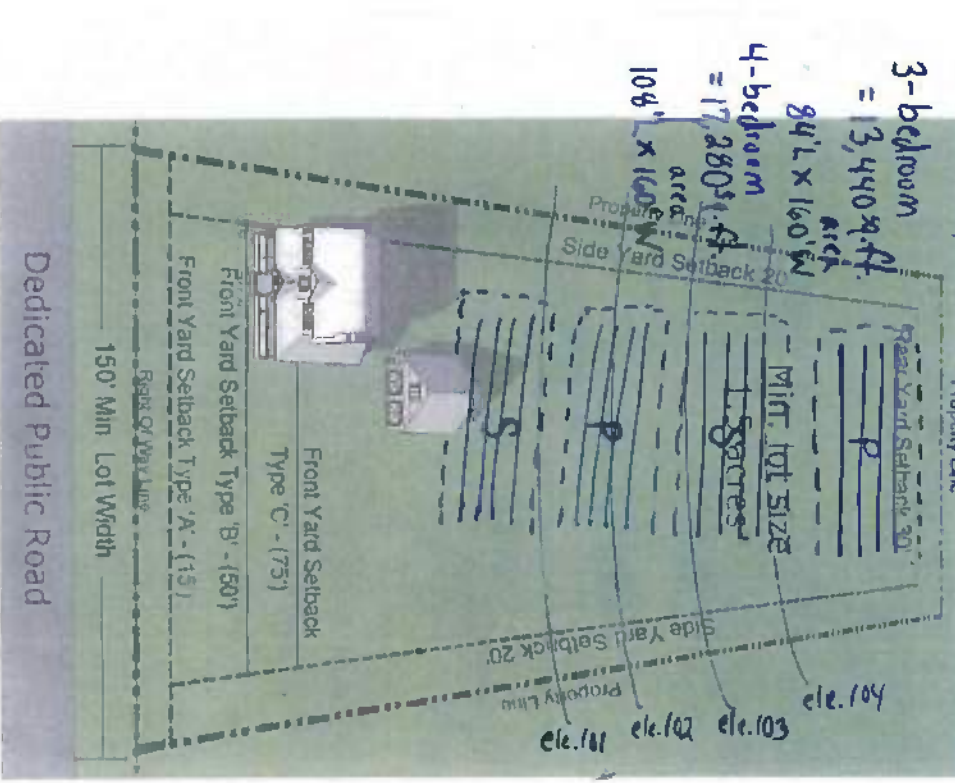


Figure 425.01: Lot size and setback diagram for the RU District

Figure 425.01: Lot size and setback diagram for the RU District

# *Jerome Township Zoning Commission*

Anita Nicol  
Clerk

June 1, 2015

9777 Industrial Parkway  
Plain City, Ohio 43064

Office: (614) 873-4480 x102  
Fax: (614) 873-8664

David M. Gulden , Director  
L.U.C. Regional Planning Commission  
Box 219  
East Liberty, Ohio 43319

Dear David Gulden:

This letter is to inform you that on May 18<sup>th</sup> the Jerome Township Trustees passed a resolution to request that the Jerome Township Zoning Commission consider amending Section 425 Rural Residential District to restore the lot size and lot width to the previous requirements of the U-1 District. We are hereby requesting a review and recommendation from the LUC on the changes attached herein.

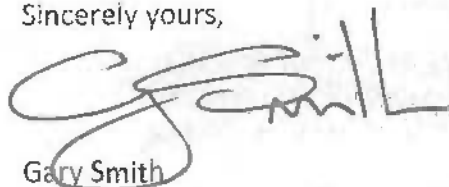
Application: 15-ZA-6

Public Hearing Date has been set for: June 22, 2015 at 7:00 p.m.

The Zoning Commission would like your comments regarding this rezoning before the public hearing date.

If you need further information, please feel free to contact me.

Sincerely yours,



Gary Smith  
Zoning Officer

Attachment



# Logan-Union-Champaign regional planning commission

Director: Jenny R. Snapp

## Zoning Text Amendment Checklist

Date: June 1, 2015 Township: Jerome  
Amendment Title: Rural Residential District

**Notice:** Incomplete Amendment requests **will not** be processed by our office. LUC Regional Planning Commission will return them to the requestor, stating the reason the amendment was not accepted.

Each Zoning Text Amendment change must be received in our office along with a cover letter, explaining the proposed zoning text change (s). All items listed below must be received **no later than 10 days** before the next scheduled LUC Regional Planning Commission Executive Board Meeting (second Thursday of every month). It is recommended that a person who is able to provide **further information** on the amendment attend the Zoning and Subdivision Committee meeting to answer any additional questions that may arise.

Required Item:	Completed by Requestor:	Received by LUC:
Cover Letter & Checklist	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Date of Request (stated in cover letter)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Description of Zoning Text Amendment Change (s)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Date of Public Hearing (stated in cover letter)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Township Point of Contact and contact information for zoning amendment (stated in cover letter)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Attachment of Zoning Text Amendment with changes highlighted or bolded	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Copy of current zoning regulation, or section to be modified for comparison	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Non-LUC Member Fee, If applicable	<input type="checkbox"/>	<input type="checkbox"/>

Additionally, after final adoption regarding this zoning text amendment, please provide LUC with a letter stating the results of the Trustees vote, along with a copy of the adopted language.

Please see reverse side for a timeline of the Township Zoning Amendment Process, per ORC 519.12

Revision: Initial, 8/2009

9676 E. Foundry St, PO Box 219  
East Liberty, Ohio 43319

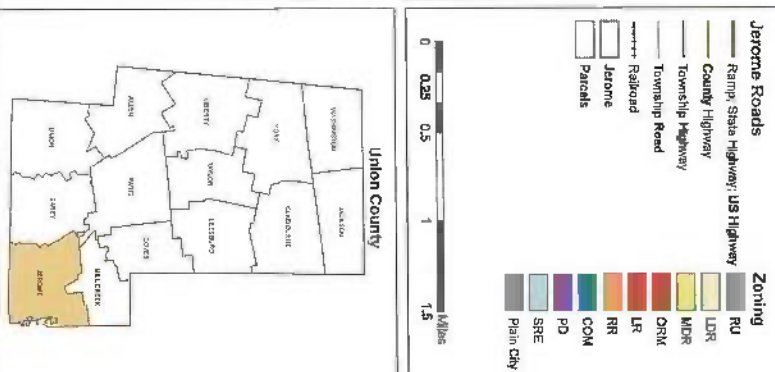
• Phone: 937-666-3431 • Fax: 937-666-6203

• Email: [luc-rpc@lucplanning.com](mailto:luc-rpc@lucplanning.com) • Web: [www.lucplanning.com](http://www.lucplanning.com)





Map Created: July 2004  
Map Revised: December 2014





## **500 Planned Development District (PD)**

The Planned Development (PD) District is established under the provisions of Ohio Revised Code 519.021(B) to promote the general public welfare, encourage the efficient use of land and resources, promote greater efficiency in providing public and utility services, and encourage innovation in planning and building of all types of development in accordance with the Jerome Township Comprehensive Plan. The regulations set forth herein are based on the premise that the ultimate quality of a built environment or development proposal is determined not only by the general classification of land uses, but also by the specific way in which such land uses are executed. In many cases, the subdivision regulations and standard zoning district classifications do not adequately regulate the design of buildings, the mix of uses, and the general character of development that are desirable in the Township. In accordance with the comprehensive plan and the above statements it is the intent of the Planned Development (PD) district to promote development that:

1. Provides an opportunity for a mix of open space and other uses not otherwise permitted within the standard zoning district classifications; and
2. Allows the creation of development standards that respect the unique characteristics, natural quality and beauty of the site and the immediate vicinity and protects the community's natural resources by avoiding development on, and destruction of, sensitive environmental areas; and
3. Enables more extensive review of design characteristics to ensure that the development project is properly integrated into its surroundings and is compatible with adjacent development; and
4. Assures compatibility between proposed land uses within and around the PD through appropriate development controls; and
5. Enhances the economy of the Township by making available a variety of employment opportunities and providers of goods and services; and
6. Encourages unified development projects that exhibit creative planning and design in ways that cannot be achieved through a standard zoning district, yet are imaginative in architectural design and are consistent with applicable plans for the area and are compatible with adjacent and nearby land uses.

### **500.01 Residential Development Purpose and Intent**

Along with the general purpose and intent of this District, the following additional purposes relative to residential development are applicable:

1. A clustered neighborhood design is encouraged with a gross density which is in keeping with the comprehensive plan and the physical development potential of the area.

**Note:** The text, images and diagrams in this highlighted area are for clarification and explanation purposes only. See Section 135

2. The utilization of Conservation Design principles and preservation of a substantial amount of permanent open space is encouraged, **integrated into the development** and providing for a pedestrian friendly environment.
3. In larger developments, a variety of different lot sizes are encouraged to create an integrated and imaginative residential environment.
4. In larger developments a variety in architectural elevations are required as follows:
  - a) Architectural Diversity –A single-family dwelling with the same or similar front elevation shall not be repeated within 4 houses on the same side of the street and within 2 houses in either direction of the house on the opposite side of the street. The builder is permitted to **construct** homes that use an identical elevation, but use a different main exterior material or main exterior color, provided that the homes shall be separated by at least 2 homes of a different elevation on the same side of the street and by at least 1 home in either direction of the house on the opposite side of the street.
5. The provision of supporting facilities is encouraged, such as schools, churches and parks to create well-designed and functional **neighborhoods**. These facilities should be supported with **pedestrian connections** to neighborhoods.
6. Master planning is encouraged that focuses on a much broader scale than a single development site, taking into account the larger physical context within which the proposed development is to occur.
7. In areas identified on the comprehensive plan as "Higher Density Residential" it may be appropriate to **consider** single family or multi-family development at **densities higher** than those appropriate in other areas of the township and where the Planned Development district will allow more creative site planning to **accommodate these densities** and provide appropriate transitions **between adjoining higher intensity uses** and lower intensity uses.

## 500.02 Commercial and Office Development Purpose and Intent

Along with the general purpose and intent of this District, the following additional purposes relative to commercial and office development are applicable:

1. Commercial and office development shall be properly managed and the development standards of the PD clearly specified so that Township officials completely understand the design and impact

**Note:** The text, images and diagrams in this highlighted area are for clarification and explanation purposes only. See Section 135

of a development proposal.

2. A flexible and creative approach to commercial development is encouraged. This flexibility is intended to minimize potential negative impacts and conflicts with rural agriculture and residential development.
3. A pedestrian friendly environment is encouraged, interconnecting with adjacent neighborhoods.
4. Master planning is encouraged that focuses on a much broader, scale than a single development site, taking into account the larger physical context within which the proposed development is to occur

## 500.03 Industrial Development Purpose and Intent

Along with the general purpose and intent of this District, the following additional purposes relative to industrial development are applicable:

1. The clustering of industrial uses is encouraged, along with flexibility and creativity in site design, in order to ensure that development is sensitive to and compatible with the Township's rural environment.
2. Industrial development shall be properly managed and the development standards of the PD clearly specified so that Township officials completely understand the design and impact of a development proposal.
3. Master planning of an extended area is encouraged, which ensures a stable, unified industrial development having all necessary services and facilities.
4. A unified design is encouraged which allows for greater design flexibility and better integration into the Township's rural environment. This flexibility is intended to minimize potential negative impacts and conflicts with rural agriculture and residential development.

## 500.04 General Provisions

### 1. Zoning Plan and Development Plan

For purposes of this Section, plans including all supporting documentation adopted by the Township at the time of rezoning shall be referred to as the "Zoning Plan," and plans including all supporting documentation approved subsequent to such rezoning but prior to the initiation of any development activities are referred to as the "Development Plan."

### 2. Effect of PD Approval

Each PD is considered a separate and unique zoning district wherein a Zoning Plan, including associated text describing the

**Note:** The text, images and diagrams in this highlighted area are for clarification and explanation purposes only. See Section 135



allowable uses and specific development standards, is adopted simultaneously with the application requesting amendment of the zoning map to apply the PD designation. The Zoning Plan, as approved by the Township and as provided under Ohio Revised Code Section 519.021(B), shall constitute the zoning regulations for and shall apply only to the property included within that particular PD. Whenever there is a conflict or difference between the provisions of this Section and those of other provisions of this Zoning Resolution, the provisions of this Section shall prevail for the development of land within the PD. Subjects not expressly covered by this Section or the applicable Zoning Plan shall be governed by the respective provisions found elsewhere in this Zoning Resolution that are most similar to the proposed use.

### 3. Sub Areas

Depending upon the size and complexity of the proposed development different Sub Areas may be established within a PD. Each Sub Area may, if requested, be treated as a separate district with individual standards. However, only one PD Zoning Plan approval shall be issued for the entire development. For each Sub Area, the applicant shall indicate gross density, dwelling type, minimum development standards, and all other uses by type, size and location.

### 4. Type of Action

The action of the Township upon an application to approve a Zoning Plan pursuant to this Section and Section 230 of the Zoning Resolution shall be considered a legislative act, and subject to a referendum. After property has been rezoned to the PD, any action related to the subsequent use or development of such property, as being in compliance with the regulations authorized to be established by this Section including any action taken on a Development Plan, shall not be considered to be an amendment to the Township Zoning Resolution for the purpose of Section 519.12 of the Ohio Revised Code, but may be appealed pursuant to Chapter 2506 of the Ohio Revised Code.

### 5. Zoning Amendment

A change to an adopted Zoning Plan shall be considered to be a zoning amendment and shall be processed according to the procedures set forth in Section 519.12 of the Ohio Revised Code and Section 230 of this Zoning Resolution. For Zoning Plans which are divided up into separate Sub Areas, as noted above, the applicant may file for an amendment to a specific Sub Area provided the requested change has no effect on the remaining Sub Areas.

Note: The text, images and diagrams in this highlighted area are for clarification and explanation purposes only. See Section 135

## 6. Development Plan

A Development Plan shall be required to be submitted to the Township for approval prior to the initiation of construction and development in each phase of the PD. Such Development Plan shall be in substantial compliance with and consistent with the approved Zoning Plan for the Property with respect to land uses, densities, architectural and landscape commitments, and open space. Minor deviations from the approved Zoning Plans may be considered for approval during the Development Plan Process by the trustees without requiring an applicant file for an amendment to the Zoning Plan. Changes that may be considered minor, but do not limit the trustee's discretion in such matters, include:

- a) Adjustments to the layout or alignment of new roads or to the site layout that does not affect lot count, density, setbacks, or open space and does not increase curb cuts or connections to existing roadways unless required by the county engineer during final engineering.
- b) Increases in residential lot sizes or reductions in residential density provided such changes do not reduce the required setbacks, decrease the required open space, or change the required architectural or development standards.

### 500.05 Previously Approved Planned Developments

Section 500 of the Zoning Resolution was amended on and the amendment in effect from and after April 20, 2015. Planned Developments and all associated detailed development plans and supporting documentation adopted and in effect prior to April 20, 2015 shall continue in effect and be considered legally conforming under this Zoning Resolution. These previously approved Planned Developments shall continue to be governed, administered and modified pursuant to the substantive and procedural regulations then in effect for such Planned Developments as contained in the Zoning Resolution immediately prior to April 20, 2015.

### 500.06 General PD Standards

In order to achieve the purpose and intent of the Planned Development District (PD) and the Jerome Township Comprehensive Plan the following general standards are hereby established for all Planned Developments within Jerome Township.

#### 1. Uses

Within the PD district a creative mix of uses is encouraged provided it will establish an efficient and sustainable use of the land and infrastructure, and result in a well-integrated, pedestrian friendly development. Single use PD's may also be established by the applicant to encourage development that is more responsive to the land and environment than may be permitted through a standard zoning district. The following

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standards are established for uses in the PD:

- a) **Permitted Uses** - Permitted uses within each PD shall be clearly identified in the zoning plan submitted with the application to establish a PD. Uses not specified in the approved zoning plan will be prohibited.

## 2. Densities

Densities within a PD should be in conformance with the recommendations of the comprehensive plan and shall promote the efficient use of land and infrastructure. Proposed densities shall be clearly identified in the zoning plan submitted with the application for PD.

## 3. Setbacks and Yard Areas

All Proposed setbacks and yard areas within the PD shall be identified in the zoning plan submitted with the application for PD. Setbacks and yard areas within PD developments shall be established to meet the following requirements:

- a) Setbacks within a PD zoning shall support the goals of the comprehensive plan for development that respects the rural character of the township while promoting efficient use of the land and its resources.
- b) Setbacks shall be configured to appropriately balance open space and provide safe separation between buildings and uses.
- c) When a proposed commercial or industrial PD is to be located contiguous to residential uses perimeter setbacks and/or appropriate screening from the contiguous property line should be established within the PD.
- d) To maintain the rural character of the township the setbacks from existing state, county and township roads should be larger than those established for new public roads established within the PD.
- e) To the greatest extent possible new residential subdivisions should be designed to minimize the number of homes where the back yards and the backs of homes face existing and proposed roads. Where such conditions are to exist along existing state, county, and township roads a minimum setback of 50' between the Right of Way of the public street and the rear lot lines, and a minimum of 80' between the Right of Way of the public street and the rear setback line of the lot. An increased landscape buffer shall be established for the entire length of road affected.

## 4. Public Improvements

The PD should be developed at a minimum with the following improvements meeting the design standards of the Union County Engineer:

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- a) Public roads shall be designed and constructed to the standards established by the Union County Engineer's Office.
- b) Means for safe pedestrian and bicycle access and circulation shall be provided. Pedestrian paths should be integrated into open space where applicable or allowed, with ownership and maintenance dedicated to the entity holding title to the open space.
- c) Storm water management facilities shall be provided as required by the County Engineer and State of Ohio.

## 5. Access

The zoning plan should require direct access, not through easement, to one or more dedicated and improved public roads. Provisions for future connections to other public roads or adjacent land shall be required if recommended by the township, county engineer or regional planning commission.

## 6. Buildings

To promote the purpose and intent of the Planned Development District and the goals of the comprehensive plan all applications for PD shall detail the proposed design and development standards for all residential and non-residential buildings within the PD. The following standards apply to all residential and non-residential buildings within the PD.

- a) The physical relationship of buildings and other site improvements to one another and the surrounding area, as created by building mass, size, height, shape, location on the site, and setback, shall result in a harmonious development both within the PD and in relation to its surroundings.
- b) The bulk and height of buildings within the proposed development shall be compatible with the surrounding area.
- c) Buildings, structures and parking areas shall be designed and located in such a way to conserve environmentally sensitive or unique natural, historic or cultural features.
- d) The zoning plan and application shall specify for all buildings and residences, at a minimum, the proposed exterior materials, size, height, roof shape and pitch.

## 7. Lighting

Any application for a PD shall include the type and description of all proposed street and parking lot lighting. Street lighting shall conform to the standards of the Union County Engineer and all lighting within the proposed PD shall conform to the following:

- a) The lighting plan submitted with the zoning plan and the application for PD shall specify the proposed pole and lantern design, maximum height, lighting source, wattage, shielding

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and any other information necessary to evaluate the lighting as proposed.

- b) The lighting plan submitted with the zoning plan and application for PD shall be designed to promote an overall cohesiveness in the development of the plan and to minimize the amount of light pollution affecting the neighboring properties and the rural character of the township.
- c) Parking lot lighting specified within the PD shall be limited in height to the minimum required to effectively illuminate the parking areas to all applicable standards and shall incorporate a "cut-off" type shielding to prevent light pollution on adjacent properties.

## 8. Signage

All applications for a PD shall include a signage plan and or standards to be approved by the zoning commission for all uses and areas within the PD. Signage design and standards shall ensure a constant and comprehensive character throughout the project and compatible with the character of the township and shall meet the following:

- a) All signs and graphics within the PD shall be compatible in size, location, material, height, shape, color, and illumination.
- b) A detailed sign plan and standards shall be submitted with the application for PD and shall include the design, layout and dimensions of all proposed ground, window and wall signs as well as the setbacks from the right-of-ways and the type and intensity of illumination.
- c) Signs shall contribute to an overall cohesive design, reflect simplicity, reduce visual clutter and compliment the rural character of the township.
- d) Wall signs shall be controlled and designed in a manner to compliment the architecture of the buildings and the PD. Ground signs shall be designed to relate to and share common elements with the proposed architecture.

## 9. Parking and Loading Areas

For all non-residential uses off street parking and loading shall be provided for in the design of the PD. Parking and access requirements and standards shall be as defined in the approved zoning plan and shall meet the requirements of the Union County Engineer, the township fire department and the following standards:

- a) Off street parking and loading shall be provided for all non-residential buildings with adequate provisions for ingress and egress.
- b) Parking areas shall be designed to discourage large single expanses of parking and shall encourage smaller defined

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parking areas within the total parking system. Such parking areas shall be delineated and accentuated by landscaped areas.

- c) The layout of parking areas, service areas and related entrances, exits, signs, lighting, noise sources or other potentially adverse influences shall be designed and located too protect the character of the area as well as those areas adjacent to the PD.
- d) To minimize the environmental impacts of large parking areas shared parking between uses shall be encouraged and supported within the PD. Where shared parking is desired the applicant shall submit a statement identifying how the parking is to be shared between the uses, and the percentage of parking and hours of parking allocated for each use.
- e) All service and delivery and loading areas for all uses shall be arranged and located to minimize the impacts and view of such uses throughout the development.

## 10. Landscaping

All zoning plans and application for PD shall include a detailed landscape plan and standards for all areas, sub areas, open spaces and uses with the proposed development. The following standards shall apply:

- a) All yards and open space not covered by structure, paving and the like shall be landscaped with lawn as a minimum.
- b) A detailed landscape plan and standards shall be submitted with the zoning plan and PD application for approval by the zoning commission. All landscaping shall be maintained and kept in accordance with the approved landscape plan.
- c) All vacant and undeveloped areas shall be kept seeded and maintained in such a manner as to prevent erosion of the property and excess drainage on adjoining land.
- d) Landscaping shall be designed to enhance architectural features, screen incompatible uses, emphasize pedestrian environments, provide shade for streets and parking lots and strengthen views and vistas.
- e) The landscape plan shall be designed to preserve and capitalize on the existing natural characteristics of the site and to promote overall unity in design.
- f) Landscape design and the specification and use of trees and plant materials shall discourage monoculture. For the purpose of this section monoculture is defined as the dominance or overabundance of any one species that may expose the development to a substantial loss of plant material should said plant material be affected by pest or disease (ex. Emerald Ash Borer)

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- g) Plant material specified in the PD shall be indigenous and hearty to the area and shall be harmonious to the design and consistent with adjacent land uses.
- h) Street tree species native to the area shall be provided by the developer for all existing and proposed public streets and placed outside the public right-of-way in a maintenance easement. Size, shape, type and location of street trees shall be specified in the Zoning Plan. Street trees shall not be placed over utility lines and shall not interfere with the function or maintenance of roadways and drainage areas.
- i) Landscape buffers between lots and the County or Township road serving the PD and buffers between lots and adjacent land should be placed in landscape easements on the plat and dedicated to the Homeowners Association or such other person or entity as may be approved in the Zoning Plan. Landscape buffer design shall be specified in the Zoning Plan.

## 11. Flood Plains and Environmentally Sensitive Areas

Floodplains within the PD shall be protected from building or pavement encroachment through the following standards:

- a) A riparian buffer, having a width of not less than 50' as measured from the centerline of the stream, shall be provided along the entire length and on both sides of a river or perennial stream channel.
- b) Buffer areas shall be restricted from development and managed to promote the growth of vegetation indigenous to the stream area capable of maintaining the structural integrity of the stream bank.
- c) A wetlands buffer should be provided for all wetlands required to be retained by the Army Corps of Engineers or the Ohio EPA. The buffer area should have a width of not less than 25' measured from the edge of the designated wetland. The buffer areas should not be disturbed other than necessary to establish and natural landscape and existing trees should be preserved and protected to the extent practicable.

## 12. Open Space

A PD should have an open space component which is compatible with the size, nature and design of the development. A recommended minimum of 20 percent of the gross land area of a PD containing a residential component, except as outlined in section 500.07 (4), should be set aside as open space for common use, preferably interconnected with other similar spaces within this or adjacent developments. (For a PD without a residential component, a minimum of 10 percent open space set aside is recommended.) Open space shall be prohibited from further subdivision or development by deed restriction, conservation easement or other agreement, in a form satisfactory to the

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Township. This restriction from further subdivision or development shall also be noted in the Zoning Plan and the recorded plat.

a) Design Standards - The following design standards for open space should be followed:

- (i) Open space shall be fully integrated into the overall design and should, absent unique and special circumstances, meet all standards and guidelines contained herein. The types of uses, buildings and structures proposed to be permitted in the open space shall be specified in the Zoning Plan.
- (ii) For the purposes of the PD, public uses may be proposed for natural areas and preserves, parks and other active recreational areas, and public facilities such as public schools, libraries and community centers may likewise be proposed. Access to all public uses shall be specified.
- (iii) In identifying the location of open space, the developer shall consider as priorities existing natural features such as natural woodlands, wetlands, identified species habitat, tree lines, stream and creek corridors, and FEMA designated 100-year floodplains.
- (iv) Retention ponds (wet basins) may be permitted in an open space reserve provided such ponds are designed and maintained as natural features that blend into the landscape. A landscape design for each retention pond shall be submitted with the Zoning Plan. Detention ponds (dry basins) should ordinarily not be permitted in the designated open space unless a part of a bioswale corridor.
- (v) Except for bike paths and pedestrians trails, open space should be unified and massed so that no open space is narrower in any direction than the development's average lot width. Open space should be platted as an open space reserve, including appropriate conservation easements.
- (vi) Open space should, when practicable, be interconnected with open space areas on abutting parcels.
- (vii) In order to encourage the creation of large areas of contiguous open space, areas that should not be considered as open space include:
  - Private road and public road rights-of-way;
  - Parking areas, access ways, and driveways;
  - Required setbacks between buildings, parking areas, and project boundaries;
  - Required setbacks between buildings and streets;

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- Easements for overhead power transmission lines unless containing bike paths as part of an overall coordinated trail network;
  - Minimum spacing between buildings, and between buildings and parking areas;
  - Private yards;
  - Areas of fee simple lots to be conveyed for residential dwelling uses;
  - Other small fragmented or isolated open space areas that have a dimension less than 75 feet in any direction. (Excessive gaps and non-usable spaces between buildings are discouraged, or pedestrian walkways should be established.)
- (viii) Any open space intended to be devoted to active recreational activities should be of usable size and shape for the intended purposes.
- (ix) Any area within the open space that is proposed to be disturbed during construction or otherwise not preserved in its natural state, other than required setback areas, should be noted on the Zoning Plan and the method and timing of any restoration shall be set forth in the Zoning Plan.
- (x) The open space, including any recreational structures and public facilities proposed to be constructed in such space, shall be clearly shown on the Zoning Plan.
- b) **Open Space Ownership** - Open space may be proposed to be owned by an association, the Township or other governmental entity, a land trust or other conservation organization recognized by the Township, or by a similar entity, or may remain in private ownership if appropriately restricted. The ownership of the open space shall be specified in the Zoning Plan and shall be subject to the approval of the Township. The methods of ownership, if approved as part of the Zoning Plan, may be as follows:
- (i) **Offer of Dedication** - The Township or other governmental entity may, but shall not be required to, accept conveyance in the form of fee simple ownership of the open space.
  - (ii) **Associations** - Open space may be held by the individual members of a Condominium Association as tenants-in-common or may be held in common ownership by a homeowners' association, community association, or other similar legal entity. Documents shall be submitted with the Zoning Plan which will ensure compliance with the following requirements:

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- Membership in the association shall be mandatory for all purchasers of lots in the development or units in the condominium.
  - The association shall be capable of and responsible for maintenance, control, and insurance of common areas, including the open space.
  - The association shall have the right and obligation to impose assessments upon its members, enforceable by liens, in order to ensure that it will have sufficient financial resources to provide for proper care and maintenance of the open space.
- (iii) **Transfer of Easements to a Private Conservation Organization** - With the approval of the Township, an owner may transfer conservation easements to a public or private non-profit organization, among whose purposes it is to conserve open space and/or natural resources, provided that::
- The organization is acceptable to the Township, and is a bona fide conservation organization with perpetual existence;
  - The conveyance contains appropriate provisions for the property reverter or retransfer in the event that organization becomes unwilling or unable to continue carrying out its function; and
  - A maintenance agreement approved by the Township is entered into by the developer and the organization.
- c) **Open Space Management and Maintenance** - The owner of the open space shall be responsible for raising all monies required for operations, maintenance, or physical improvements to the open space through annual dues, special assessments, and valid and enforceable collection methods. The owner shall be authorized, under appropriate restrictions and covenants, to place liens on the property of residents within the PD who fall delinquent in payment of such dues and assessments. In the event that the organization established to own, operate and maintain the open space shall at any time after the establishment of the PD fail to maintain the open space in reasonable order and condition in accordance with the Zoning Plan, such failure shall constitute a violation of both the Zoning Plan and this Zoning Resolution.
- d) **Transfer of Title of Open Space** - Title to any open space required by the PD zoning which is included within any recorded subdivision plat of any section of the land zoned PD shall be transferred to the entity approved for ownership of the open space prior to the sale of more than 75% of the lots or units within that subdivision section.
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**500.07 Use-Specific Development Standards**

In addition to the General PD Development Standards the following use specific development standards are hereby established to further fulfill the purpose and intent of the District through the application of flexible land development techniques in the arrangement, design and construction of structures and their intended uses and the integration of open space within the development. These standards, as well as applicable plans for the area, are intended as general standards as circumstances dictate. The development standards filed and approved as part of the Zoning Plan and PD application shall establish the final requirements. The development policies include the following:

**1. Low and Medium Density Residential Land Use**

Future development of clustered subdivisions is anticipated to occur in those areas with centralized public utilities and shall be managed to protect the area's unique quality of life and semi-rural character. The density of these developments will be based upon several factors, including, without limitation, the availability of centralized utilities, the recommendations of the comprehensive plan, and whether the proposed development will be compatible in use and appearance with surrounding or planned land uses. The following shall apply when calculating suburban residential density within a PD:

- a) Calculating Residential Density – While the densities of individual residential areas may vary within a large PD the calculation of density for the entire PD shall be based upon the total number of dwelling units proposed for the total area devoted exclusively to residential use, including open space. Where open space is included within the calculation for residential density, such open space shall permanently remain as open space within the PD unless a future rezoning of the open space is approved by the zoning commission.
- b) Additional Density Considerations - Additional density for residential developments to be serviced by centralized utilities may be permitted by the zoning commission in certain unique and special instances such as those where: the open space set-aside far exceeds the minimum recommended ; additional and substantial site amenities are provided; the development incorporates rural design characteristics into the overall design of the site and maintains compatibility with the surrounding or planned land uses; the design of the development preserves, protects and enhances the natural and historic resources located on the site; and storm water and other environmental impacts are minimized and mitigated and natural features are enhanced.

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- c) **Lower Density Considerations** – In addition to the consideration for additional density as mentioned above the zoning commission may require lower densities for a residential development in **certain unique** and special instances such as those where: a large portion of the site is undevelopable due to its **physical** features such as existing bodies of water, steep slopes and similar characteristics, and where proposed residential development is not compatible with adjacent residential development patterns.

## 2. Higher Density Residential Land Use

Future development of higher density land uses is expected to occur in areas so designated in the Jerome Township Comprehensive Plan as being suitable for such uses. These areas provide an opportunity to serve differing housing needs within the community and establish an effective transition between more intense commercial and office land uses, and lower density residential uses. The density of these developments will be based upon several **factors**, including, without limitation, the availability of **centralized** utilities, the recommendations of the comprehensive plan, and whether the proposed development will be compatible in use and appearance with surrounding or planned land uses. In addition increases in density should be supported for increased architectural and landscape standards and creative site planning that contributes to the desirability of the community.

## 3. Agriculture and Rural Residential Land Use

It is anticipated that portions of the Township will remain principally agricultural in nature, especially in those areas where centralized utilities are not anticipated to be provided. PD development standards within these areas should encourage a development pattern that minimizes impacts and intrusions to agriculture, such as clustering homes on new streets and not along existing road frontage and designating agricultural-exclusive areas.

## 4. Residential Conservation Development

Within the Jerome Township Comprehensive plan there exists recommendations for residential development that adheres to conservation development principles. These principles promote more compact development patterns in exchange for the preservation of important existing environmental and natural features and the set aside of significant amounts of open space. These types of developments reduce infrastructure costs for the developer, help to maintain a more open, rural feel for the township, promote a more efficient use of land, and provide a vehicle to preserve important natural features and incorporate them into a development strategy. Land developed under a

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Conservation Development PD (CDPD) shall adhere to the following standards:

- a) **Uses** - Conservation developments may be permitted to contain a mix of uses provided that all proposed uses are identified in the zoning plan and application as specified in section 500.08.
- b) **Density** - The overall residential density of the Conservation Development PD should conform to the recommendations and intent of the Comprehensive Plan and shall be identified in the zoning plan and application per section 500.08.
- c) **Lot size** - The intent of a Conservation Development PD is to allow smaller lot sizes and more compact development patterns in exchange for a higher percentage of dedicated open space and natural lands. To accomplish this goal lot sizes are flexible within the CDPD and shall be established by the approved zoning plan and PD application. All lots less than two acres in size shall be serviced by public sewer and water systems. Proposed lots of 2 acres or more shall be served by either public sewer and water services or on site treatment and well systems subject to the approval of the Union County Engineer and Union County Health Department.
- d) **Dedicated Open Space** - All CDPD developments shall comply with the following minimum requirements regarding open space.
  - (i) The minimum amount of open space to be provided with a CDPD is recommended to be 40% of the total acreage of the property being included in the PD. Development of smaller parcels may be considered for a reduction in the open space requirements provided that the recommendations of (ii), (iii), and (iv) below still apply.
  - (ii) All CDPD developments shall strive to utilize open space to preserve natural features including but not limited to floodplains, waterways, stream buffers, steep slopes, woodlands, wetlands and natural habitats or shall be designed to preserve significant amounts of agricultural lands.
  - (iii) Prohibition of further Subdivision of Open Space - Open space provided for the purposes of achieving the requirements of the CDPD shall be prohibited from further subdivision or development through deed restriction, conservation easement, or other such agreement acceptable to the townships legal advisor.
  - (iv) Open spaces within the CDPD shall meet all other requirements of section 500.06 herein.

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## 5. Commercial and Office Land Use

Commercial and office development should be clustered in areas serviced by centralized utilities and adequate roadway systems. The density of general commercial development should not exceed 10,000 square feet per acre, absent special circumstances. This density calculation will ordinarily be based upon the total square footage proposed for the entire area devoted exclusively to commercial and office development. However, a lower density may be mandated due to the nature of the project, the physical features of the site or the compatibility of the project with surrounding or planned land uses. In addition a higher density may be approved by the zoning commission to accommodate mixed use projects and other innovative and sustainable planning features. Design standards should be incorporated into the Zoning Plan which will improve the aesthetic quality of this type of development.

## 6. Industrial Land Use

Light industry, research and development, and related office uses should be clustered in areas serviced by centralized utilities and adequate highway accessibility. Absent special circumstances, density should not exceed 10,000 square feet per acre. This density calculation will ordinarily be based upon the total square footage proposed for the entire area devoted exclusively to industrial development. However, a lower density may be mandated due to the nature of the project, the physical features of the site or the compatibility of the project with surrounding or planned land uses. The industrial areas should only develop in conjunction with centralized utilities. These areas should be master planned and well-coordinated, and not developed in a piecemeal (lot by lot) way. Access should be shared. Design standards should be incorporated into the Zoning Plan which will improve the aesthetic quality of this development type. In addition all industrial uses developed under the PD shall conform to the following standards:

- a) Fire and Explosion Hazards - All activities, including storage, involving flammable or explosive materials shall include the provision of adequate safety devices against hazard of fire and explosion. All standards enforced by the Occupational Safety and Health Administration shall be adhered to. Burning of waste materials in open fire is prohibited, as enforced by the Ohio Environmental Protection Agency.
- b) Air Pollution - No emission of air pollutants shall be permitted which violate the Clean Air Act of 1977 or later amendments as enforced by the Ohio Environmental Protection Agency.
- c) Glare, Heat, and Exterior Light - Any operation producing intense light or heat, such as high temperature processing,

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combustion, welding, or other shall be performed within an enclosed building and not visible beyond any lot line bounding the property whereon the use is conducted.

- d) **Dust and Erosion** - Dust or silt shall be minimized through landscaping or paving in such a manner as to prevent their transfer by wind or water to points off the lot in objectionable quantities.
- e) **Liquid or Solid Wastes** - No discharge at any point into any public sewer, private sewage disposal system, or stream, or into the ground, of any materials of such nature or temperature as can contaminate any water supply or interfere with bacterial processes in sewage treatment, shall be permitted. The standards of the Ohio Environmental Protection Agency shall apply.
- f) **Vibrations and Noise** - No uses shall be located and no equipment shall be installed in such a way as to produce intense, earth shaking vibrations which are discernable without instruments at or beyond the property line of the subject premises. Noise standards of the Ohio Environmental Protection Agency shall be adhered to.
- g) **Odors** - No use shall be operated so as to produce the continuous, frequent or repetitive emission of odors or odor causing substances in such concentrations as to be readily perceptible at any point at or beyond the lot line of the property on which the use is located. The applicable standards of the Ohio Environmental Protection Agency shall be adhered to.

## 500.08 Procedure for Amending to the PD

In addition to the procedure set forth in Section 230 of this Resolution, all applications for amendments to the zoning map to rezone property to the PD shall follow the procedures hereinafter set forth in Section 500.08, hereof.

### 1. Pre-application Meeting

The applicant is encouraged to engage in informal consultations with staff from the Zoning Commission and the Union County subdivision authorities (e.g. Planning Commission, County Engineer, Board of Health, etc.) prior to formal submission of an application for an amendment of the Zoning Resolution. No statement or action by Township or County officials in the course of these informal consultations shall be construed to be a waiver of any legal obligation of the applicant or of any procedure or formal approval required by Township or County statutes or rules.

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## **2. Application**

The owner(s) of land may request that the Zoning Resolution be amended to include such land in the PD by filing fifteen (15) copies of an application for such amendment with the Jerome Township Zoning Commission, which application shall contain:

- a) name, address and telephone number of the owner and applicant;
- b) name, address and telephone number of the urban planner, architect, landscape architect, surveyor and/or engineer assisting in the preparation of the Zoning Plan;
- c) legal description of the property and the address of the property;
- d) description of existing uses;
- e) present zoning district;
- f) a vicinity map at a scale approved by the Zoning Commission showing the relationship of the PD to the adjacent properties, existing streets and public service facilities in the area;
- g) a list of the names and addresses of all owners of property which are within, contiguous to and directly across the street from the subject property as such addresses appear on the County Auditor's current tax list; and
- h) Any other matter or information deemed necessary or relevant by the Zoning Commission for the proposed amendment.

## **3. Proposed Zoning Plan**

In addition to the application required herein, fifteen (15) copies of the proposed Zoning Plan shall be submitted with the application. The proposed Zoning Plan shall be prepared and endorsed by a certified or licensed planner, architect, landscape architect, engineer and/or surveyor, with all mapping to be at a scale of at least 1" = 100', and shall include, in text and map form, the following:

- a) Proposed location and size of the proposed planned district. This includes a survey map of the boundaries of the site and a legal description.
- b) A list and description of the precise uses proposed for the development. Listed uses shall be defined by their customary name or identification, except where they are specifically defined or limited in the Zoning Plan or this Zoning Resolution. Any listed use may be limited to specific areas delineated in the proposed Zoning Plan.
- c) Concept site plan of the proposed planned district, and proposed layout of all subareas.
- d) Proposed densities, number of lots and dimension parameters, and building intensities.

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- e) Proposed parks, playgrounds, schools and other public facilities or open spaces including woodland preservation and natural topography preservation areas with their suggested ownership.
- f) Locations of stream channels, watercourses, wooded areas and buffer areas shall be designated. Existing topography and drainage patterns shall also be shown.
- g) Relation to existing and future land use in surrounding area.
- h) Proposed provision of water, sanitary sewers, surface drainage, and street lighting.
- i) Proposed traffic and pedestrian circulation pattern, indicating both public and private streets and highways, access points to public rights-of-ways, bike paths and trails, sidewalks and any off-site street improvements.
- j) An anticipated schedule for the development of units to be constructed in progression and a description of the design principles for buildings and streetscapes; tabulation of the number of acres in the proposed phase for various uses, the number of housing units proposed by type; building heights; open space; building intensity; parking areas; density and public improvements proposed.
- k) Engineering feasibility studies and schematic plans showing, as necessary, water, sewer and other utility installations, waste disposal facilities, surface drainage, and street improvements.
- l) Site plan, showing approximate nonresidential building locations(s), various functional use areas, circulation, and their relationship.
- m) General architectural design criteria for proposed buildings, structures, signs and exterior lighting with proposed control features.
- n) Deed restrictions, protective covenants, and other legal statements or devices to be used to control the use, development and maintenance of the land, the improvements thereon, including those areas which are to be commonly owned and maintained.
- o) Projected schedule of site development.
- p) Evidence that the applicant has sufficient control over the land to carry out the proposed development.
- q) Regulation Text for development in the proposed Planned Development District. That text shall set forth and define the uses to be permitted in the proposed Planned Development District and the development standards applicable to the proposed District. The Regulation Text is intended to guide all development of the property proposed to be designated as a PD.
- r) This Regulation Text shall only apply to the PD in question and all development within that PD. All appropriate regulatory

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areas should be addressed by the applicant in the Regulation Text including, without limitation, the following:

- (i) All required setbacks including, but not limited to, buildings, service areas, off-street parking lots and signage, including rear, front and side yard areas.
- (ii) All maximum height and size requirements of buildings, mechanical areas and other structures.
- (iii) All parking and loading space standards per building square footage or dwelling unit type, including dimensions of all parking stalls, aisles and loading spaces.
- (iv) All street and road right-of-way and pavement width dimensions, curb cut spacing and other related circulation standards.
- (v) All pedestrian and bicycle walkway, trail and sidewalk dimensional standards, including rights-of-way and pavement width, and pavement standards.
- (vi) All screening and landscaping standards, including buffer dimensions, height, landscape material, maintenance standards, and screening standards for off-street parking areas, loading docks, trash receptacles and dumpsters, ground- and roof-mounted mechanical units and adjoining areas.
- (vii) All proposed signage and graphic standards, including height, setback, square footage, colors, corporate logos and type.
- (viii) All exterior lighting standards, including light intensity, placement, height and materials for parking lots, walkways, sidewalks and accent lighting.
- (ix) All exterior architectural design standards, including material, color and styles.
- (x) A list and description of the precise uses proposed for the development. Listed uses shall be defined by their customary name or identification, except where they are specifically defined or limited elsewhere in the Zoning Plan or this Zoning Resolution. Any listed use may be limited to specific areas delineated in the proposed Zoning Plan;
- (xi) Frontage requirements, minimum lot area requirements, yard areas, lot coverage restrictions and perimeter setback requirements.
- (xii) Accessory structure standards and limitations.
- (xiii) Open space area, uses and structures, including proposed ownership and sample controlling instruments.
- (xiv) Any other regulatory area or matter deemed necessary

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or relevant by the Zoning Commission.

- (xv) The Regulation Text should contain the following provision: All development standards not specifically addressed by the Regulation Text shall be regulated by those general development standards set forth in the Zoning Resolution.

#### **4. Basis of Approval**

In determining whether or not to approve an application for a PD, the reviewing authorities shall consider all relevant factors and circumstances including, without limitation, the following:

- a) Whether the proposed development is consistent in all aspects with the purpose, policies, criteria, intent, and standards of this Zoning Resolution;
- b) Whether the proposed development is in conformity with the applicable plans for the area or such portion thereof as may apply, or whether the benefits, improved arrangement and design of the development justify any deviation there from;
- c) Whether the proposed development promotes the public health, safety and general welfare of the Township and the immediate vicinity;
- d) Whether the proposed plan meets the design features contained in this Resolution;
- e) Whether the proposed development is in keeping with the existing or planned land use character and physical development potential of the area;
- f) Whether the proposed development will be compatible in use and appearance with surrounding or planned land uses;
- g) Whether the development will have a beneficial or an adverse effect upon the Township and other governmental services.
- h) Whether the area surrounding the development can be planned, zoned and developed in coordination and substantial compatibility with the proposed development.
- i) Whether the existing and proposed utility and governmental services are adequate for the population densities and nonresidential uses proposed.
- j) Whether the development promotes greater efficiency in providing public and utility services and encouraging innovation in the planning and building of all types of development;
- k) Whether the development can be made accessible through existing or future Township roadways without creating unreasonable traffic congestion in the immediate vicinity of the proposed development or elsewhere in the Township;
- l) Whether the development is located and designed in such a

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way as to minimize any unreasonable adverse impact on existing residential or agricultural areas of the Township; and

- m) Whether the benefits, improved arrangement and design of the property to be developed justify rezoning the property to the PD.

## 5. Effect of Approval

- a) The Zoning Plan, as approved by the Township Trustees, shall constitute a rezoning of the subject tract to the PD permitting development and use of said land and any structures thereon in accordance with the development standards contained in the Zoning Plan. However, in a PD, no use shall be established and no structure shall be constructed or altered on any part of said tract, until there is submitted to the Township a Development Plan for said part of said tract, and until the Development Plan is approved by the Township Trustees.
- b) The approval of the Zoning Plan shall be for a period of five (5) years, or for such other period as set forth in the approved Zoning Plan, to allow for the preparation of a required Development Plan(s). Unless the Board of Trustees approves such an extension of this time limit, upon the expiration of such period, no use shall be established and no building, structure or improvement shall be constructed until an application accompanied by a new Zoning Plan has been filed with and approved by the Township, and such application for approval shall be subject to the same procedures and conditions as an original application for the Zoning Plan approval. This new application shall comply with the terms of the Zoning Resolution then in effect at the time of filing, including, without limitation, any zoning amendments enacted from and after the date of the initial request to include the property within the PD. In addition, the Township Board of Trustees or Zoning Commission may initiate a zoning amendment to rezone the property or any portion thereof to its former (or another similar) classification upon expiration of the Zoning Plan approval period.

## 6. Extension of Time for Zoning Plan

Upon application by the owner(s), the Board of Trustees may extend the time limit provided by Section 500.08 5(b), above. Such extension may be given after application by the applicant showing the purpose and necessity for same and upon evidence that the owner(s) has made reasonable efforts toward the accomplishment of the original approved Zoning Plan, and that such extension is not in conflict with the general health, safety and welfare of the public.

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**500.09 Development Plan****1. Application**

In the PD, no use shall be established and no structure shall be constructed or altered until a Development Plan for each such use and/or structure has been approved by the Township Trustees. An application, in a form approved by the Board of Trustees, shall be completed by the property owner and submitted with the Development Plan. A total of 15 copies of the application and supporting material shall be submitted. The application form shall be provided by the Zoning Inspector. All mapping shall be prepared using the County's graphic standards.

**2. Development Plan**

In addition to the application required herein, 15 copies of the Development Plan shall be submitted with the application. The Development Plan, which may be submitted for the entire development or an individual phase, shall contain, in text and map form, the following information at a minimum:

- a) Proposed name of the development and its location;
- b) Names and addresses of owners and developers;
- c) Date, north arrow and Plan scale. Scale shall be one-inch equals 100 feet or larger scale;
- d) Boundary lines of the proposed development and the total acreage encompassed therein;
- e) Locations, widths and names of all existing public streets or other public ways, railroad and utility rights of way or easements, parks and other public open spaces, permanent structures, and section and corporation lines within or adjacent to the tract;
- f) Existing sewers, water mains, culverts and other underground facilities within the tract, adjacent to the tract or that will be used in developing the tract, indicating pipe sizes, grades and locations;
- g) The adjoining lines of adjacent tracts, parcels or lots;
- h) Residential density, dwelling types, nonresidential building intensity and specific uses to be included within the proposed development, specified according to area or specific building location;
- i) Existing ground configuration, drainage channels, wooded areas, watercourses and other significant physical features;
- j) Layout of proposed streets, including their names and rights of way, easements, sewers, water lines, culverts, street lighting and other major improvements;
- k) Layout, numbering and dimensions of lots if more than one;

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- l) Anticipated building envelope and general architectural style and character of proposed structures;
- m) Parcels of land intended to be dedicated or temporarily reserved for public use or reserved by deed covenant with the condition proposed for such covenant and for the dedications;
- n) Building setback lines with dimensions;
- o) Tentative street grades and sewer size slope;
- p) Traffic circulation, parking areas, curb cuts and pedestrian walks;
- q) Landscaping plans, including site grading and landscape design;
- r) Engineering feasibility studies of any anticipated problems which may arise due to the proposed development as required by the Zoning Commission;
- s) For other than detached single-family structures, provide:
  - (i) Drawings for buildings to be constructed in the current phase, including floor plans, exterior elevations and sections;
  - (ii) Color rendering of buildings(s), complete with a listing of all colors, including Pantone 1999-2000 Reference Numbers or if Pantone is not available, the manufacturer's reference/serial number with sample, and materials, with samples to be used;
  - (iii) Building locations depicting the bulk, height and spatial relationships of building masses with adjacent development;
  - (iv) Intended measures to screen rooftop mechanical equipment from view;
- t) A detailed signage and exterior lighting plan;
- u) Accommodations and access for emergency and firefighting apparatus;
- v) The management plan or mechanism to provide for the perpetual maintenance of all open space, landscaping, buffers and shared parking areas by the ultimate owner and/or user and the controlling instruments;
- w) Location of open space area and designation of intended uses; and
- x) Any additional information as may be required by the Zoning Commission.

### 3. Process For Development Plan(s) Approval

The application and supporting materials for the Development Plan approval shall be submitted to the Zoning Commission for hearing and recommendation. The Zoning Commission shall

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establish a date for the hearing within a reasonable period of time following its receipt of the application and shall give the applicant written notice at least ten (10) days before the date of the hearing. The Zoning Commission shall make a recommendation for the approval, modification or denial of the application within a reasonable period of time after it is submitted. The recommendation shall be forwarded to the Board of Trustees. The Board of Trustees shall hold a hearing on the application within a reasonable period of time after its receipt of the recommendation and shall give the applicant written notice at least ten (10) days before the date of the hearing. The Board of Trustees shall render a decision on the application within a reasonable period of time after the recommendation and application have been submitted to the Board of Trustees for its action. In determination of its decision for approval or denial of the development plan the trustees shall consider whether or not the Development Plan is in substantial compliance with and consistent with the Zoning Plan for the property based upon the requirements in section 500.04.

#### **4. Commencement of Development**

Upon the approval of the Development Plan, the tract which is the subject of said Development Plan may be used and developed consistent with the approved Zoning Plan and the Development Plan. The approval of the Development Plan shall be for a period of three (3) years in order to allow for the preparation and recording of a subdivision plat (if required under applicable law) and the commencement of construction following the issuance of certificate of zoning compliance. If no plat has been filed within this approval period (or, if platting is not required, if construction has not commenced) and unless the Board of Trustees approves an extension of this time limit, the Development Plan shall expire. Upon the expiration of the Development Plan, no use shall be established or changed and no building, structure or improvement shall be constructed until an application accompanied by a new Development Plan has been filed with and approved by the Township using the same procedures and criteria as established for the approval of the initial Development Plan.

#### **5. Extension of Time for Development Plan**

Upon application by the owner(s), the Board of Trustees may extend the time limit provided by Section 500.09 (4), above. Such extension may be given upon a showing of the purpose and necessity for same and upon evidence that the owner(s) has made reasonable efforts toward the accomplishment of the original approved Zoning Plan, and that such extension is not in conflict with the general health, safety and welfare of the public or the development standards of the PD.

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## 6. Modification of Development Plan

An applicant seeking to modify an approved Development Plan shall file an application for Development Plan Modification utilizing the same procedures and criteria as established for the approval of the initial Development Plan. Modifications of a Development plan, not modifying the underlying zoning, shall be subject to the review and approval of the Zoning Commission only.

### 500.10 Fees

A fee as established by the Board of Trustees shall accompany an application requesting approval of the Zoning Plan or Development Plan. In addition, the applicant shall also be responsible for all reasonable and necessary expenses incurred by Jerome Township in using professional consulting services to review the Zoning Plan and/or Development Plan. These expenses may include, without limitation, costs for professional consultants such as architects, landscape architects, planners and engineers utilized by the Township in connection with reviewing the Zoning Plan or Development Plan and related application materials. As soon as reasonably practicable following the submission of an application for approval of a Zoning Plan or Development Plan, the Zoning Commission shall decide if it needs a professional consultant(s) to assist it in reviewing the application. If the Zoning Commission decides it needs professional consulting services, it shall designate the person(s) to be consulted and make an initial estimate of the expenses anticipated to be incurred in reviewing the application materials. The Zoning Commission shall provide the applicant with notice of its initial estimate of such expenses. This initial estimate will be reviewed, and may be revised, from time to time during the review process, and, if such review results in an increase in the estimated professional consulting fees and charges which will be incurred in the Township's review of the application materials, the Zoning Commission shall send the applicant written notice of the revised estimate of fees and charges. Within fourteen (14) days of the date of the notice of the initial estimate of fees and charges (and, if applicable, within fourteen (14) days of the date of the notice of any revised estimate), the applicant shall deposit in the office of the Township Fiscal Officer or the Fiscal Officer's designee, an amount equal to the estimated cost of the Township's expenses. In making the estimate of the professional consulting fees and charges anticipated to be incurred, the Zoning Commission shall consider the reasonable commercial rates of qualified professionals and reasonable estimates of time to complete the review. Any unused portion of the estimated amount received to cover the professional consulting fees and charges shall be returned to the applicant as soon as practicable following the final disposition of the application, along with a summary of the fees and charges expended for such services.

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### 500.11 Phases

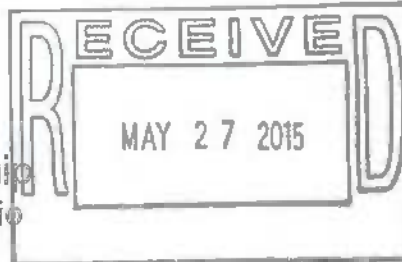
A project which is the subject of the Zoning Plan may be approved for development in phases. Each phase shall require approval of a Development Plan for that phase pursuant to the procedures set forth herein. Unless otherwise specified in the Zoning Plan or absent an extension approved by the Board of Trustees, all phases shall be submitted for and receive Development Plan approval within the time frame set forth in Section 500.09 (4). An application for Development Plan approval for each phase of a project shall be annotated as to the as built conditions and shall be supplemented with an updated construction schedule. The phasing schedule shall be fully described in the Zoning Plan in a manner sufficient to give Township officials guidelines for the timing of future phases.

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Jerome Township  
Union County, Ohio

9777 Industrial Parkway  
Plain City, Ohio 43064  
Office (614) 873-4480  
Fax (614) 873-8664



## Application Form PUD Zoning

Office Use Only:  
Application #: PUD 15-120 Date: 5-27-15  
Fee: \$ 4500.00 Check # 160329

### Agent / Applicant Information:

Agent / Applicant Name: SCHOTTENSTEIN REAL ESTATE GROUP Date: 5/26/15  
Mailing Address: 2 EASTON OAK #510, COLUMBUS, OH 43219  
Email Address: dh@sregroup.com or williamwestbrook@yahoo.com Phone: 614-418-8907 or 614-571-1159

### Property Information:

Property Address: 7437 HYLANO-CROY ROAD, PLAIN CITY, OH 43064  
Property Owner: PAUL & MARY JACQUEMIN, ARTHUR & ELIZABETH WISNER  
Parcel ID # (s): 170031038000 & 170031036000  
170031038100  
Acreage: 60.43 Current Zoning: RURAL Subdivision Name: N/A  
RESIDENTIAL

### PUD Zoning Information:

#### PUD Type Requested:

- ☐ Residential  
☐ Commercial / Office  
☐ Industrial  
☒ Mixed-Use  
☐ Modification of Existing PUD

#### Adjacent Land Uses:

North: METRO PARK  
South: AGRICULTURE  
East: LIGHT INDUSTRIAL  
West: AGRICULTURE / RESIDENTIAL

#### Proposed Utilities:

- ☒ Public Sewer  
☐ On-Site Sewer  
☒ Public Water  
☐ Private Well

The undersigned certifies that this application and the attachments thereto contain all the information required by the Zoning Resolution and that all information contained within this application is true and accurate to the best of his/her knowledge. Applicant hereby certifies that they have legal ownership or legal control over the property to be re-zoned and agrees to be bound by the provisions of the Jerome Township Zoning Resolution.

SCHOTTENSTEIN REAL ESTATE GROUP

Agent / Applicant Signature: Donald J. Hentz Jr. Date: May 26, 2015

Property Owner Signature (if different from the Applicant): \_\_\_\_\_

The owner(s) of land, in requesting that the Zoning Resolution be amended to include such land in the PUD, shall file fifteen (15) paper copies, and one electronic copy, of the application, Zoning Plan, and Zoning Text for such amendment with the Jerome Township Zoning Commission which shall contain:

**1. Application form and supplementary information:**

- ☒ name, address and telephone number of the owner and applicant;
- ☒ name, address and telephone number of the urban planner, architect, landscape architect, surveyor and/or engineer assisting in the preparation of the Zoning Plan;
- ☒ legal description of the property and the address of the property;
- ☒ description of existing uses;
- ☒ present zoning district;
- ☒ a vicinity map at a scale approved by the Zoning Commission showing the relationship of the PUD to the adjacent properties, existing streets and public service facilities in the area;
- ☒ a list of the names and addresses of all owners of property which are within, contiguous to and directly across the street from the subject property as such addresses appear on the County Auditor's current tax list; and
- ☒ any other matter or information deemed necessary or relevant by the Zoning Commission for the proposed amendment.

**2. Zoning Plan**

In addition to the application required herein, fifteen (15) copies of the proposed Zoning Plan shall be submitted with the application. The proposed Zoning Plan shall be prepared and endorsed by a qualified urban planner, architect, landscape architect, engineer and/or surveyor, with all mapping to be at a scale of at least 1" = 100', and shall include, in text and map form, the following:

- ☒ Proposed location and size of the proposed planned district. This includes a survey map of the boundaries of the site and a legal description.
- ☒ A list and description of the precise uses proposed for the development. Listed uses shall be defined by their customary name or identification, except where they are specifically defined or limited in the Zoning Plan or this Zoning Resolution. Any listed use may be limited to specific areas delineated in the proposed Zoning Plan.
- ☒ Concept site plan of the proposed planned district, and proposed layout of all subareas.
- ☒ Proposed densities, number of lots and dimension parameters, and building intensities.
- ☒ Proposed parks, playgrounds, schools and other public facilities or open spaces including woodland preservation and natural topography preservation areas with their suggested ownership.
- ☒ Locations of stream channels, watercourses, wooded areas and buffer areas shall be designated. Existing topography and drainage patterns shall also be shown.
- ☒ Relation to existing and future land use in surrounding area.
- ☒ Proposed provision of water, sanitary sewers, surface drainage, and street lighting.
- ☒ Proposed traffic and pedestrian circulation pattern, indicating both public and private streets or highways, access points to public rights-of-ways, bike paths and trails, sidewalks and any off-site street improvements.
- ☒ An anticipated schedule for the development of units to be constructed in progression and a description of the design principles for buildings and streetscapes; tabulation of the number of acres in the proposed phase for various uses, the number of housing units proposed by type; building heights; open space; building intensity; parking areas; density and public improvements proposed.
- ☒ Engineering feasibility studies and schematic plans showing, as necessary, water, sewer and other utility installations, waste disposal facilities, surface drainage, and street improvements.



- ☒ Site plan, showing approximate nonresidential building locations(s), various functional use areas, circulation, and their relationship.
- ☐ General architectural design criteria for proposed buildings, structures, signs and exterior lighting with proposed control features.
- ☒ Deed restrictions, protective covenants, and other legal statements or devices to be used to control the use, development and maintenance of the land, the improvements thereon, including those areas which are to be commonly owned and maintained.
- ☐ Projected schedule of site development.
- ☒ Evidence that the applicant has sufficient control over the land to carry out the proposed development.
- ☒ Regulation Text for development in the proposed Planned Unit Development District. That text must set forth and define the uses to be permitted in the proposed Planned Unit Development District and the development standards applicable to the proposed District. The Regulation Text is intended to guide all development of the property proposed to be designated as a PUD.

### 3. Zoning Text

This Regulation Text shall only apply to the PUD in question and all development within that PUD. All appropriate regulatory areas should be addressed by the applicant in the Regulation Text including, without limitation, the following:

- ☒ All required setbacks including, but not limited to, buildings, service areas, off-street parking lots and signage, including rear, front and side yard areas.
- ☒ All maximum height and size requirements of buildings, mechanical areas and other structures.
- ☒ All parking and loading space standards per building square footage or dwelling unit type, including dimensions of all parking stalls, aisles and loading spaces.
- ☒ All street and road right-of-way and pavement width dimensions, curb cut spacing and other related circulation standards.
- ☒ All pedestrian and bicycle walkway, trail and sidewalk dimensional standards, including rights-of-way and pavement width, and pavement standards.
- ☒ All screening and landscaping standards, including buffer dimensions, height, landscape material, maintenance standards, and screening standards for off-street parking areas, loading docks, trash receptacles and dumpsters, ground- and roof-mounted mechanical units and adjoining areas.
- ☒ All proposed signage and graphic standards, including height, setback, square footage, colors, corporate logos and type.
- ☒ All exterior lighting standards, including light intensity, placement, height and materials for parking lots, walkways, sidewalks and accent lighting.
- ☒ All exterior architectural design standards, including material, color and styles.
- ☒ A list and description of the precise uses proposed for the development. Listed uses shall be defined by their customary name or identification, except where they are specifically defined or limited elsewhere in the Zoning Plan or this Zoning Resolution. Any listed use may be limited to specific areas delineated in the proposed Zoning Plan;
- ☒ Frontage requirements, minimum lot area requirements, yard areas, lot coverage restrictions and perimeter setback requirements.
- ☒ Accessory structure standards and limitations.
- ☒ Open space area, uses and structures, including proposed ownership and sample controlling instruments.
- ☒ Any other regulatory area or matter deemed necessary or relevant by the Zoning Commission.
- ☒ The Regulation Text should contain the following provision: All development standards not specifically addressed by the Regulation Text shall be regulated by those general development standards set forth in the Zoning Resolution.



# Jacquemin Farms

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## Preliminary Zoning Plan Application

05/26/2015

Jerome Township, Ohio

Prepared For:

**SCHOTTENSTEIN**  
REAL ESTATE GROUP

Prepared By:

**EMH&T**

  
**SULLIVAN BRUCK**  
ARCHITECTS

William R.  
Westbrook

  
**OHM**  
Advancing Communities®

James L. Schottenstein

Preliminary Voting Plan Application

02/26/2012

James L. Schottenstein, Ohio

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SCHOTTENSTEIN  
REAL ESTATE GROUP

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OHIO

James L. Schottenstein  
Member of

James L. Schottenstein  
Member of

Jacquemin Farms

Preliminary Zoning Plan Application

May 26<sup>th</sup>, 2015

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## **Development Text**

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### **Introduction:**

The new Jacquemin Farms (Present Name) Community is rooted in the Jacquemin Family Farm and Farmer's Market started in 1987. The Jacquemin Family will continue to provide the broader Central Ohio, Union County and Dublin markets with the highest quality fruits and vegetables and will increase the products, services and experiences to the public as it evolves to be bigger and better.

The larger community of the new Jacquemin Farms will encompass a true mixed-use development that will include, in addition to the expanded Jacquemin Farmer's Market, boutique retail and office uses, a high end low density rental residential community with exceptional amenities and a unique senior residential community. Jacquemin Farms will offer the first walkable mixed-use development in Jerome Township with excellent pedestrian access between the four (4) Subareas on site and the surrounding community to the east at the intersection of Park Mill Drive and Hyland-Croy Road. The community is centered by an attractive and easily approachable Central Park green space available to the Jacquemin Farms Community and its visitors. The architecture of the built community will be significantly influenced by the rural traditions of earlier Ohio farm houses and communities.

This site is uniquely located as an appropriate mixed-use development that is an excellent transition between the proposed intensive Halls Corners retail development to the south and the single family development and proposed low density multi-family development to the east, the Glacier Ridge Metro Park to the north and the very busy U.S. Route 33 to the west.





## **Development Text – Planned Development District**

- a. **Proposed location and size of the proposed planned district. This includes a survey map of the boundaries of the site and a legal description.**

The site is generally located on the west side of Hyland-Croy Road, north and contiguous to Weldon Road and south of the and contiguous to the Glazier Ridge Metro Park. Included in this application is a legal description/ Survey (Exhibit "A") and Existing Conditions Plan (Exhibit "D" ) for the parcels to be included in the community and the submitted plans are consistent with that legal description. The Survey shows a gross site area of 60.43 acres. The existing ROW's of Hyland-Croy Road and Weldon Road within the property are a total 1.51 acres. The proposed requested additional ROW for Hyland-Croy Road is 0.53 acres.

- b. **A list and description of the precise uses proposed for the development. Listed uses shall be defined by their customary name or identification, except where they are specifically defined or limited in the Zoning Plan or this Zoning Resolution. Any listed use may be limited to specific areas delineated in the proposed Zoning Plan.**

The Community will be divided into four (4) Subareas: Subarea A - Residential, Subarea B – Senior Residential, Subarea C-1 – Commercial and Subarea C-2 – Commercial.

The proposed uses for **Subarea A – Residential** will include attached multi-family rental residential including attached and detached garages, a private community building, a private pool complex, community garden, dog park, sidewalks, gazebo, pedestrian bridge, retention basins, paved driveways, parking, landscaping, and other amenities consistent with a high quality rental residential community.

The proposed uses for **Subarea B – Senior Residential** will include:

- Nursing Care Facilities – 623110
- Continuing Care Retirement Community – 6233
- Attached Multi-family Residential with additional services and amenities
- Retention basin(s), landscaping, signs, drives, parking and sidewalks

The proposed uses for **Subareas C-1 & C-2 – Commercial** will include:

- All Permitted Uses in the Local Retail District (except 447 Gasoline Stations). Other Permitted Uses will be 44613 Optical Good Stores; 5242 Agencies, Brokerages and Other Insurance Related Activities, 541213 Tax

Preparation Services, 541921 Photography Studios, Portraits, various offices uses consistent with 523, 524, 525, 541 (except 541940 Veterinary Services , 541850 Outdoor Advertising and 5417 Research & Development ), 5312 Offices of Real Estate Agents and Brokers, 621 (except 6214 Significant Medical Facilities & 6215 Medical Laboratories), 561 and 6244 Child Day Care Services.

It is the intent for the Jacquemin Family Farmer's Market to continue to operate consistent with present operations (including farming in smaller fields) and in its existing facilities all on **Subareas C-1 and C-2**. Future additions, renovations and new buildings with the uses listed below will be consistent in quality and character of the existing buildings subject to the appropriate Building Code. The proposed uses for **Subareas C-1 and C-2** as the Jacquemin Family Farmer's Market will include:

The Permitted Uses will be: 111212 Other Vegetable Farming, 11133 Fruit and Nut Farming, 4452 Specialty Food Stores, 4453 Beer, Wine and Liquor Stores, 311811 Retail Bakeries (not to exceed 5,000 square feet for processing), 7225111 Full-Service Restaurants, 722513 Limited-Service Restaurants, 445320 Fruit and Vegetable Markets, 312120 Breweries (not to exceed 5,000 square feet for processing), 453220 Gift, Novelty and Souvenir Stores and various farm related entertainment such as hay rides, corn mazes etc

**c. Concept site plan of the proposed planned district, and proposed layout of all subareas.**

This Planned District Development (PD) Zoning Plan Application includes copies of the Preliminary Zoning Plan and the Preliminary Utility Plan (Exhibits "E" and "F" respectively).

**d. Proposed densities, number of lots and dimension parameters, and building intensities.**

The Site Data Chart on the Preliminary Zoning Plan (Exhibit "E") details the relevant information. All perimeter setbacks are shown on the Preliminary Zoning Plan (Exhibit "E"), also.

**e. Proposed parks, playgrounds, schools and other public facilities or open spaces including woodland preservation and natural topography preservation areas with their suggested ownership:**



The Open Spaces provided in the Preliminary Site Plan will be used for retention basins, landscaping, utility easements and other general passive recreational uses.

The Open Spaces are a total of 12.0 acres or 21% of the net (excluding existing and requested ROW of Hyalnd-Croy Road & Weldon Road) development area of 58.39 acres.

All Open Space shall be owned and maintained by the Owner(s) of the open space located and identified in the particular Subareas.

**f. Locations of stream channels, watercourses, wooded areas and buffer areas shall be designated. Existing topography and drainage patterns shall also be shown.**

The Existing Conditions Plan (Exhibit "D") shows that there are no existing watercourses or wooded areas (except some minor tree rows along some the boundaries) and provides the existing topography and drainage patterns.

**g. Relation to existing and future lands use in surrounding area.**

The existing land uses are Glacier Ridge Metro Park and one single family residence in a wooded area to the north, across Hyland-Croy Road single family residences in the Park Place subdivision on the northern part and agriculture on the southern part of the east boundary, across Weldon Road agriculture on the south boundary and across U.S. Route 33 light industrial and commercial uses.

The future land uses as proposed in the Jerome Township 2008 Comprehensive Plan are Mixed Commercial and Retail where the single family residence is to the north, where the agriculture is to the east and where the agriculture is to the south.

The property to the south of Weldon Road has been rezoned to an extensive and intensive retail use including "big box" retailers.

The existing uses to the north with Glacier Ridge Metro Park and to the west with apparent fully developed light industrial and commercial uses are both not expected to change in the near term.

**h. Proposed provision of water, sanitary sewers, surface drainage, and street lighting.**

Water and sewer service will be provided by the City of Marysville as is shown on the Preliminary Utility Plan (Exhibit "F")

On site surface drainage will be as required by the development regulations of Union County and Ohio EPA. The site is tributary to the Scioto River.

The Preliminary Utility Plan (Exhibit "F") shows the proposed layouts for water, sanitary sewer and drainage systems.

The location of the proposed street and parking lighting is shown on the Preliminary Zoning Plan (Exhibit "E") and examples of the proposed lighting fixtures are provided in Exhibit "E".

**i. Proposed traffic and pedestrian circulation pattern, indicating both public and private streets and highways, access points to public rights-of-ways, bike paths and trails, sidewalks and any off-site street improvements**

The Preliminary Zoning Plan (Exhibit "E") provides and identifies the only proposed public street. All other streets and parking are private.

A Traffic Impact Study will be provided to Union County Engineer and the City of Dublin.

All proposed sidewalks are identified on the Preliminary Zoning Plan (Exhibit "E").

**j. An anticipated schedule for the development of units to be constructed in progression and a description of the design principles for buildings and streetscapes; tabulation of the number of acres in the proposed phase for various uses, the number of housing units proposed by type; building heights; open space; building intensity; parking areas; density and public improvements proposed.**

The applicant is anticipating submitting an application for Development Plan Approval immediately after approval of the Zoning Plan. It is scheduled that the site construction for **Subarea A** to commence in the Fall, 2015. **Subarea A** is a total of 35.99+/- acres and proposes 300 multi-family rental residential units or a density of 8.3 units per acre. Subarea A has 9.3+/- acres of open space or 25.8% of open space.

**Subarea B** submission of an application for Development Plan approval and commencement of development will be determined when a specific service provider (s) has been identified. Subarea B has a total 11.0+/- acres. Presently



as planned, Subarea B has 2.7+/- acres open space or 24.5% of open space. This application agrees to a maximum 250 beds for one or more facilities.

**Subareas C-1 and C-2** will continue existing operations of the Jacquemin Family Farmer's Market with an application submittal for Development Plan approval when the Jacquemin Family Farmer's Market has ended the present uses as described in Section b. above. This application agrees to a maximum of 15,000 square feet per acre in gross building area.

- k. Engineering feasibility studies and schematic plans showing, as necessary, water, sewer and other utility installations, waste disposal facilities, surface drainage, and street improvements.**

The Preliminary Utility Plan (Exhibit "F") provides the schematic layout of the various public utilities. Provided in Exhibit "G" are service letters for the provisions of electrical, gas, cable, internet, public sewer, public water and fire protection.

- l. Site plan, showing approximate nonresidential building location(s), various functional use areas, circulation, and their relationship.**

The Preliminary Zoning Plan (Exhibit "E") depicts the proposed building placements, pedestrian and vehicular circulation and their relationship.

- m. General architectural design criteria for proposed buildings, structures, signs and exterior lighting with proposed control features.**

#### Architectural Design & Considerations

1. Attached residential building types
  - a) Two-story townhouse and garden buildings as shown on attached drawings. The architectural style shall be traditional farmhouse vernacular with clapboard and board and batten siding and brick or stone elements.
  - b) Amenity and accessory buildings including community building, trash and maintenance building, detached garages, mail gazebo, etc.
  - c) Final building elevations shall be consistent with the building elevations attached to this Development Text. Notwithstanding the foregoing, the attached building elevations are conceptual and may be adjusted to reflect engineering, and/or architectural refinements or other conditions at the time of approval of the development plan.

**2. Subarea B - Senior Residential**

- a) Maximum four-story buildings of traditional architectural style with clapboard siding and brick or stone elements.

**3. Subarea C-1 and C-2 - Commercial**

- a) Maximum two-story farmhouse and agrarian structures of clapboard and board and batten siding and brick or stone elements.

**4. Building Materials**

- a) Exterior materials - brick, stone, synthetic stone, wood, fiber-reinforced cement siding, composite trim and upgraded vinyl siding are approved exterior finish materials. Vinyl siding shall have a minimum thickness of .040" with high quality matte finish in clapboard and board and batten profiles to mimic historic wood detailing.
- b) Windows in residential buildings - traditional single or double-hung vinyl.
- c) Windows in commercial/retail buildings - traditional single or double-hung wood, vinyl, aluminum or clad wood windows.
- d) Shutters shall be wood or vinyl.
- e) Gutters and downspouts - extruded aluminum.
- f) Roof - minimum 25 year dimensional asphalt singles or standing seam metal.

**5. Building Colors - exterior colors for siding, doors, shutters, fascia, cornices, soffits and miscellaneous trim shall be selected from a pre-approved color guide of historic colors included in the Development Plan.**

**6. Rooftop and ground mounted screening - all mechanical equipment or other utility hardware on roof, ground or building shall be screened from public view with natural or other materials that are harmonious with the associated building(s). Ground mounted mechanicals shall not be permitted in any setback.**

7. **Roof types** – pitched roofs shall be required to have a 6:12 or greater rise over run on main roof area. Minor gables, dormers, upper section of gambrel roof and porch roofs are permitted to have a minimum of 4:12 rise over run. Roof materials for pitched roof shall be dimensional asphalt shingles or standing seam metal roof. A pitched roof can be accomplished with a donut design (pitched roof appearance on all four facades and a flat membrane roof interior to the perimeter pitched roof).

**Subarea A** – Elevations for all the residential buildings and a conceptual design sketch of the community building are provided in Exhibit "I".

**Subarea B** – Refer to the Overall Birdseye Conceptual Site Rendering provided in Exhibited "I".

**Subarea C-1** - Conceptual design elements are provided in Exhibit "I".

**Subarea C-2** - Conceptual design elements are provided in Exhibit "I".

Overall Birdseye Conceptual Site Rendering is provided in Exhibit "I".

- n. **Deed restrictions, protective covenants, and other legal statements or devices to be used to control the use, development and maintenance of the land, the improvements thereon, including those areas which are to be commonly owned and maintained.**

The applicant proposes to form a Property Owners' Association for the sole purpose of approving the architectural and landscaping design for new and renovated buildings for each Subarea. The applicant will provide the definitive process of those approvals with the first submission of a Development Plan for the site.

- o. **Projected schedule of site development.**

See Section j. above about the process and schedule for site development by Subarea. The only public street is projected to commence site development in the 1<sup>st</sup> or 2<sup>nd</sup> quarter of 2016.

- p. **Evidence that the applicant has sufficient control over the land to carry out the proposed development.**

The Owners of the properties have signed Real Estate Purchase Agreements that grant Schottenstein Real Estate Group (Applicant) permission to rezone



these properties for the proposed uses. If requested, applicant will provide access to the Jerome Township Zoning Inspector to those agreements to affirm that permission.

- q. **Regulation text for development in the proposed Planned Unit Development District. That text must set forth and define the uses to be permitted in the proposed District. The Regulation Text is intended to guide all development of the property proposed to be designated as a PD.**

**This Regulation Text shall only apply to the PD in question and all development within that PUD. All appropriate regulatory areas should be addressed by the applicant in the Regulation Text including, without limitation, the following:**

- i. **All required setbacks including, but not limited to, buildings, service areas, off-street parking lots and signage, including rear, front and side yard areas.**

**Subarea A:**

Setback from proposed internal public street right-of-way:

20 feet building and parking/ vehicle circulation areas.

Setback from adjacent residential zoning district, metro-park, and Subarea C-1:

30 feet building and parking/ vehicle circulation areas.

Setback from US 33 right-of-way:

50 feet building and parking/ vehicle circulation areas.

Setback from Subarea B boundary:

0 feet parking/ vehicle circulation areas

20 feet building and structures

### **Subarea B**

Setback from proposed internal public street right-of-way:

20 feet building and parking/ vehicle circulation areas

Setback from US 33 right-of-way:

50 feet building and parking/ vehicle circulation areas.

Setback from south property line:

25 feet building and parking/ vehicle circulation areas.

Setback from Subarea A boundary:

0 feet parking/ vehicle circulation areas

20 feet building and structures

### **Subarea C-1**

Setback from Hyland-Croy Road right-of-way:

40 feet parking and vehicular circulation

60 feet building and structures.

Setback from adjacent north residential zoning district:

20 feet parking and vehicular circulation areas.

40 feet for loading, delivery, and service areas.

40 feet for buildings

Setback from Subarea A boundary:

30 feet building and parking/ vehicle circulation areas, except for shared private street.

Setback from proposed internal public street right-of-way:

20 feet building and parking/ vehicle circulation areas.

### **Subarea C-2**

Setback from Hyland-Croy Road right-of-way:



40 feet parking and vehicular circulation.

60 feet building and structures.

Setback from Weldon Road right-of-way:

20 feet parking and vehicular circulation.

40 feet building and structures.

Setback from proposed internal public street right-of-way:

20 feet building and parking/ vehicle circulation areas.

- ii. **All maximum height and size requirements of buildings, mechanical areas and other structures. The definition of Height of Building is in Section 300 Definitions of the Jerome Township Zoning Resolution entry number 16.**

**Subarea A** - the maximum building height is 38 feet.

**Subarea B** - the maximum building height for a four (4) story facility is 59 feet and for a two (2) story building is 38 feet.

**Subarea C-1** - the maximum building height is 40 feet.

**Subarea C-2** - the maximum building height is 40 feet.

- iii. **All parking and loading space standards per building square footage or dwelling unit type, including dimensions of all parking stalls, aisles and loading spaces.**

Minimum parking for **Subarea A** shall be 2 spaces per dwelling unit.

Minimum parking for **Subarea B** shall be 1 space per four (4) beds.

Minimum parking for **Subarea C-1 and C2** shall be per the zoning code by use as defined at time of Development Plan.

Parking spaces may be provided in surface lots, attached or detached garages, or on-street (public or private) spaces.

**Subareas C-1 and C-2** shall be permitted to share parking (joint or combined parking – Sec. 610.03) with recorded cross-access agreement of the property owners.

Drive aisles shall be 22 feet in width.

Parking stalls shall be minimum of 9 feet in width and 19 feet in length

**iv. All street and road right-of-way and pavement width dimensions, curb cut spacing and other related circulation standards.**

All of the public and private ROW's, pavement dimensions, curb cut spacing and other related circulation standards are shown specifically or by scale on the Preliminary Zoning Plan (Exhibit \_\_) and/or the Preliminary Utility Plan (Exhibit \_\_).

**v. All pedestrian and bicycle walkway, trail and sidewalk dimensional standards, including rights-of-way and pavement width, and pavement standards.**

All sidewalks shown on the Preliminary Zoning Plan (Exhibit "E") will be at least 4 feet in width.

**vi. All screening and landscaping standards, including buffer dimensions, height, landscape material, maintenance standards, and screening standards for off-street parking areas, loading docks, trash receptacles and dumpsters, ground- and roof-mounted mechanical units and adjoining areas.**

The proposed landscape design is as shown on the Preliminary Landscape Plan (Exhibit "H").

Off-street parking areas shall be screened with a 3 feet 6 inch tall evergreen hedge for headlight screening, consistent with code Section 610.03.9.

Loading docks shall be located to the side or rear of the building, and shall be screened from views off-site to a minimum height of 6 feet with a fence, wall, mound, or evergreen hedge or any combination thereof.

Trash receptacles and dumpsters shall be screened on all sides within an enclosure or building compatible with the associated subarea architecture. Enclosure may consist of a screen fence or wall with gates, and shall be at least 6 feet in height.

Roof-mounted mechanical units shall be screened from ground level view from adjacent properties with an architecturally compatible screening enclosure.

Ground-mounted mechanical units shall be screened on all sides with a screen fence, wall, or evergreen hedge. Screen shall be at least one foot taller than the object intended to be screened.

**Subarea C-1:** Buffering shall be provided along the north property line adjacent to the existing residential zoned property, and along the west property line shared with Subarea A, per zoning code Section 620 .

**vii. All proposed signage including height, setback, square footage and colors.**

All the locations for the proposed signs on the Preliminary Zoning Plan (Exhibit "E") and the conceptual sign details are shown in Sign Details (Exhibit "E")

Signs may be internally illuminated by white interior light of reasonable intensity with logos and/or letters lit or silhouetted on an opaque background. No additional background lighting shall be permitted. Signs may be externally illuminated. External light sources shall be shielded by a decorative fixture or screened from view and directed only at the sign being lit.

**Joint Identification Signs:**

Two (2) signs shall be permitted within **Subarea C-2** along the Hyland-Croy frontage for the purposes of identifying the development.

One sign shall be permitted to be located at the intersection with Park Mill Drive, and one sign shall be permitted to be located at the intersection with Weldon Road.

Signs shall not exceed 6 feet in height and 60 square feet of display area per side. Signs will be permitted a maximum overall height of eight (8) feet from grade. Signs may include the development name and up to four (4) tenants/users of any subarea. The proposed Example of the Joint Identification Sign in Exhibit E is for establishing the design intent only and applicant will provide in the Development Plan submission a specific detailed Joint Identification Sign for approval.

**Subarea C-1** shall be permitted one monument sign along the Hyland-Croy Road frontage, and shall meet the requirements of Section 455.08.2



**Subarea C-1 and C-2:** individual building tenants shall be permitted one wall sign per elevation fronting a public street, to a maximum of two (2) wall signs per tenant.

**viii. All exterior lighting standards, including light intensity, placement, height and materials for parking lots, walkways, sidewalks and accent lighting.**

All of the proposed locations of the free standing exterior lights are shown on the Preliminary Zoning Plan (Exhibit "E"). In addition, in Subarea A above each garage door will have an exterior light and beside each entry door will also have an exterior light. All of the proposed exterior lights have conceptual designs in Exhibit "E". Light poles may include metal and/ or engineered wood/ glu-lam poles designed for use in site lighting. Final pole selection will be specified in the Development Plan.

Lighting for private streets and vehicle-use areas shall be provided per code requirements.

Maximum height of light fixtures in parking areas and along public or private streets shall be 24 feet.

Maximum height of light fixtures in pedestrian areas shall be 15 feet.

Light fixtures, poles, and bases shall be consistent and/or complimentary in style throughout the development.

Site light fixtures shall be designated "full-cut-off". Building mounted lighting shall not require such designation.

Building-mounted lighting shall be permitted to meet site lighting requirements if so demonstrated with a photometric plan.

**ix. All exterior architectural design standards, including material, color and styles.**

Please review standards in Section m. above.

**x. A list and description of the precise uses proposed for the development. Listed uses shall be defined by their customary name or identification, except where they are specifically defined or limited elsewhere in the Zoning Plan or this zoning Resolution. Any listed use may be limited to specific areas delineated in the proposed Zoning Plan.**

Please review proposed uses in Section b. above.

**xi. Frontage requirements, minimum lot area requirements, yard areas, lot coverage restrictions and perimeter setback requirements.**

All frontages, size of parcels and perimeter setback requirements are shown on the Preliminary Zoning Plan (Exhibit "E").

**xii. Accessory uses and/or structure standards and limitations.**

**Subarea A** – Examples of various accessory structures are a gazebo, compactor building and mail kiosk(s). The design of these structures will be of consistent is character and materials of the residential and/or the community building. More detailed designs and standards will be provided in the Development Plan Application.

Multifamily Pool shall be permitted – code Section 645.03.2.

Compactor/ Utility building shall be architecturally consistent with the **Subarea A** architectural theme and shall be subject to the building setbacks of the subarea.

**Subarea A and B** shall be permitted detached garages, consistent with the architectural detailing of the Subarea and shall be subject to the building setbacks of the subarea.

A gazebo shall be permitted within Reserve F. The structure shall not exceed 25 feet in length or width.

**xiii. Open space area, uses and structures, including proposed ownership and sample controlling instruments.**

Please review information provided in Section e. above.

**xiv. Any other regulatory area or matter deemed necessary or relevant by the Zoning commission.**

None applicable at this time

**xv. The Regulation Text should contain the following provision: All development standards not specifically addressed by the Regulation Text shall be regulated by those general development standards set for the in the Zoning Resolution.**



The Applicant acknowledges that any standards not addressed in this application will be subject to the general development standards set forth in the Zoning Resolution.



## **Surrounding Property Owners**

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### **List of Surrounding Property Owners:**

JACQUEMIN PAUL & MARY M  
7437 HYLAND CROY RD  
PLAIN CITY OH 43064

WESNER ARTHUR G & ELIZABETH L  
JT LIVES REM TO SURV  
7455 HYLAND CROY RD  
PLAIN CITY OH 43064

CITY OF DUBLIN  
5200 EMERALD PKWY  
DUBLIN OH 43017

WIRCHANSKI JOHN  
160 FRANKLIN ST  
DUBLIN OH 43017

GORDEN ROGER WARREN & DENISE  
TRUSTEES  
7866 HARRIOTT RD DUBLIN OH 43017

BOARD OF PARK COMMISSIONERS  
METROPOLITAN PARK DISTRICT  
1069 W MAIN ST  
WESTERVILLE OH 43081



**Staff Report – Jerome Township Rezoning Application**

<b>Applicant:</b>	Schottenstein Real Estate Group c/o William Westbrook 2 Easton Oval #510 Columbus, OH 43219 (614) 571-1159 <a href="mailto:williamrwestbrook@yahoo.com">williamrwestbrook@yahoo.com</a>
<b>Request:</b>	<p>Request is to rezone 2 parcels and a portion of another 1 parcel to Planned Development (PD) District. Those parcels and their acreages are listed below:</p> <ul style="list-style-type: none"><li>• Portion of 1700310360000 (11.815 acres)</li><li>• 1700310380000 (46.948 acres)</li><li>• 1700310381000 (1.667 acres)</li></ul> <p>Total acreage</p> <ul style="list-style-type: none"><li>• 60.43 acres</li></ul> <p>Acreage to be rezoned</p> <ul style="list-style-type: none"><li>• 60.43 acres</li></ul> <p>Current use</p> <ul style="list-style-type: none"><li>• Farmer's market, single-family dwelling, agriculture</li></ul> <p>The proposal divides the PD into 4 subareas. The proposed uses for each subarea are listed below.</p> <ul style="list-style-type: none"><li>• <u>Subarea A – Residential will include:</u><ul style="list-style-type: none"><li>○ Multi-family rental residential</li></ul></li><li>• <u>Subarea B – Senior Residential will include:</u><ul style="list-style-type: none"><li>○ Nursing care facilities – 623110</li><li>○ Continuing care retirement community – 6233</li><li>○ Multi-family rental residential</li></ul></li><li>• <u>Subarea C-1 &amp; C-2 – Commercial will include:</u><ul style="list-style-type: none"><li>○ All permitted uses in the Local Retail District, except gasoline stations, and smaller-scale office uses. Examples include: optical good stores, insurance related activities, tax preparation, photography studios, offices of real estate agents and brokers, administrative and support services, and day care services.</li><li>○ <u>Subarea C-1 &amp; C-2 – Commercial</u> will also include uses that allow the Jacquemin Family Farmer's Market to continue to operate consistent with present operations, including farming in smaller fields. Examples include: specialty food stores,</li></ul></li></ul>





## Staff Report – Jerome Township Rezoning Application

	<p>beer/wine/liquor stores, retail bakeries, restaurants, breweries, gift/novelty/souvenir stores, and farm-related entertainment.</p> <p>According to the Zoning Plan, the areas propose:</p> <ul style="list-style-type: none"><li>• Subarea A: 300 dwelling units on 35.99 acres or 8.3 dwelling units per acre</li><li>• Subarea B: 250 beds on 11 acres</li><li>• Subarea C-1: 15,000 square feet per acre on 5.5 acres</li><li>• Subarea C-2: 15,000 square feet per acre on 5.9 acres</li></ul> <p>The applicant proposes 12 acres of open space on a net acreage of 58.39 or 20.6%. The total open space required by the Zoning Resolution is 20%.</p>
<b>Location:</b>	<p>The site is on the east side of US Highway 33:</p> <ul style="list-style-type: none"><li>• North of and adjacent to Weldon Road</li><li>• South of the Glacier Ridge Metro Park</li><li>• West of Hyland-Croy Road</li></ul> <p>Adjacent zoning is:</p> <ul style="list-style-type: none"><li>• North is RU (Metro Park and single family uses)</li><li>• South is RU (agricultural use)</li><li>• West is US 33 and COM (use described as industrial)</li><li>• East is RU in the Township and Planned Low Density Residential in Dublin</li></ul>

<b>Staff Analysis:</b>	<p><b>General Comments</b></p> <p>Strike multi-family rental residential from Subarea B uses. The intent of Subarea B is for senior residential uses similar to Community Care Facilities, not the multi-family rental residential noted in Subarea A.</p> <p>Because an increase in density is requested, the Township can require the developer to increase the number of neighborhood connections and amenities.</p> <ul style="list-style-type: none"><li>• Larger open spaces should include trails or sidewalks.</li><li>• Outreach to Metro Parks about a connecting path.</li></ul> <p>Increase the setback from US Highway 33 to 80' and add mounding with increased landscaping to meet the requirements of the PD District. A minimum 80' between the right-of-way of the public street and rear setback line of lots</p>
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## Staff Report – Jerome Township Rezoning Application

and increased landscape buffers are required by the Zoning Resolution.

Require mass and size for buildings in Subarea B and Subareas C-1 and C-2. This may be a simple solution, such as establishing minimum and maximum building sizes. In Subareas C-1 and C-2, this will encourage separate buildings, which appears to be the intent of the Zoning Plan.

In Subareas C-1 and C-2, require minimum/maximums for signage—setbacks for freestanding signs, widths for freestanding signs, and area for wall signs.

Require approval from the Union County Engineer's Office prior to the Township's approval to make sure the proposal meets that Office's requirements for Public Improvements and Access (PD Regulations, 500.06, 4. & 5.).

### **Comment on Density**

In its update of the Comprehensive Plan, the Township should better-define what it wants to see in the Mixed Use Office/Retail district, including densities for High Density Residential and Commercial. Consider including more detail about the mix of uses in Mixed Use Office/Retail.

The Jerome Township Comprehensive Plan identifies this property as Mixed Use Office/Retail. It is not Office/Research/Medical or Flex Office/Light Industry.

*A reading of the Mixed Use Office/Retail gives ambiguous direction, "Mixed use developments feature a mix of commercial uses and sometimes contain higher density residential uses. They are typically associated with a higher density mix of office and smaller commercial uses that support the office uses including restaurants and convenience retail...Areas of mixed use can be smaller in scale and can infill near higher density 'community centers' or can be much larger in scale and located closer to high traffic areas."*

Because the Mixed Use Office/Retail does not identify densities for High Density Residential, staff assumes those densities are the same or similar to the recommendations for High Density Residential. That section reads, "*High Density Residential uses typically have densities ranging between 3 and 6 dwelling units per acre and...may include...a variety of housing alternatives for young professionals, starter*



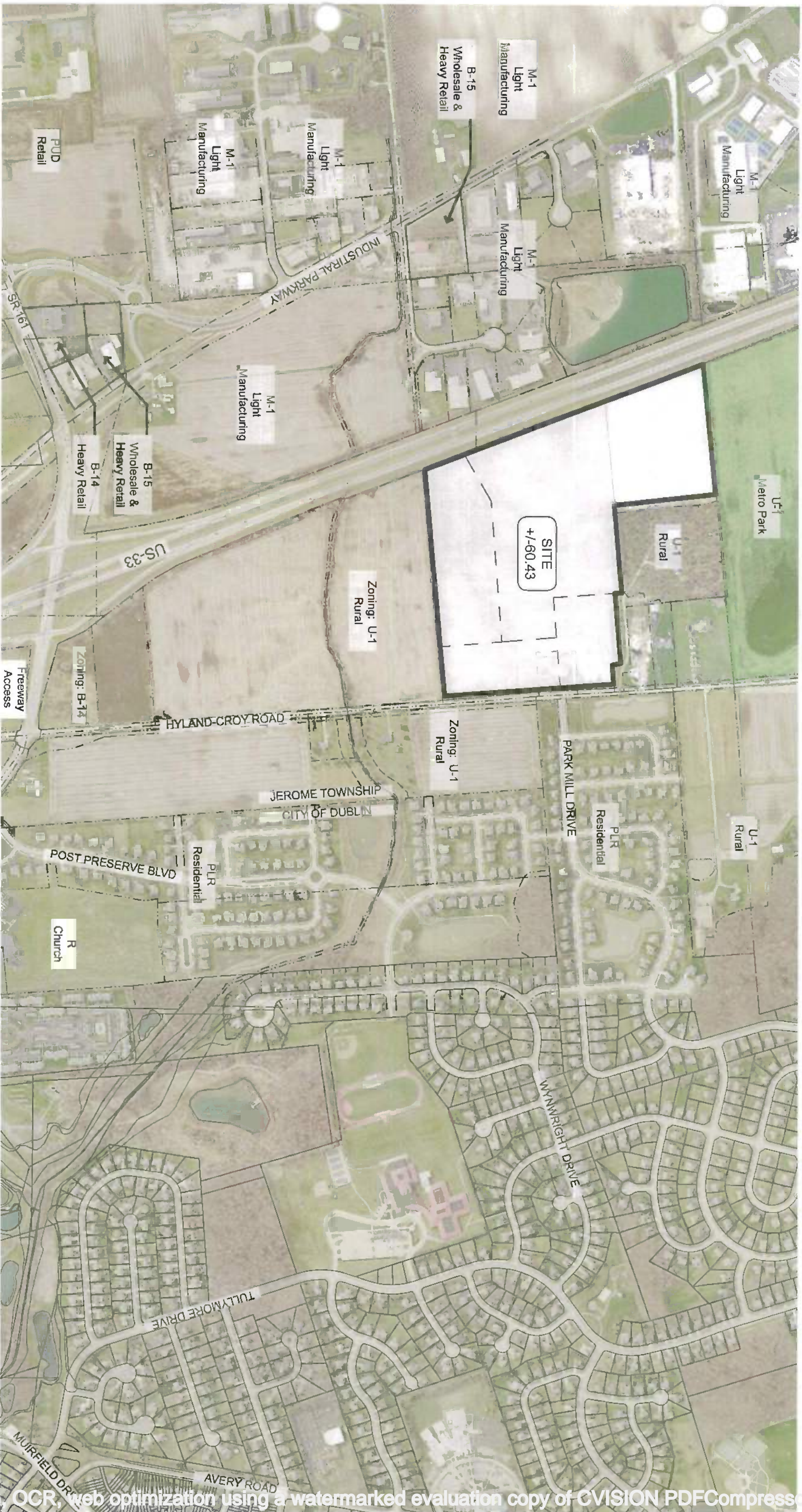
## Staff Report – Jerome Township Rezoning Application

	<p><i>homes for young couples, empty nesters, and retired or elderly citizens making it possible for these people to stay in the community.”</i></p> <p><i>The PD District Regulations read, “Increases in density should be supported for increased architectural and landscape standards and creative site planning that contributes to the desirability of the community. (PD District, 500.07, 2.)”</i></p> <p><i>The PD District Regulations read, “The density of general commercial development should not exceed 10,000 square feet per acre, absent special circumstances.” It also reads, “In addition a higher density may be approved by the zoning commission to accommodate mixed use projects and other innovative and sustainable planning features. Design standards should be incorporated into the Zoning Plan which will improve the aesthetic quality of this type of development (PD District, 500.07, 5.).”</i></p>
<b>Staff Recommendations:</b>	<p>Staff recommends <b>APPROVAL</b> of the application to rezone 2 parcels and a portion of another 1 parcel to PD with the condition that all staff comments be incorporated.</p> <p>The parcels and their acreages are listed below:</p> <ul style="list-style-type: none"><li>• part of 1700310360000 (11.815 acres)</li><li>• 170031038000 (46.948 acres)</li><li>• 1700310381000 (1.667 acres)</li></ul>
<b>Z&amp;S Committee Recommendations:</b>	



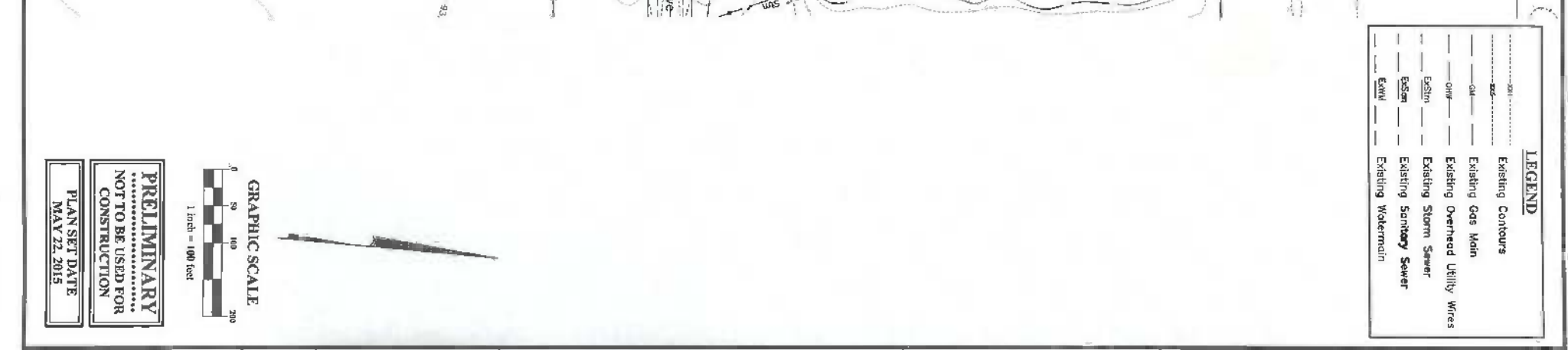






Sacquemin Farms in Jerome Township - Exhibit C: Vicinity Map



[illegible]

**E M H T**  
Evans, Meschery, Hornbush & Tilton, Inc.  
Engineers • Surveyors • Planners • Scientists  
5300 New Albany Road Columbus, OH 43054  
Phone: (614) 775-4300 Fax: (614) 775-3649

D-1

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**SITE DATA**

GROSS SITE AREA:	+/- 60.43 ac.
TOTAL NET SITE AREA:	± 58.39 ac.
Subarea A: Rental Community	± 35.99 ac.
Building 'C'	9 Bldgs. x 10 du = 90 du
Building 'D'	7 Bldgs. x 14 du = 98 du
Building 'R'	14 Bldgs. x 8 du = 112 du
Total Rental Homes:	300 du
Total Rental Community Density:	8.3 du/ac.
Parking	
Total Residential Parking:	976 spaces (3.25 spaces/d.u.)
Min. Parking Required:	2 spaces/d.u.
Total Rental Community Density:	8.4 du/ac
Subarea B: Senior Residential	± 11.0 ac. ± 250 Beds
Subarea C-1: Commercial	± 5.5 ac.
Subarea C-2: Commercial	± 5.9 ac.
Total Open Space Required:	11.7 ac. (20%)
Total Open Space Provided:	12.0 ac. (21%)

This plan is for conceptual planning purposes only and shall not be used for construction. Plans, elevations, and quantities may change with site survey and final engineering.



Jacquemin Farms in Jerome Township | UNION COUNTY, OHIO

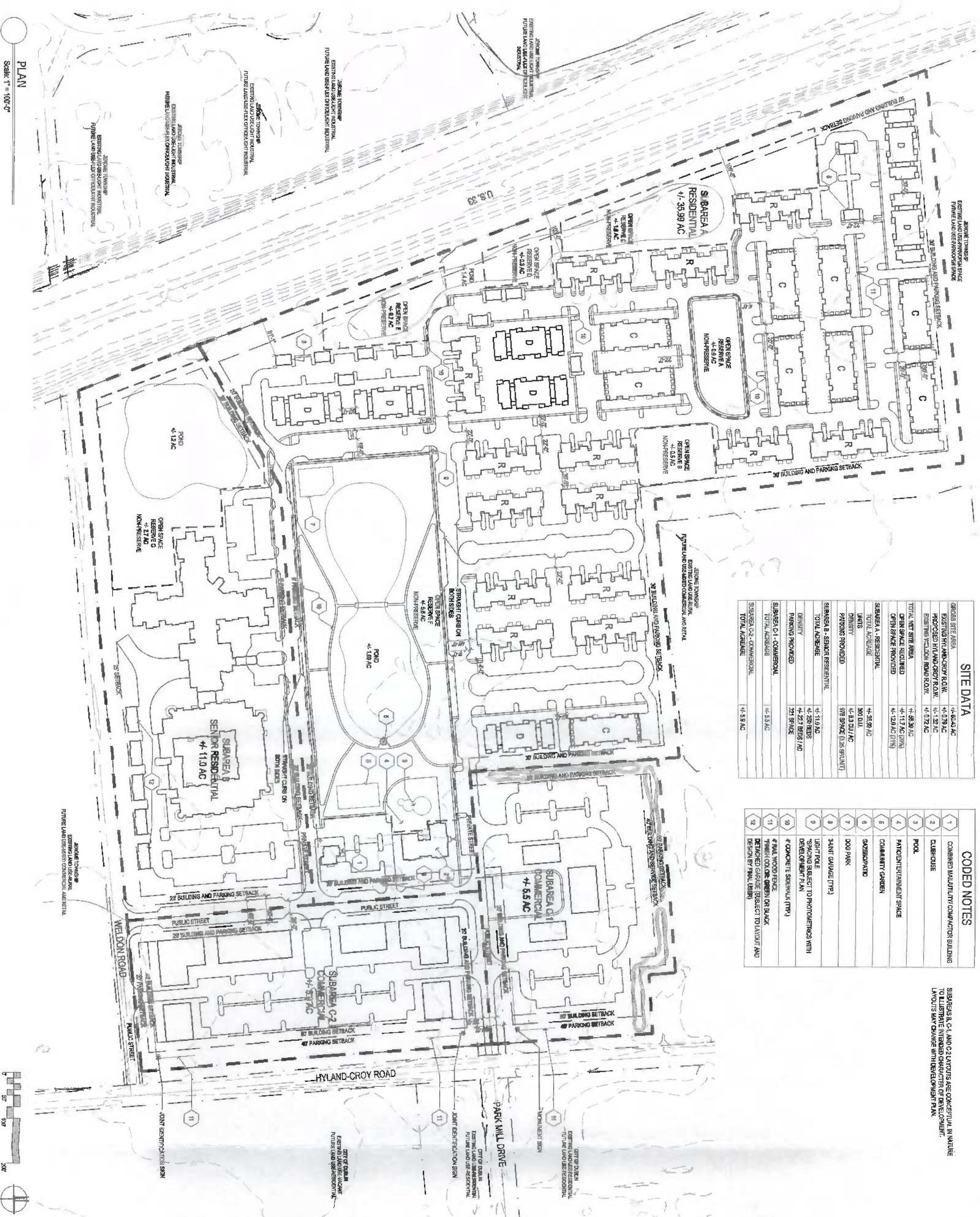
SCHOTTENSTEIN  
REAL ESTATE GROUP

EMH T

SULLIVAN BRUCK  
ARCHITECTS

OHM  
Advanced Communities





SITE DATA	
GROSS SITE AREA	44.64 AC
EXISTING HYLAND-CROY R.O.W.	44.79 AC
PROPOSED HYLAND-CROY R.O.W.	44.12 AC
EXISTING FILLION ROAD R.O.W.	44.02 AC
TOTAL NET SITE AREA	44.89 AC
OPEN SPACE REQUIRED	44.17 AC (60%)
OPEN SPACE PROVIDED	44.20 AC (61%)
SUBAREA A - RESIDENTIAL	
TOTAL ACRES	44.89 AC
UNITS	300 DU
DENSITY	44.33 DU / AC
PARKING PROVIDED	576 SPACE (1.26 SP/UNIT)
SUBAREA B - SENIOR RESIDENTIAL	
TOTAL ACRES	44.10 AC
UNITS	44.250 BEDS
DENSITY	44.272 BEDS / AC
PARKING PROVIDED	221 SPACE
SUBAREA C1 - COMMERCIAL	
TOTAL ACRES	44.55 AC
SUBAREA C2 - COMMERCIAL	
TOTAL ACRES	44.59 AC

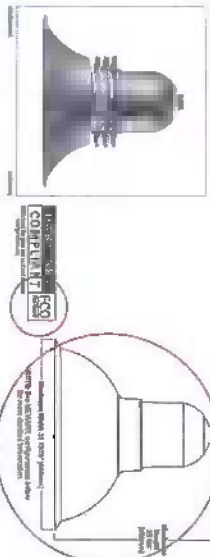
CODED NOTES	
1	COMBINED MULTI-UNIT/COMBINATION BUILDING
2	CLUBHOUSE
3	POOL
4	PATIO/ENTERTAINMENT SPACE
5	COMMUNITY GARDEN
6	SAFARI/PATIO
7	DOG PARK
8	SHIRT GARAGE (TRP)
9	LIGHT POLE
10	SPACING SUBJECT TO PHOTOGRAPHICS WITH DEVELOPMENT PLAN
11	CONCRETE SIDEWALK (TRP)
12	4" TALL WOOD FENCE
13	THIN COLORED GREEN OR BLACK
14	DETAILED GARAGE SUBJECT TO LAYOUT AND DESIGN BY FINAL DESIGN

SUBAREAS A, C1, AND C2 LAYOUTS ARE CONCEPTUAL IN NATURE  
TO ILLUSTRATE INTENDED CHARACTER OF DEVELOPMENT.  
LAYOUTS MAY CHANGE WITH DEVELOPMENT PLAN.

# PRELIMINARY NOT FOR CONSTRUCTION



# MEM/MEL MODERN EPIC

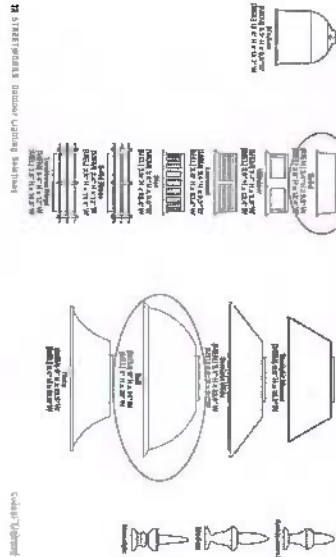


**MEM/MEL MODERN EPIC**

1. The fixture is designed to be used in a variety of settings, including outdoor and indoor. It is made of high-quality materials and is designed to last for many years.

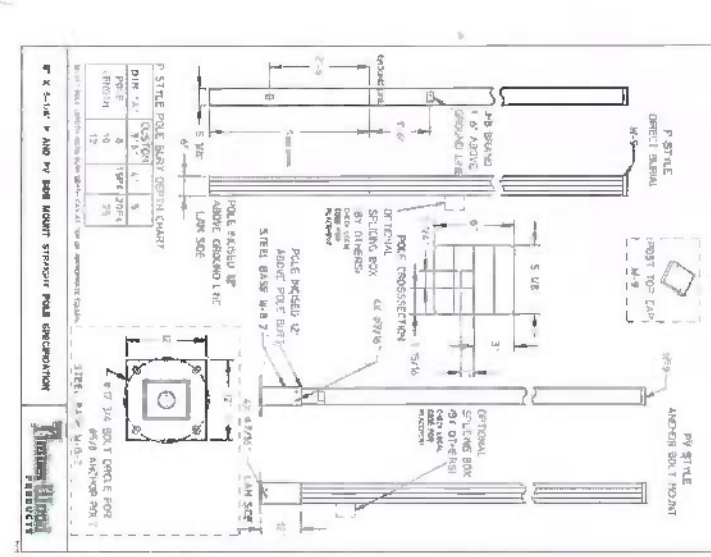
2. The fixture is available in a variety of finishes, including brushed nickel, polished chrome, and black. It is also available in a variety of sizes, including 12 inch, 18 inch, and 24 inch.

3. The fixture is designed to be easy to install and maintain. It has a simple design and is made of durable materials that are easy to clean.



## SITE LIGHT FIXTURE EXAMPLE

1. The fixture is designed to be used in a variety of settings, including outdoor and indoor. It is made of high-quality materials and is designed to last for many years.



## SITE LIGHT POST-WOOD

WOOD OR ALUMINUM POLES MAY BE USED. EITHER TYPE OF POLE AND/OR CONSTRUCTION MAY BE USED ON SITE. FINAL POLE SELECTIONS WILL BE PROVIDED WITH DEVELOPMENT PLAN.

ITEM	DESCRIPTION	QUANTITY	UNIT	PRICE
1	12" x 12" x 8' ALUMINUM POLE	1	EA	1200.00
2	12" x 12" x 8' WOOD POLE	1	EA	1200.00
3	12" x 12" x 8' ALUMINUM POLE	1	EA	1200.00
4	12" x 12" x 8' WOOD POLE	1	EA	1200.00
5	12" x 12" x 8' ALUMINUM POLE	1	EA	1200.00
6	12" x 12" x 8' WOOD POLE	1	EA	1200.00
7	12" x 12" x 8' ALUMINUM POLE	1	EA	1200.00
8	12" x 12" x 8' WOOD POLE	1	EA	1200.00
9	12" x 12" x 8' ALUMINUM POLE	1	EA	1200.00
10	12" x 12" x 8' WOOD POLE	1	EA	1200.00

**MEM/MEL MODERN EPIC**

1. The fixture is designed to be used in a variety of settings, including outdoor and indoor. It is made of high-quality materials and is designed to last for many years.

2. The fixture is available in a variety of finishes, including brushed nickel, polished chrome, and black. It is also available in a variety of sizes, including 12 inch, 18 inch, and 24 inch.

3. The fixture is designed to be easy to install and maintain. It has a simple design and is made of durable materials that are easy to clean.

## SPECIFICATION

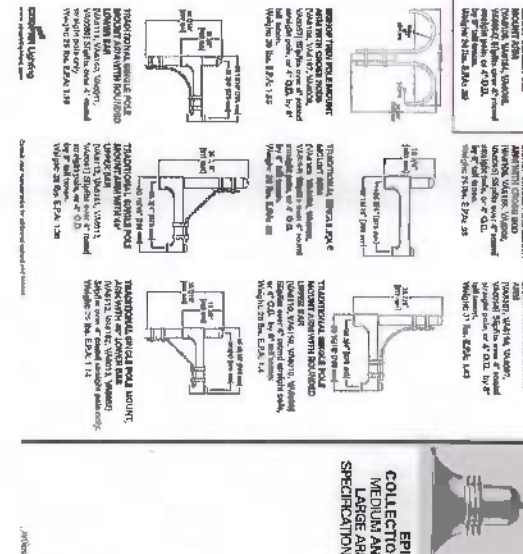
**MEM/MEL MODERN EPIC**

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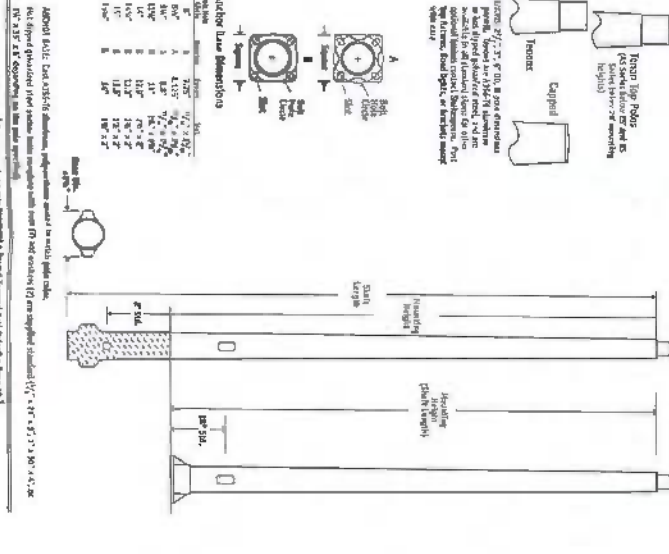
2. The fixture is available in a variety of finishes, including brushed nickel, polished chrome, and black. It is also available in a variety of sizes, including 12 inch, 18 inch, and 24 inch.

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ITEM	DESCRIPTION	QUANTITY	UNIT	PRICE
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4	12" x 12" x 8' WOOD POLE	1	EA	1200.00
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7	12" x 12" x 8' ALUMINUM POLE	1	EA	1200.00
8	12" x 12" x 8' WOOD POLE	1	EA	1200.00
9	12" x 12" x 8' ALUMINUM POLE	1	EA	1200.00
10	12" x 12" x 8' WOOD POLE	1	EA	1200.00



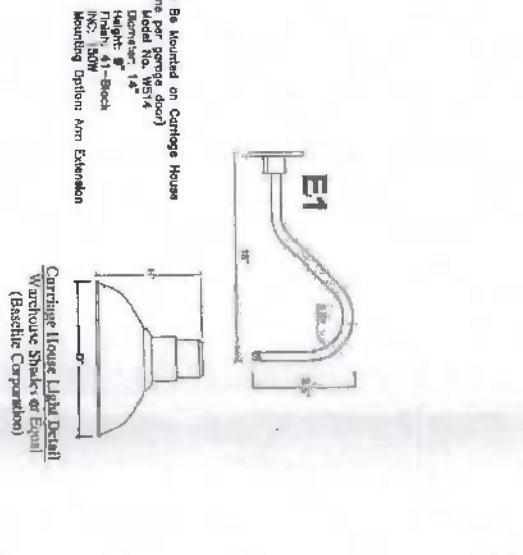
## Round Tapered Composite "Tuff-Poles"



## SITE LIGHT POST-METAL

WOOD OR ALUMINUM POLES MAY BE USED. EITHER TYPE OF POLE AND/OR CONSTRUCTION MAY BE USED ON SITE. FINAL POLE SELECTIONS WILL BE PROVIDED WITH DEVELOPMENT PLAN.

ITEM	DESCRIPTION	QUANTITY	UNIT	PRICE
1	12" x 12" x 8' ALUMINUM POLE	1	EA	1200.00
2	12" x 12" x 8' WOOD POLE	1	EA	1200.00
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5	12" x 12" x 8' ALUMINUM POLE	1	EA	1200.00
6	12" x 12" x 8' WOOD POLE	1	EA	1200.00
7	12" x 12" x 8' ALUMINUM POLE	1	EA	1200.00
8	12" x 12" x 8' WOOD POLE	1	EA	1200.00
9	12" x 12" x 8' ALUMINUM POLE	1	EA	1200.00
10	12" x 12" x 8' WOOD POLE	1	EA	1200.00



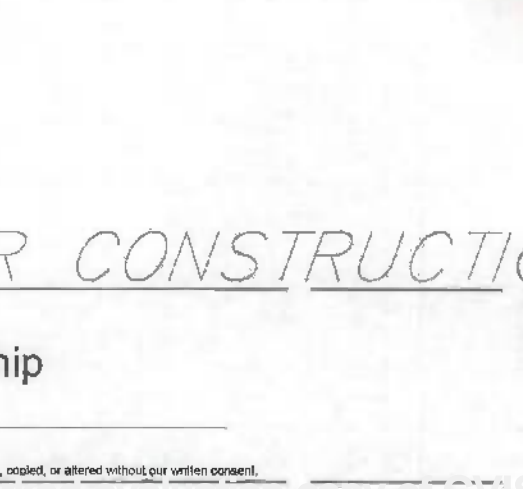
## BUILDING MOUNTED GOOSE-NECK FIXTURE



## SITE LIGHT POST-WOOD

WOOD OR ALUMINUM POLES MAY BE USED. EITHER TYPE OF POLE AND/OR CONSTRUCTION MAY BE USED ON SITE. FINAL POLE SELECTIONS WILL BE PROVIDED WITH DEVELOPMENT PLAN.

ITEM	DESCRIPTION	QUANTITY	UNIT	PRICE
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5	12" x 12" x 8' ALUMINUM POLE	1	EA	1200.00
6	12" x 12" x 8' WOOD POLE	1	EA	1200.00
7	12" x 12" x 8' ALUMINUM POLE	1	EA	1200.00
8	12" x 12" x 8' WOOD POLE	1	EA	1200.00
9	12" x 12" x 8' ALUMINUM POLE	1	EA	1200.00
10	12" x 12" x 8' WOOD POLE	1	EA	1200.00



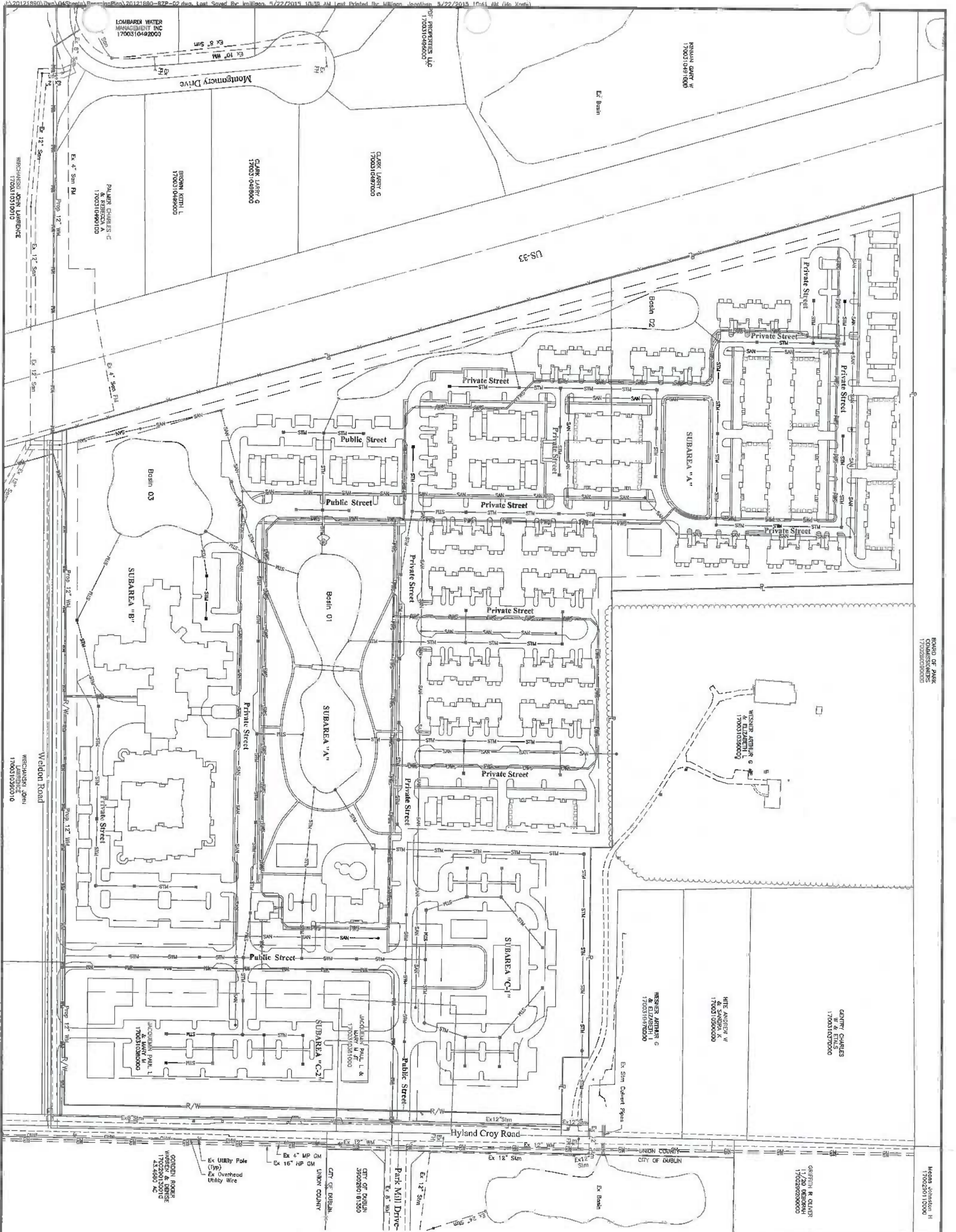
## SITE LIGHT POST-METAL

WOOD OR ALUMINUM POLES MAY BE USED. EITHER TYPE OF POLE AND/OR CONSTRUCTION MAY BE USED ON SITE. FINAL POLE SELECTIONS WILL BE PROVIDED WITH DEVELOPMENT PLAN.

PRELIMINARY NOT FOR CONSTRUCTION







LEGEND		
STM	Proposed Storm Sewer	
SM	Proposed Sanitary Sewer	
WM	Proposed Water Main	
PM	Proposed Private Domestic Service	
PF	Proposed Private Fire Protection Main	
GM	Existing Gas Main	
OW	Existing Overhead Utility Wires	
ESM	Existing Storm Sewer	
ESS	Existing Sanitary Sewer	
EW	Existing Watermain	

**GRAPHIC SCALE**

0 50 100 200

1 inch = 100 feet

**PRELIMINARY**

NOT TO BE USED FOR CONSTRUCTION

PLAN SET DATE  
MAY 22, 2015

DATE  
MAY 26, 2015

SCALE  
1" = 100'

JOB NO.  
201215

SHEET  
F-1

**EMHT**  
Brown, MacArthur, Henshaw & Tison, Inc.  
15001 E. Alabama, Suite 100, Aurora, CO 80012  
303.681.3483

JEROME TOWNSHIP, UNION COUNTY, OHIO  
EXHIBIT "C"  
FOR  
**JACQUEMIN FARMS**  
PRELIMINARY DEVELOPMENT

**SCHOTTENSTEIN REAL ESTATE GROUP**





## MEMO

**Date:** May 22, 2015  
**To:** Jerome Township  
**From:** Justin Zampardi, PE  
**Subject:** Jacquemin Farms Exhibit "G" – Utility Feasibility Letters  
**Copies:** Schottenstein Real Estate Group

---

The following is a summary of the public utility services for the above referenced project located at the northwest corner of the intersection of Hyland-Crow Road and Weldon Road.

### Sanitary Service

Currently, there is an existing 12-inch sanitary line at the southwest corner of the site. This sanitary line runs west under U.S. 33 to an existing sanitary lift station along Montgomery Drive. This line is owned and maintained by the City of Marysville.

### Stormwater Management

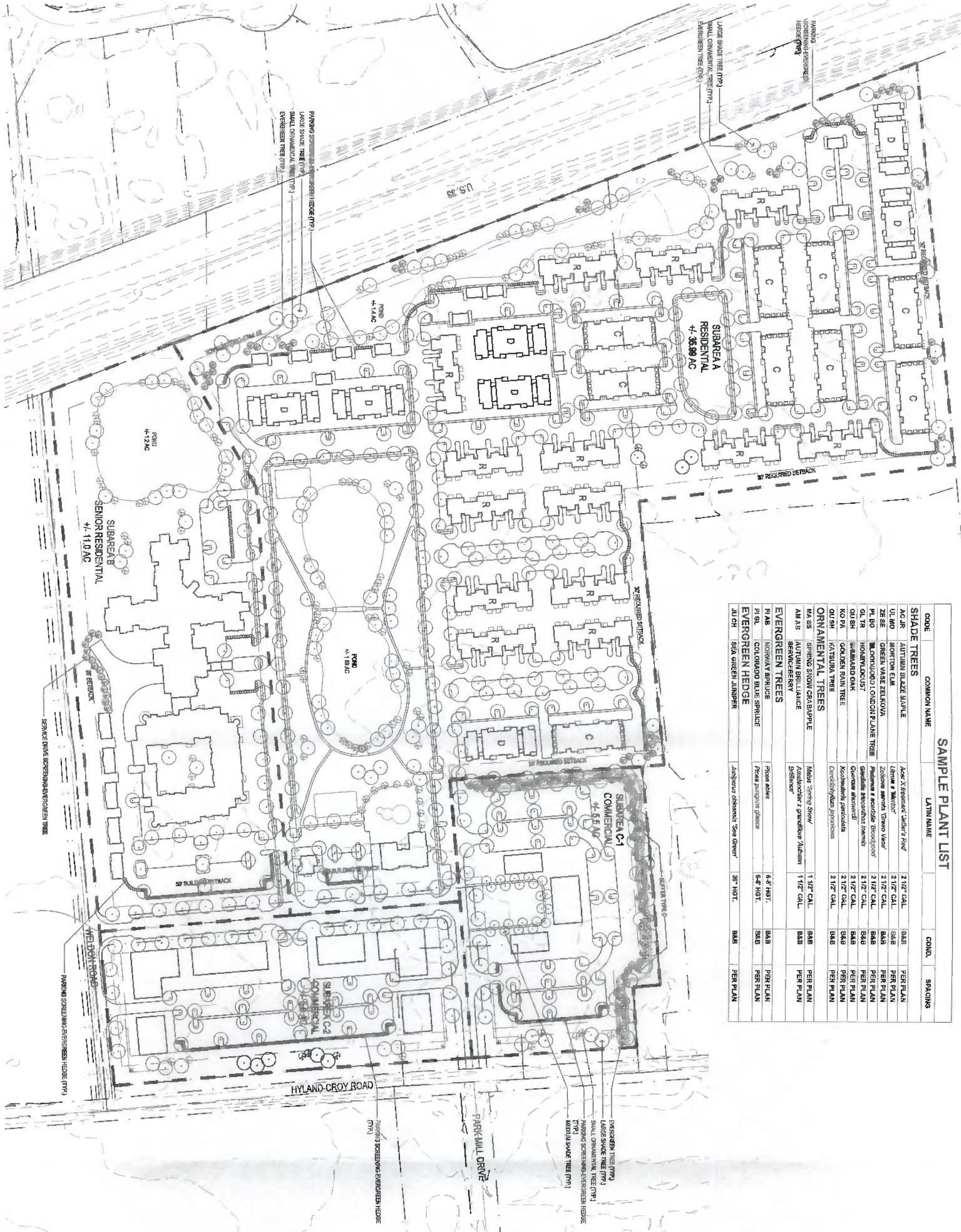
The site currently drains from the west to the east to an existing culvert crossing under Hyland-Croy Road located at the northeast corner of the property. Currently the stormwater management for the site is planned to utilize multiple connected wet basins. The wet basin will be required to accommodate Ohio EPA post construction water quality requirements and Union County Stormwater detention requirements. Also, the stormwater management will use appropriate measures for the Ohio EPA NPDES erosion control requirements during construction activities in the areas of the wet basins.

### Water Service

Currently, there is an existing 10" water main along Montgomery Drive on the west side of U.S. 33. This line is owned and maintained by the City of Marysville. There were plans to extend a 12" Public Water Main to the east under U.S. 33 with the existing sanitary sewer but this line was never constructed. This project intends to extend a 12" public water main to the east to the Weldon Road right-of-way.

### Utility Feasibility Letters

Written requests to water, sanitary, electric, telephone, gas and cable service providers for statements regarding the ability of each to serve the project have been sent and we are awaiting their response letter. The letters will be provided once they have been received.



SAMPLE PLANT LIST				
CODE	COMMON NAME	LATIN NAME	COND.	SPACING
SHADE TREES				
AC JR	AUTUMN BLAZE MAPLE	Acer X freemanii 'Jeffers Red'	2 1/2" CAL.	BAB PER PLAN
UL MO	NORTON ELM	Ulmus X 'Norton'	2 1/2" CAL.	BAB PER PLAN
ZE SE	GREEN VASE YELKOA	Zelkova serrata 'Green Vase'	2 1/2" CAL.	BAB PER PLAN
PL BG	WINDYBROOK LINDEN PLANE TREE	Platanus X 'Windybrook'	2 1/2" CAL.	BAB PER PLAN
GL TR	HONEYLOCUST	Gleditsia inornata	2 1/2" CAL.	BAB PER PLAN
QU SH	WILLOW OAK	Quercus alba	2 1/2" CAL.	BAB PER PLAN
KO PA	GOLDEN PINE TREE	Koeleria paniculata	2 1/2" CAL.	BAB PER PLAN
QU SH	KATSURA TREE	Cercidiphyllum japonicum	2 1/2" CAL.	BAB PER PLAN
ORNAMENTAL TREES				
MA SS	SPRING SNOW CRABAPPLE	Malus 'Spring Snow'	1 1/2" CAL.	BAB PER PLAN
AM AB	AUTUMN BRILLIANCE SERVICEBERRY	Amelanchier X 'Brilliance' 'Autumn'	1 1/2" CAL.	BAB PER PLAN
EVERGREEN TREES				
PI AB	NORWAY SPRUCE	Picea abies	6-8" HGT.	BAB PER PLAN
PI GL	COLORADO BLUE SPRUCE	Picea pungens 'glauca'	6-8" HGT.	BAB PER PLAN
EVERGREEN HEDGE				
JU CH	SEA GREEN JUNIPER	Juniperus horizontalis 'Sea Green'	36" HGT.	BAB PER PLAN

PRELIMINARY NOT FOR CONSTRUCTION

Schottenstein Real Estate Group  
Jacquemin Farms in Jerome Township  
Union County, Ohio  
LANDSCAPE PLAN

101 mill street, suite 200  
gahanna, ohio 43230  
phone: 614.418.0600  
www.ohm-advisors.com







Acquemin Farms in Jerome Township - Bird's Eye-View Looking North East





JEROME TOWNSHIP

# Jacquemin Farms in Jerome Township - Bird's Eye-View Looking North East

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REAL ESTATE GROUP

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## Jacquemin Farms in Jerome Township - Bird's Eye-View Looking North West

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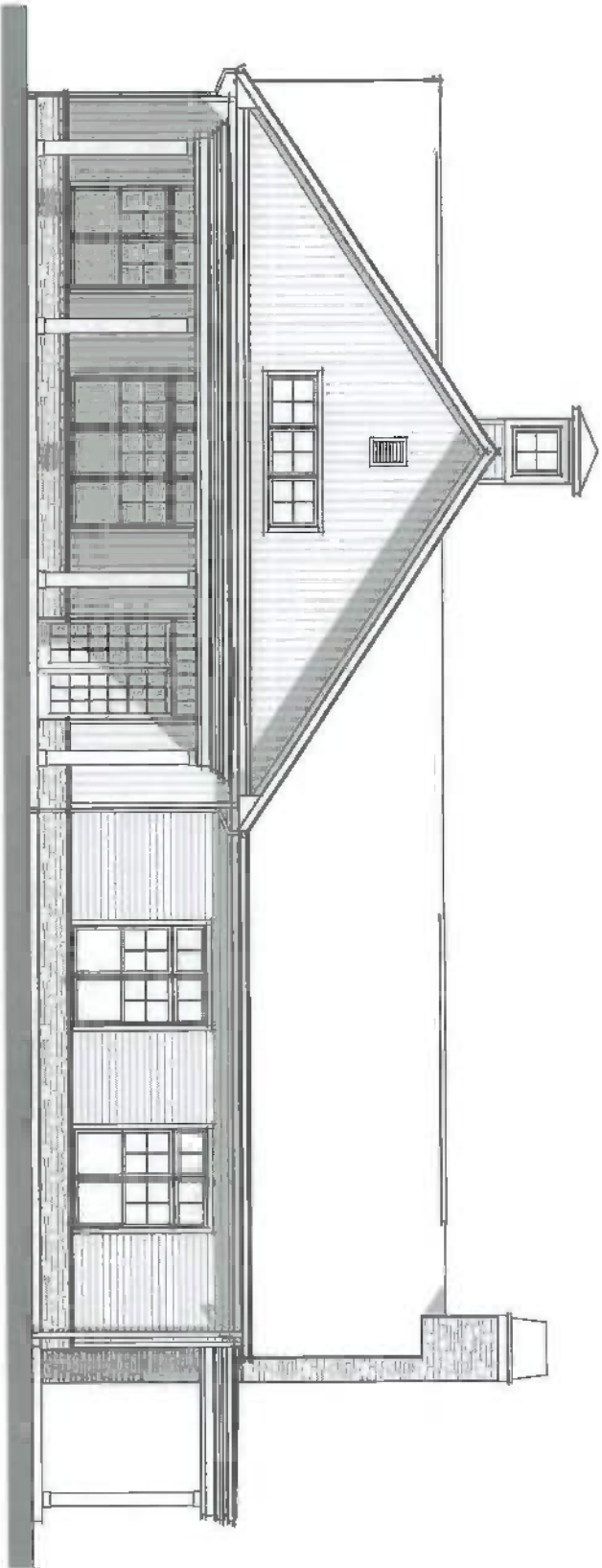
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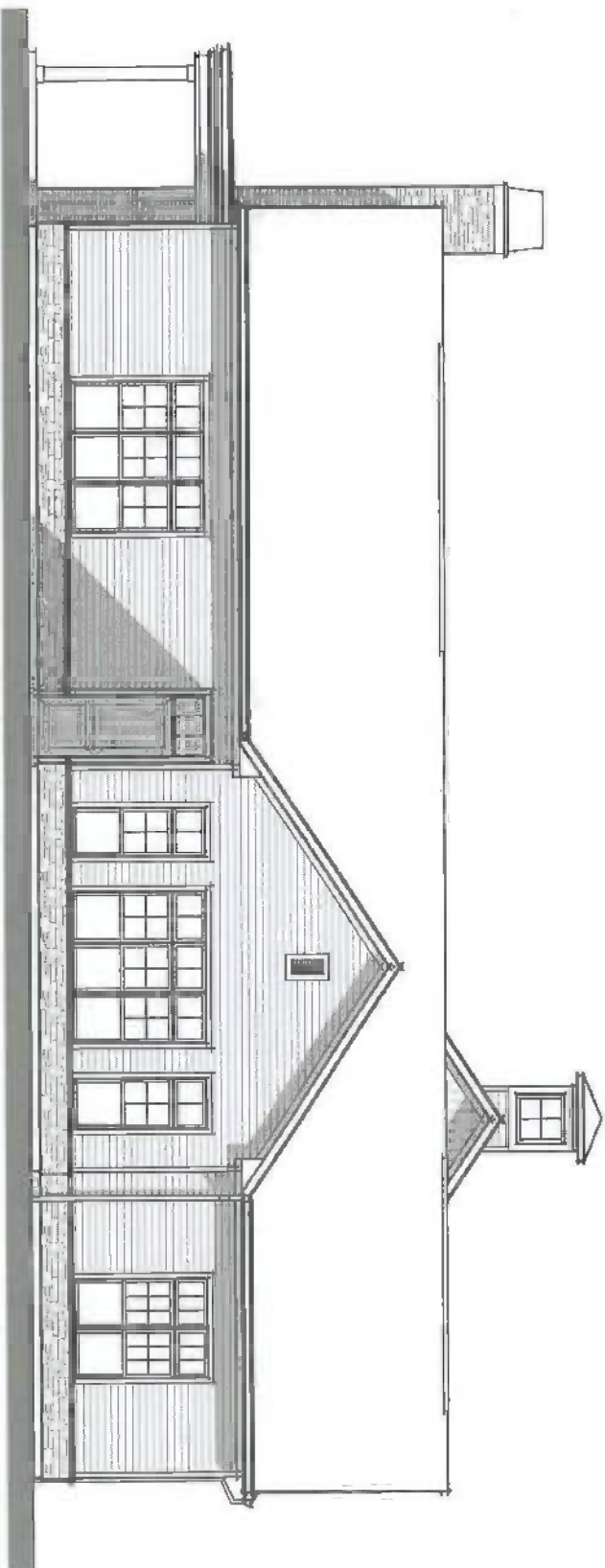
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Clubhouse - Front Elevation

3/32" = 1'-0"

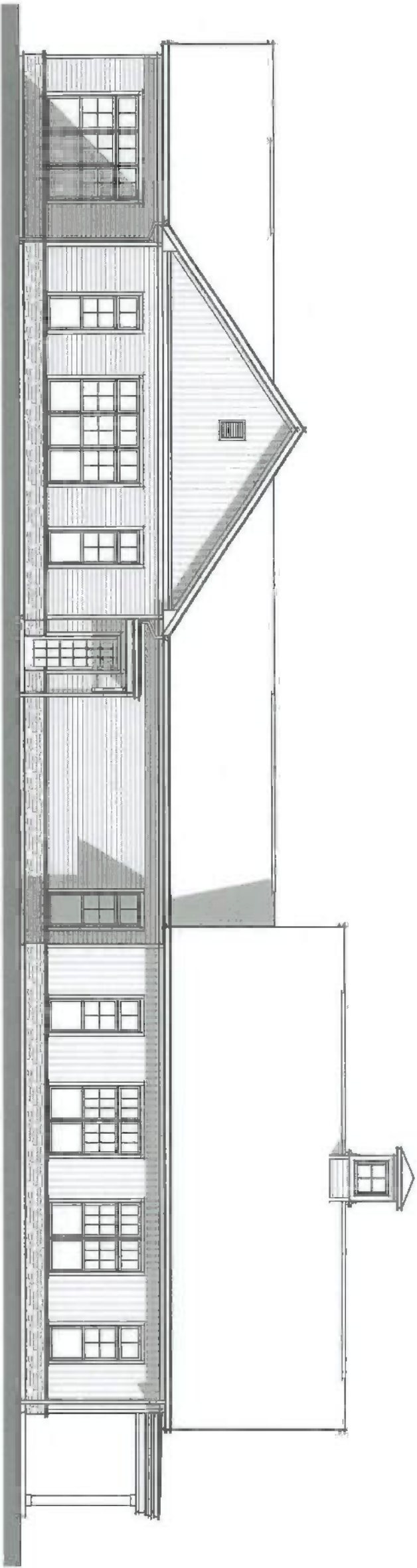


Clubhouse - Rear Elevation

3/32" = 1'-0"

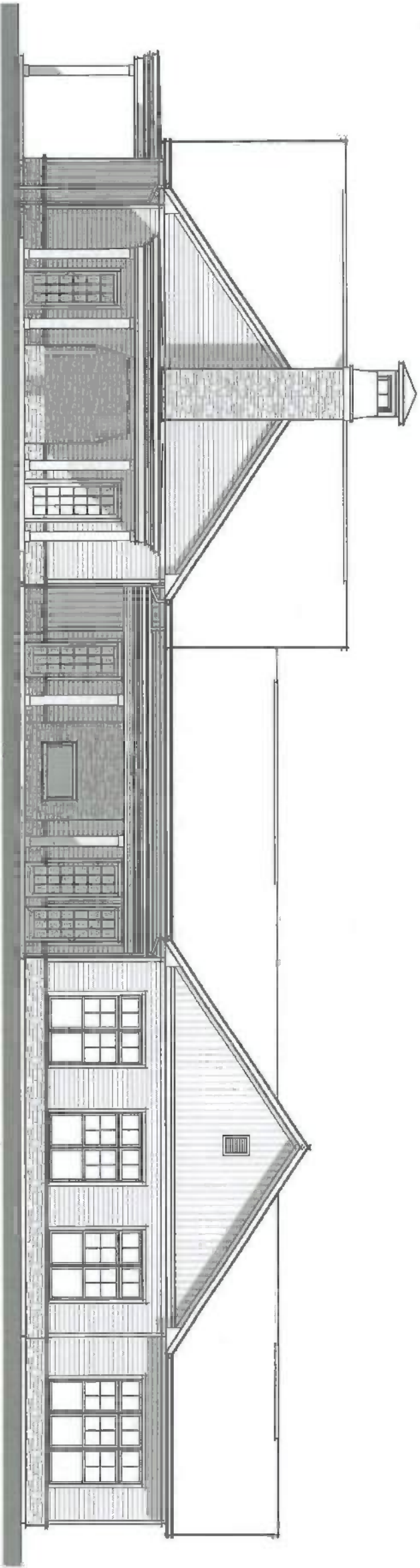






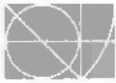
Clubhouse - Left Elevation

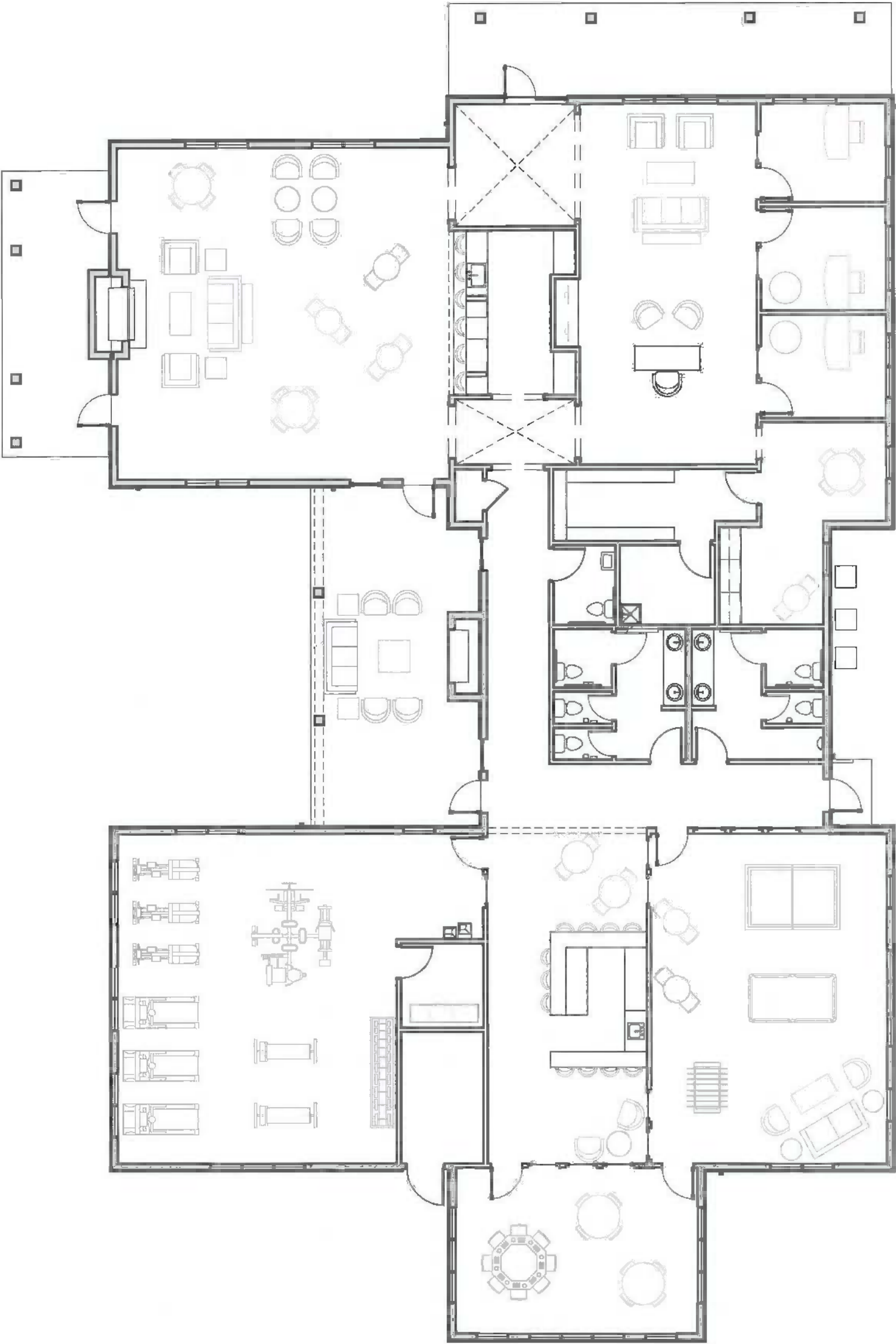
3/32" = 1'-0"



Clubhouse - Right Elevation

3/32" = 1'-0"





Clubhouse Floor Plan

3/32" = 1'-0"

SCHOTTENSTEIN  
REAL ESTATE GROUP

Jerome Grand  
Jerome Township, Ohio

2015-05-26

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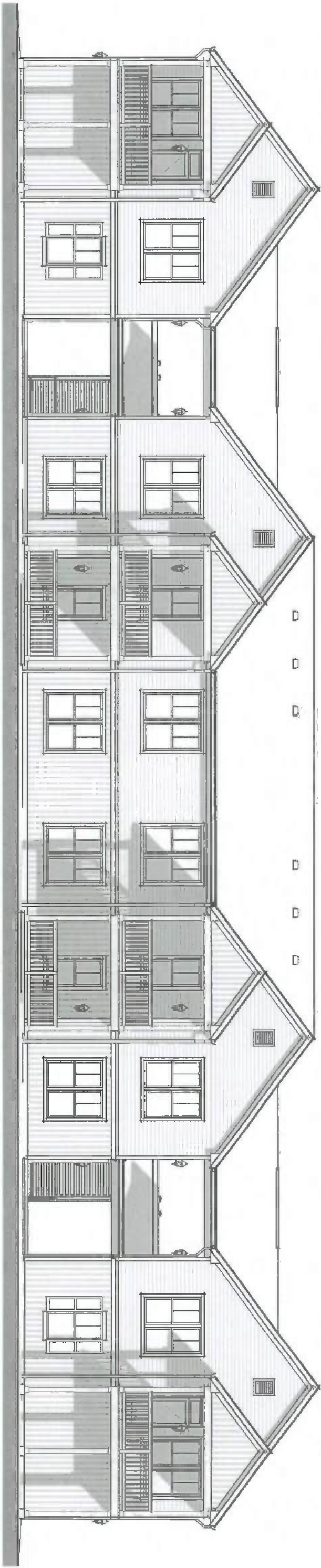
Exhibit I





Bldg C Front Elevation

3/32" = 1'-0"



Bldg C Rear Elevation

3/32" = 1'-0"

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Jerome Township, Ohio

2015-05-26



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Bldg C Left Elevation

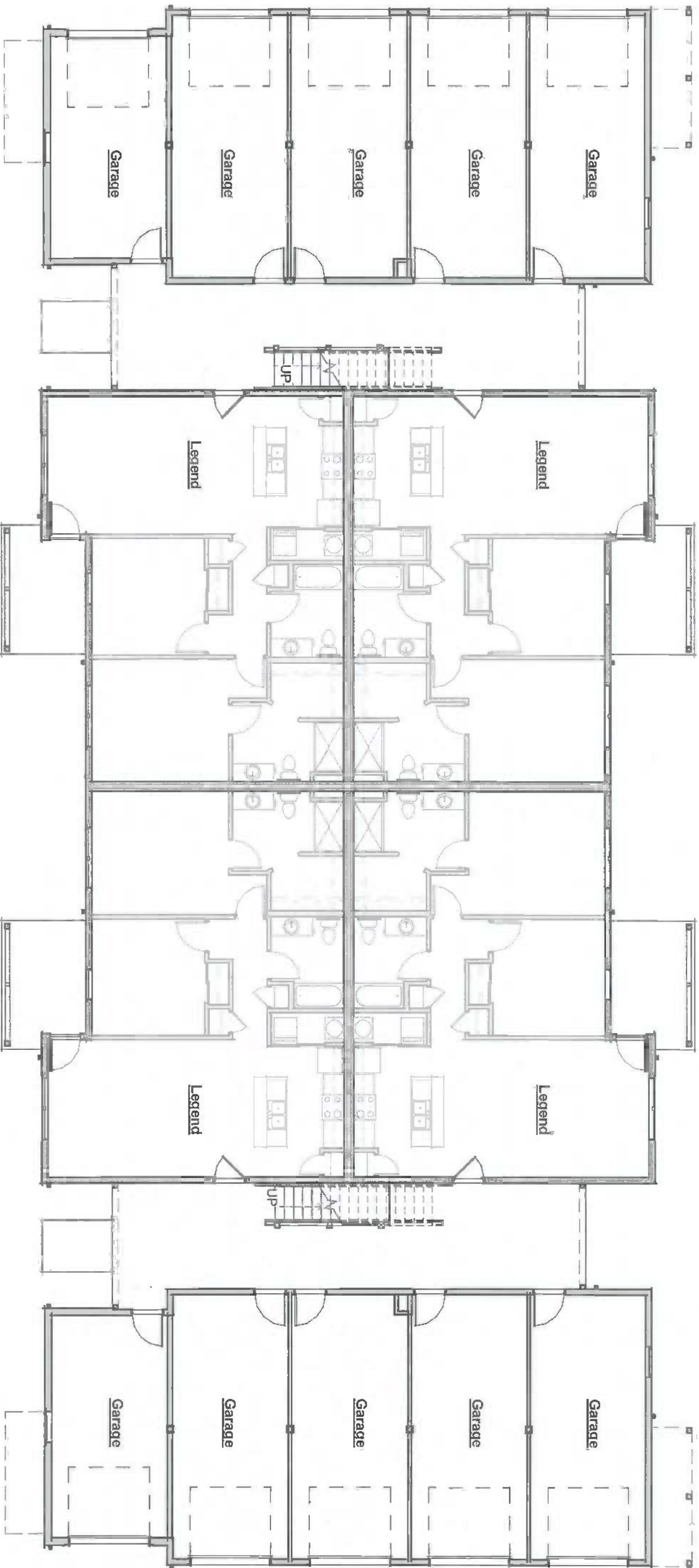
3/32" = 1'-0"



Bldg C Right Elevation

3/32" = 1'-0"





Building C Floor 1 Plan

3/32" = 1'-0"

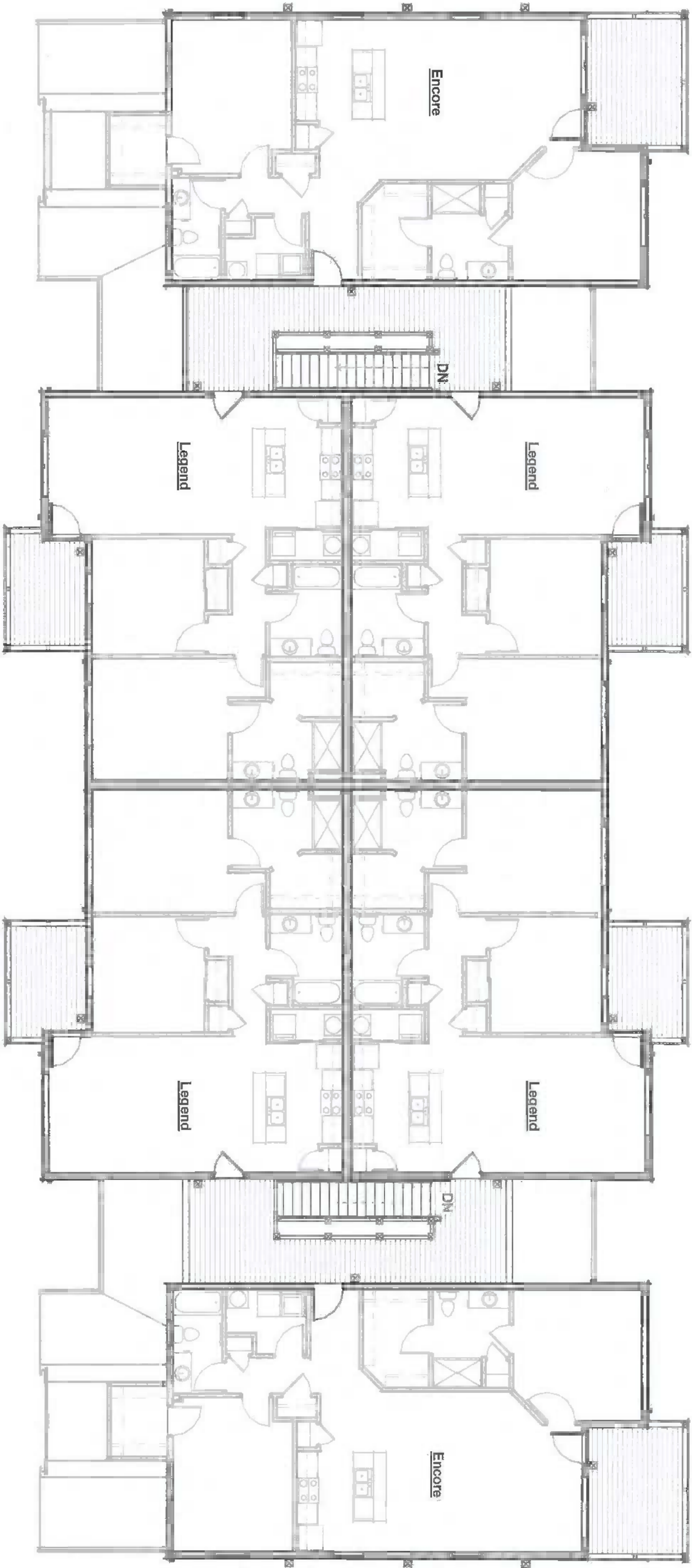
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Building C Floor 2 Plan

3/32" = 1'-0"

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Jerome Township, Ohio

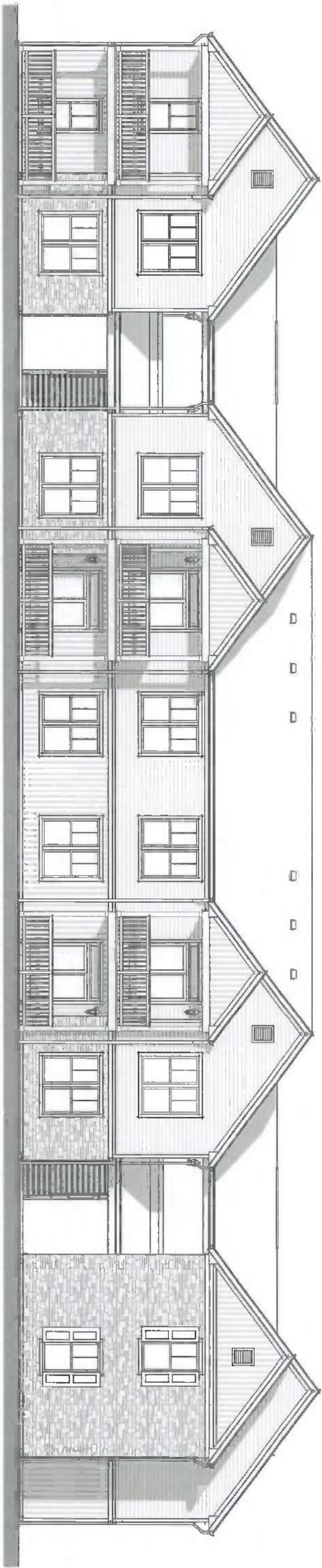
2015-05-26



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Exhibit I





Building D - Front Elevation

3/32" = 1'-0"



Building D - Rear Elevation

3/32" = 1'-0"





Bldg D - Left Elevation

3/32" = 1'-0"

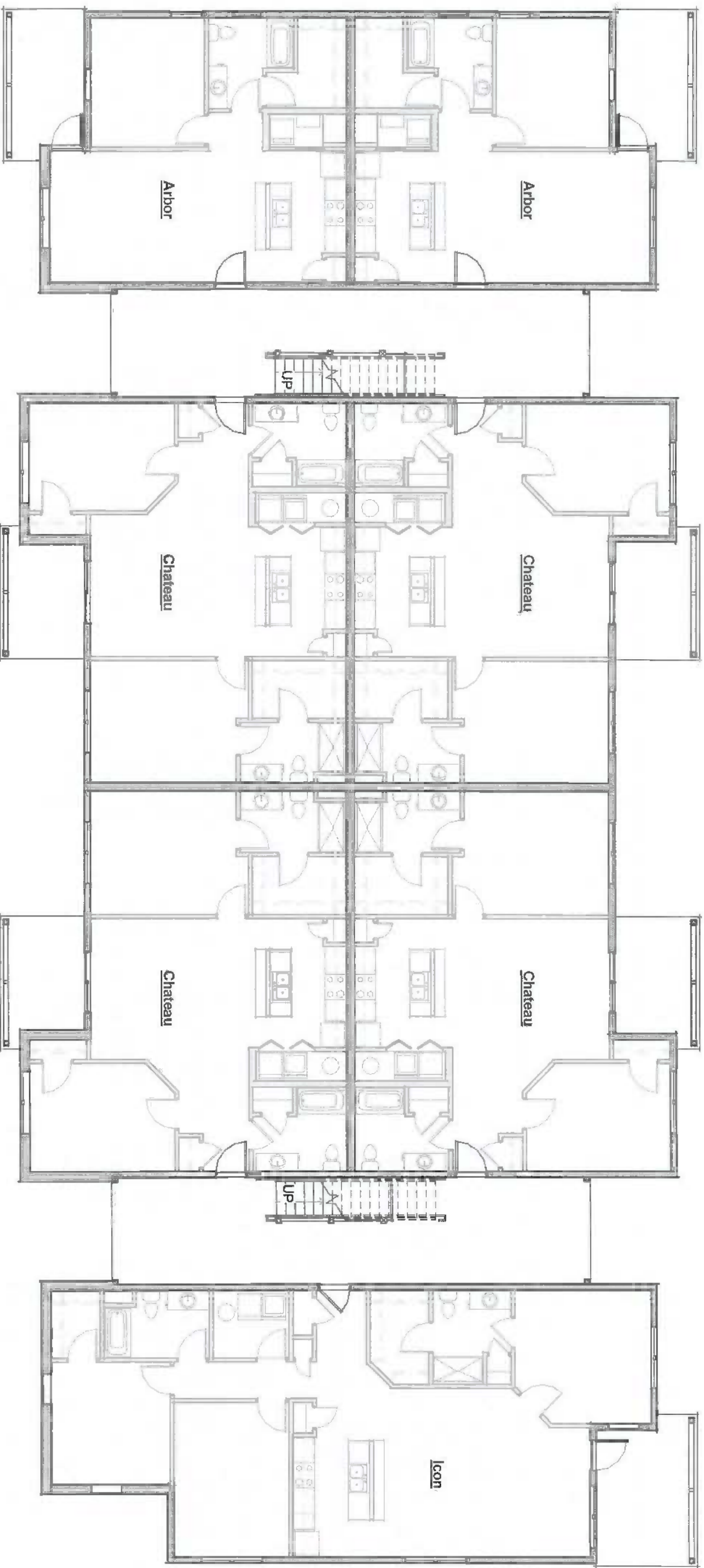


Bldg D - Right Elevation

3/32" = 1'-0"







**Building D - 1st Floor Plan**

3/32" = 1'-0"

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Jerome Township, Ohio

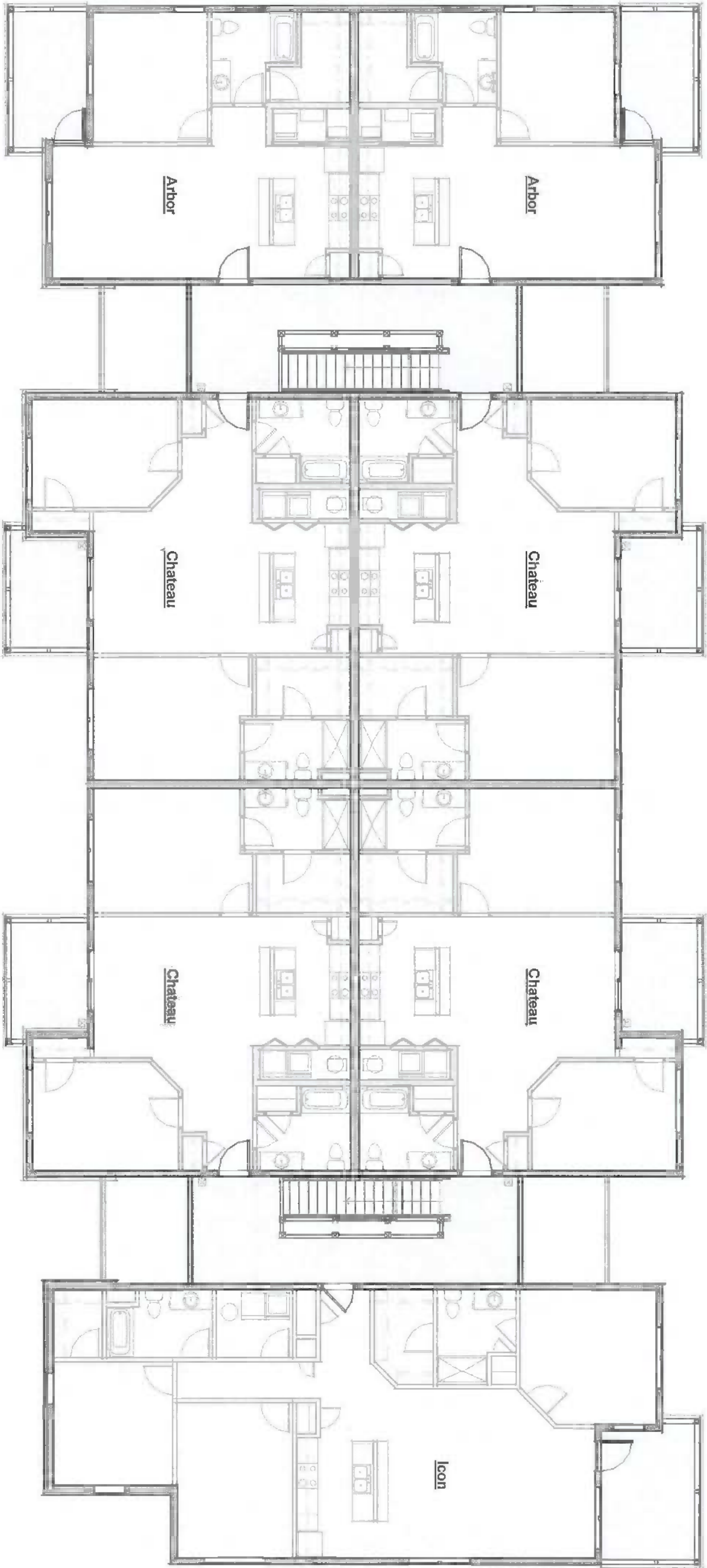
2015-05-26



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**Exhibit I**





Building D - 2nd Floor Plan

3/32" = 1'-0"

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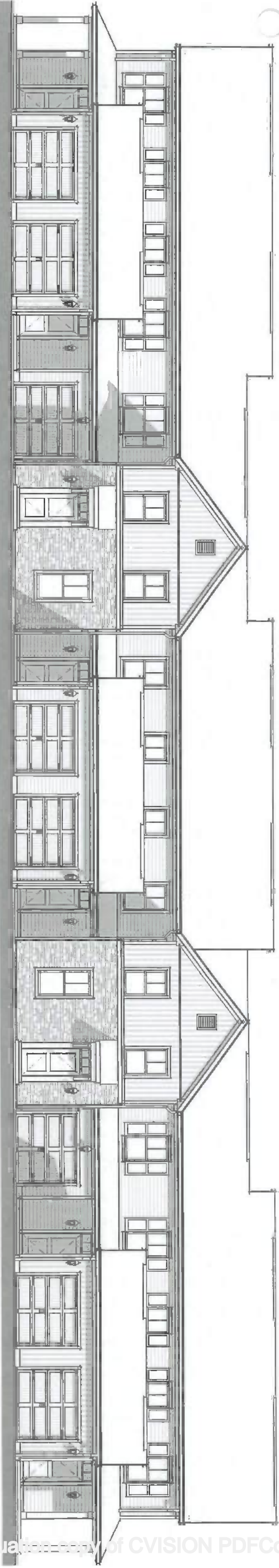
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Jerome Township, Ohio

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Exhibit I



Building R Front Elevation

3/32" = 1'-0"



Building R Rear Elevation

3/32" = 1'-0"

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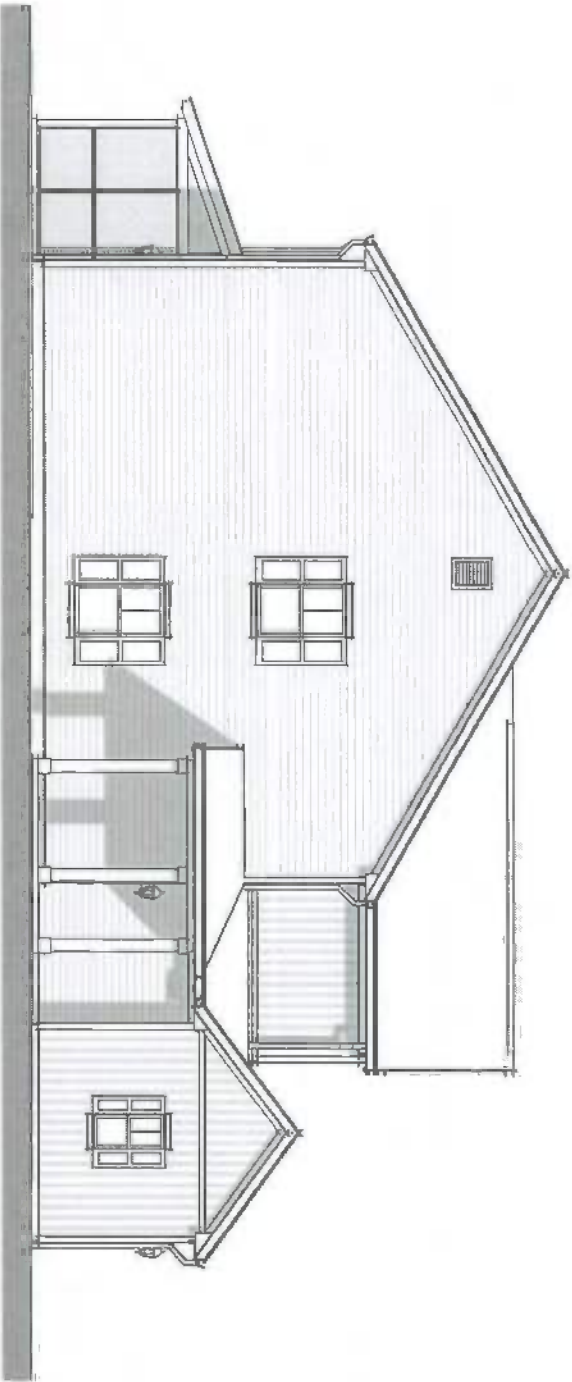
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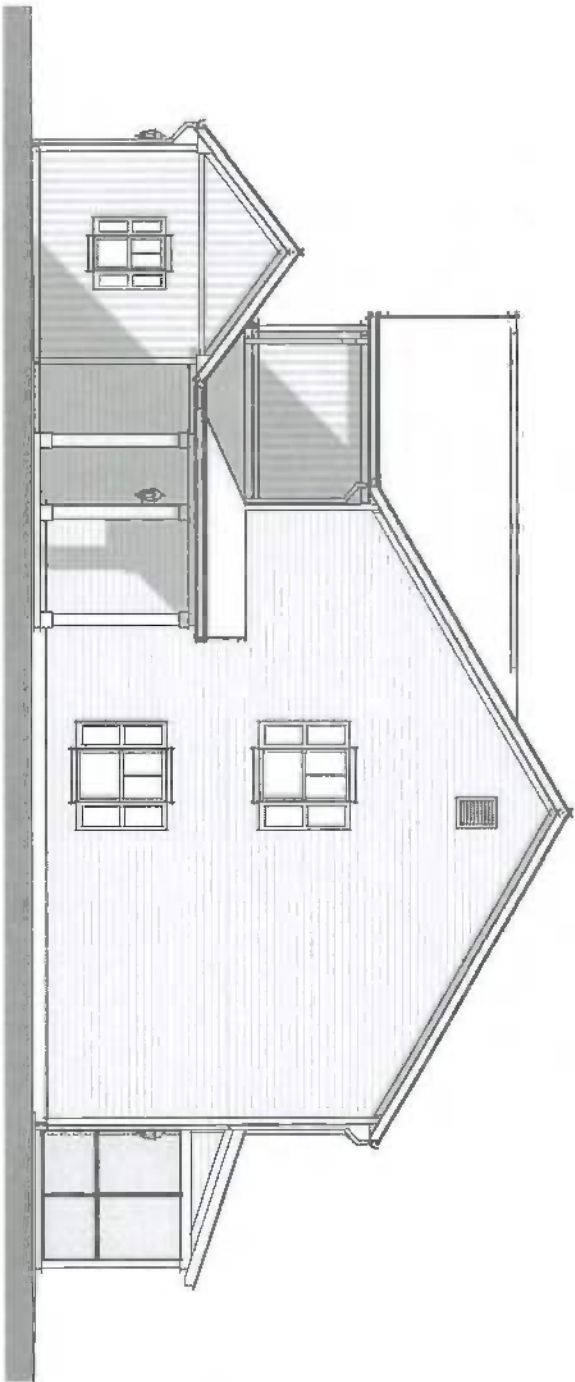
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Exhibit I



Building R Left Elevation

3/32" = 1'-0"



Building R Right Elevation

3/32" = 1'-0"







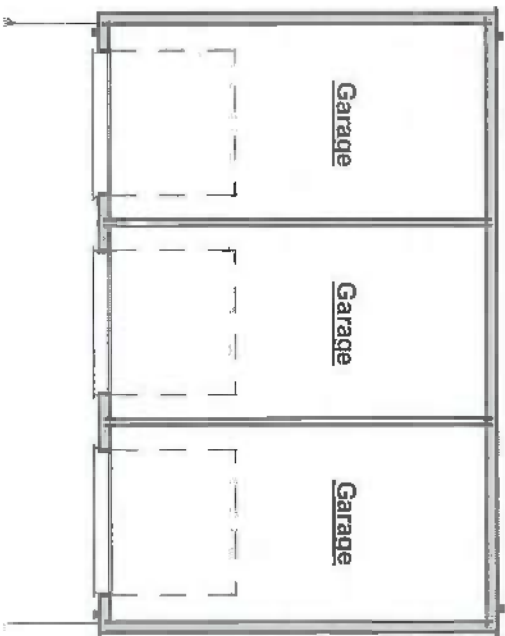
**Building R - 1st Floor Plan**

3/32" = 1'-0"

BUILDING INFO	
Building Height:	29'-3"
Living Area:	10,257 sf
Garage Area:	1,610 sf
Number of Units:	8
Number of Bedrooms:	18

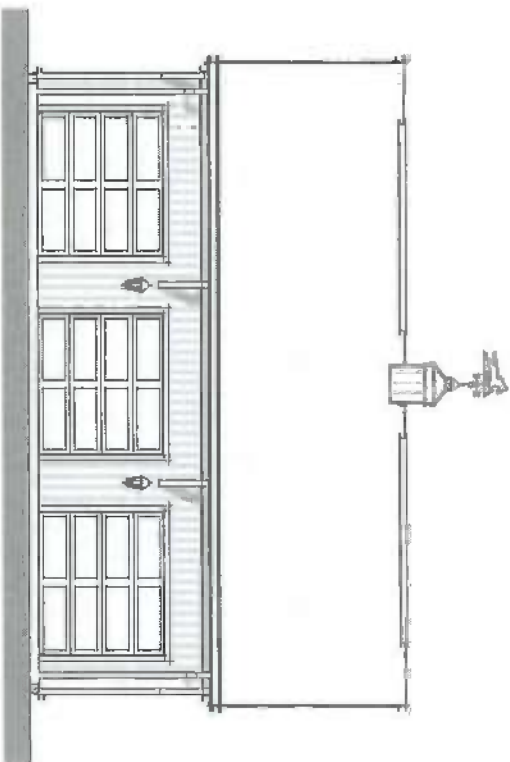


**Building R - 2nd Floor Plan**  
3/32" = 1'-0"



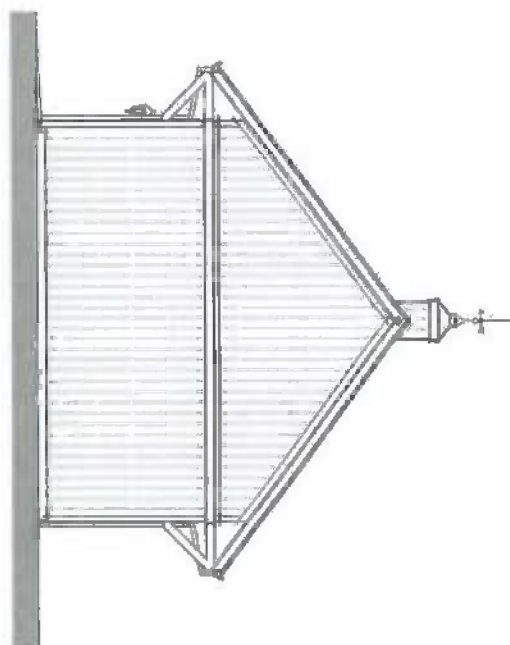
3 Car Garage Building Plan

3/32" = 1'-0"



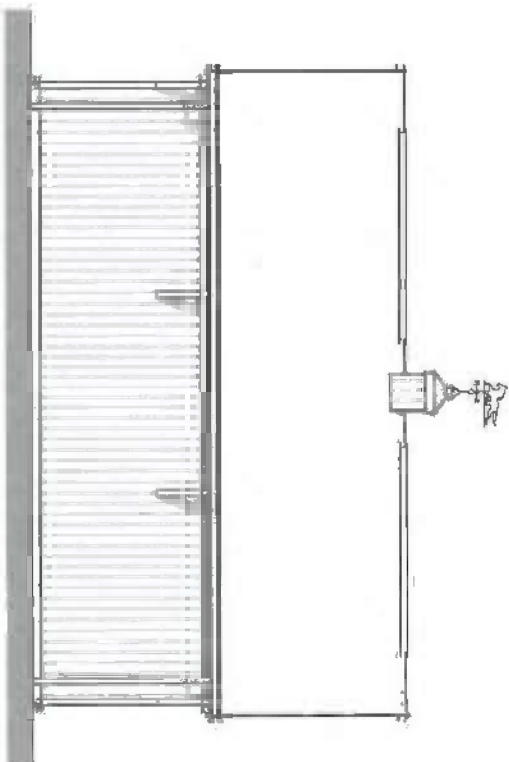
Garage Bldg Front Elevation

3/32" = 1'-0"



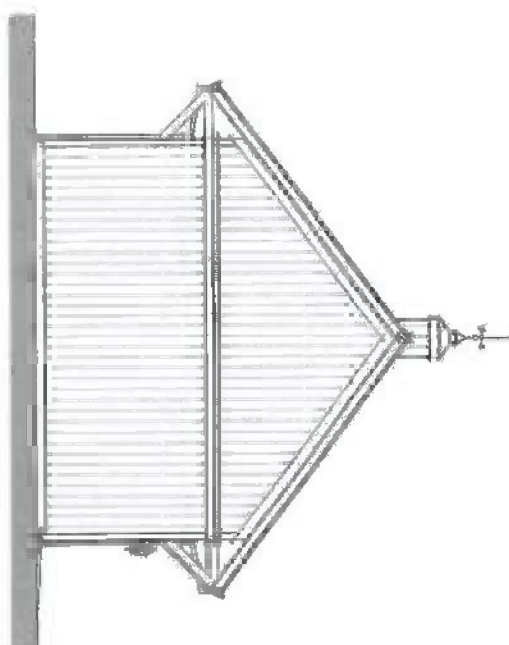
Garage Bldg Right Elevation

3/32" = 1'-0"



Garage Bldg Rear Elevation

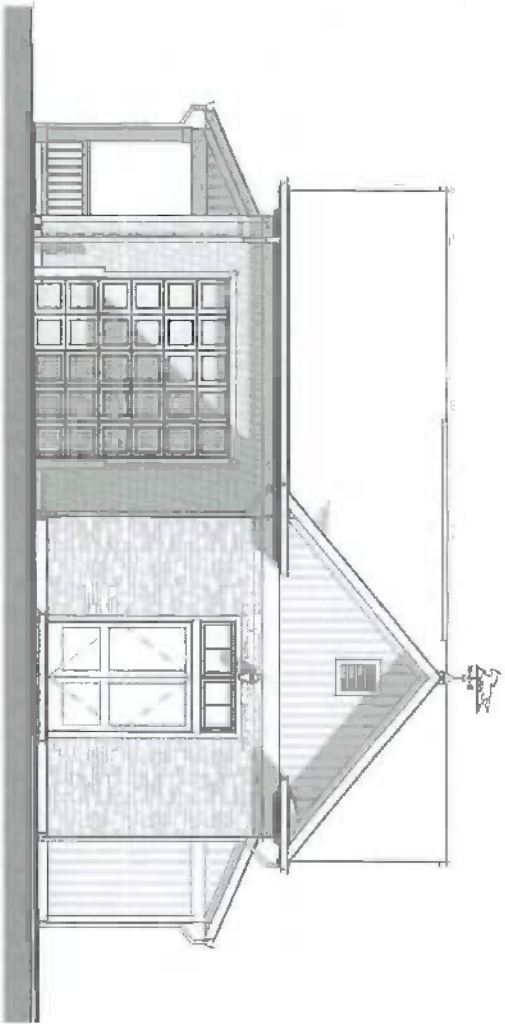
3/32" = 1'-0"



Garage Bldg Left Elevation

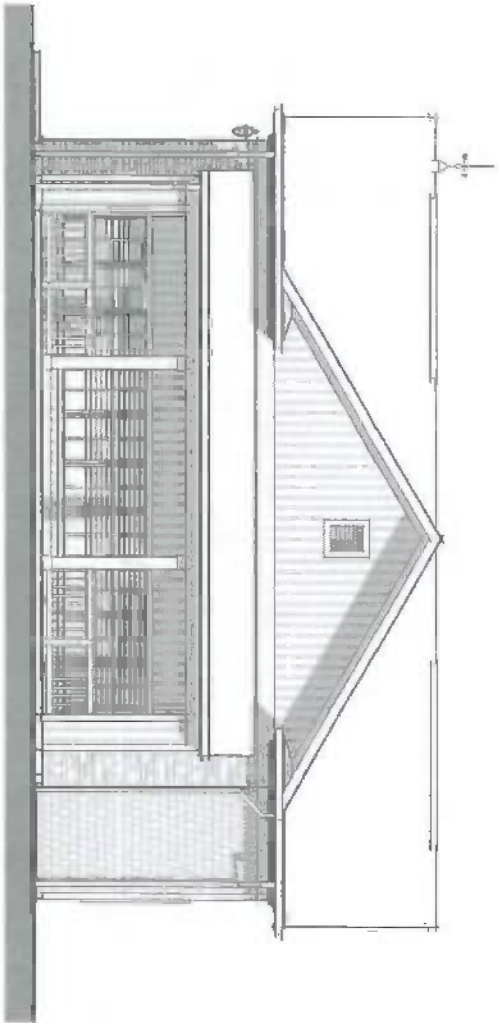
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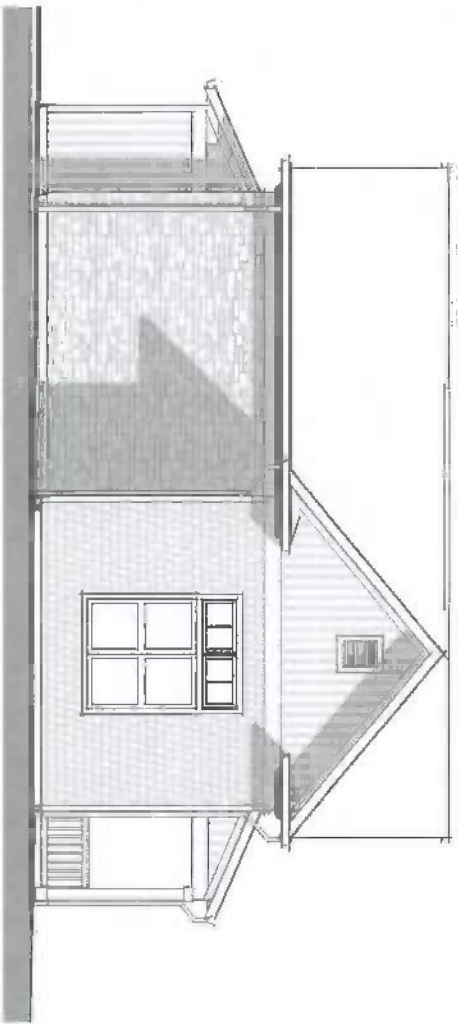
Utility Bldg Front Elevation

3/32" = 1'-0"



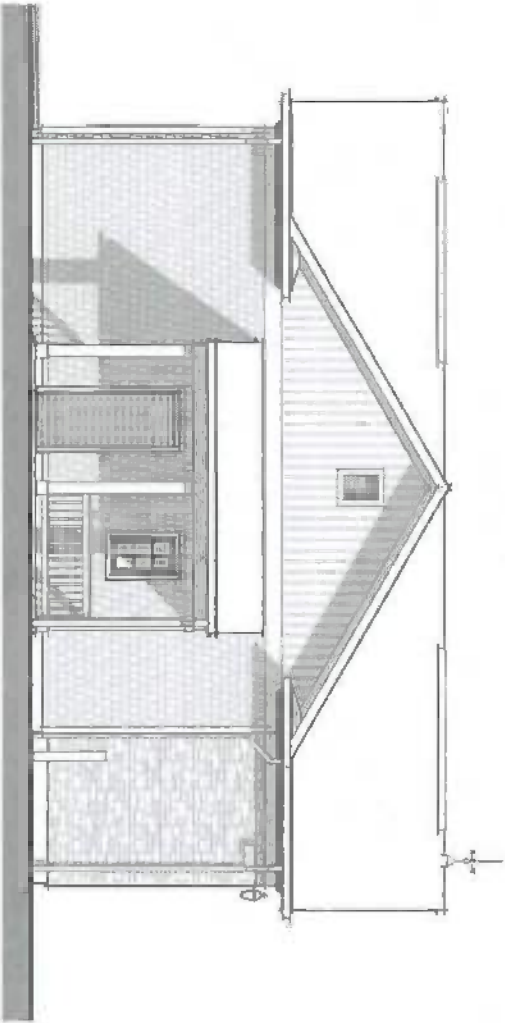
Utility Bldg Right Elevation

3/32" = 1'-0"



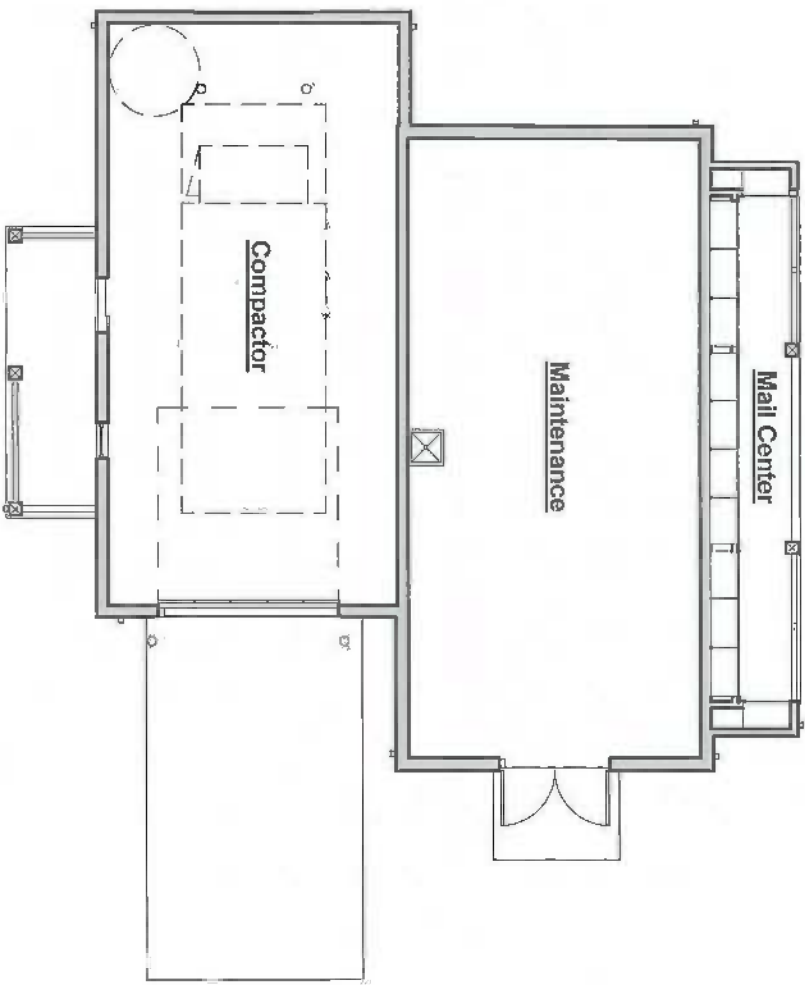
Utility Bldg Rear Elevation

3/32" = 1'-0"



Utility Bldg Left Elevation

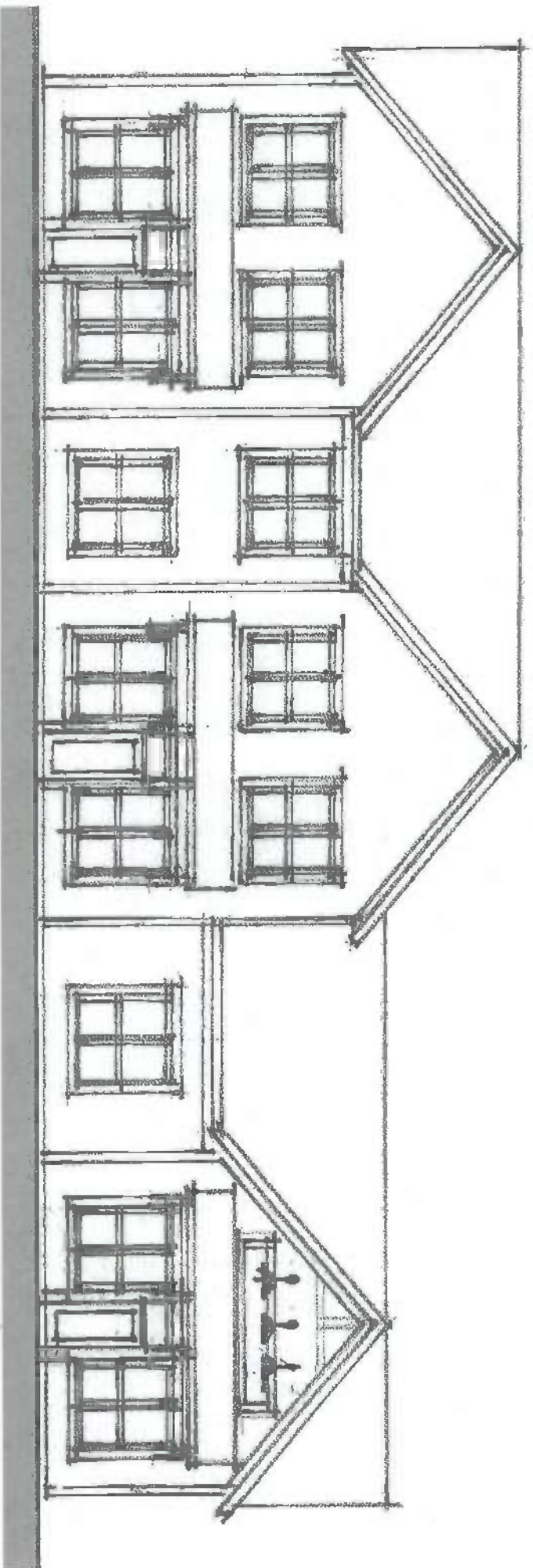
3/32" = 1'-0"



Utility Bldg Floor Plan

3/32" = 1'-0"





## Typical Commercial Building Front Elevation

3/32" = 1'-0"

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REAL ESTATE GROUP

**Jerome Grand**  
Jerome Township, Ohio

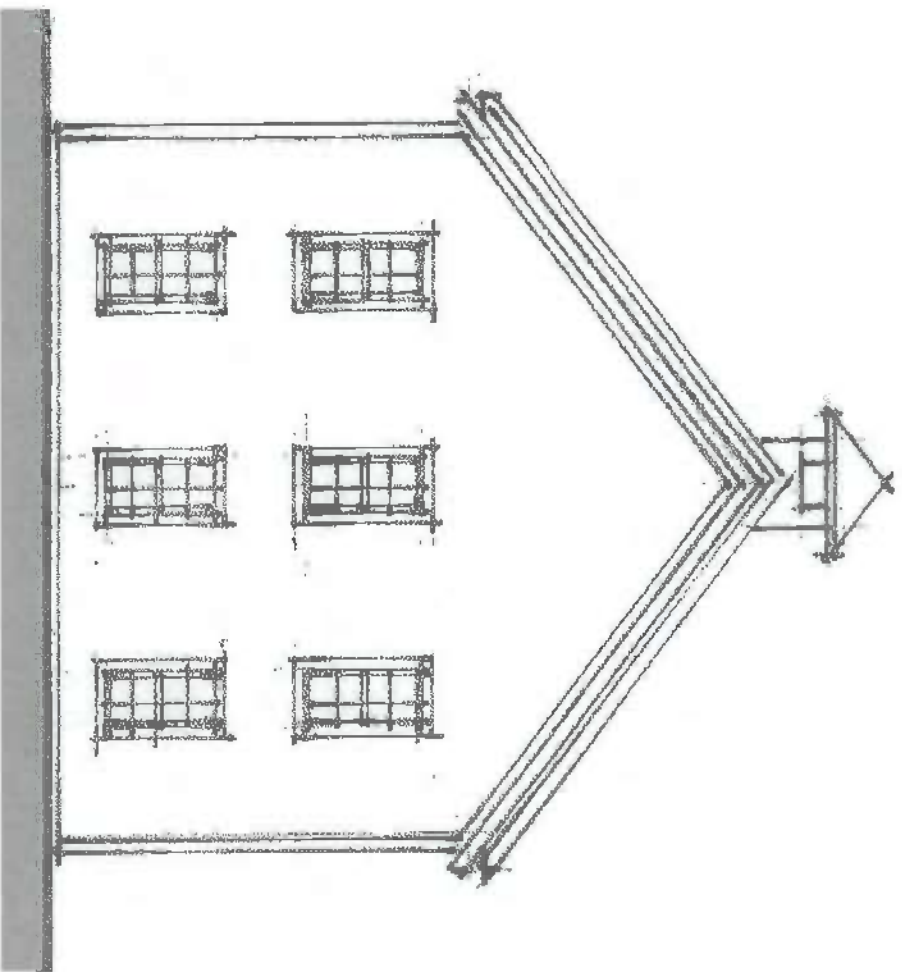
2015-05-26



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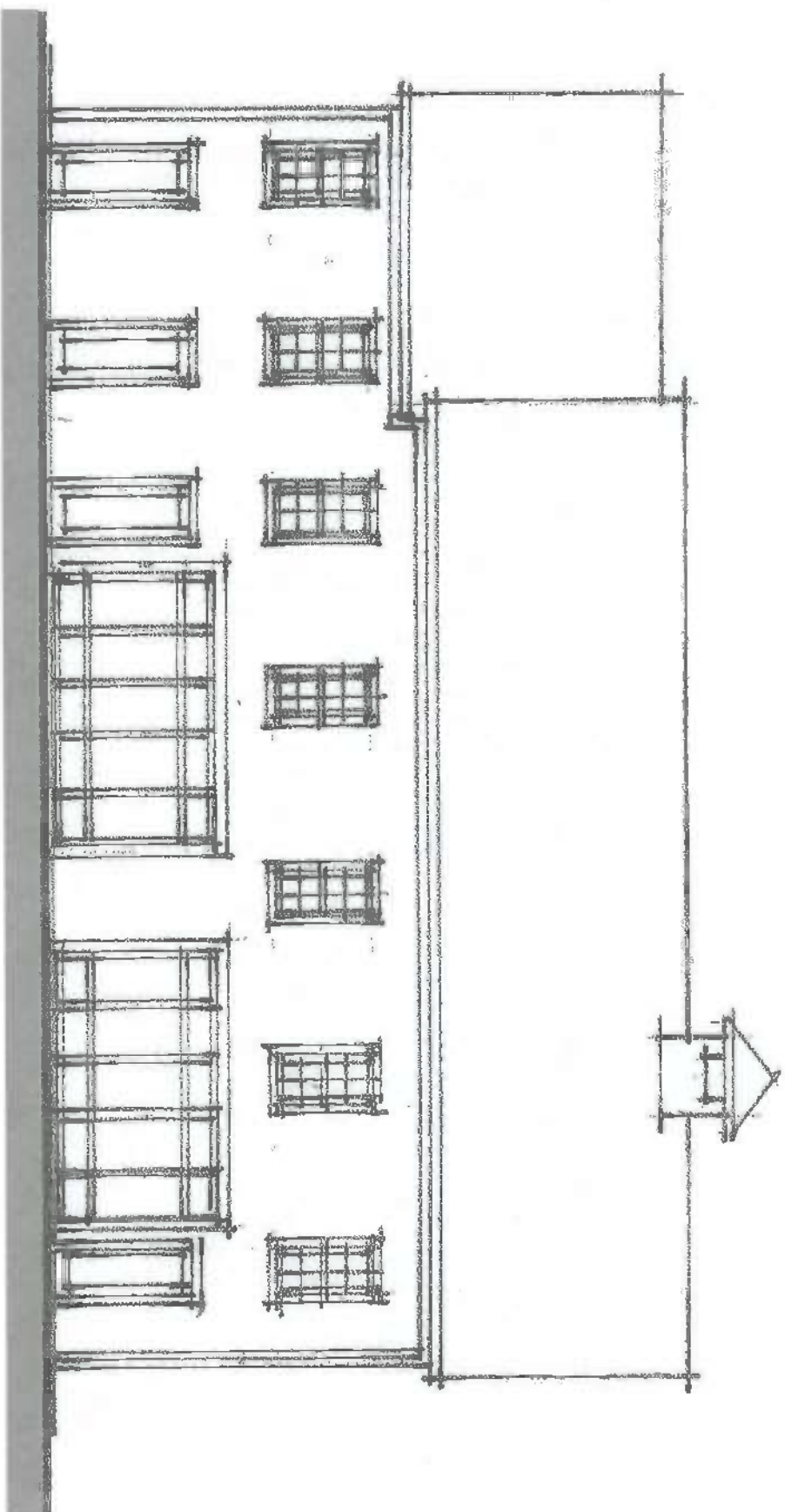
**Exhibit I**





Typical Retail Building Side Elevation

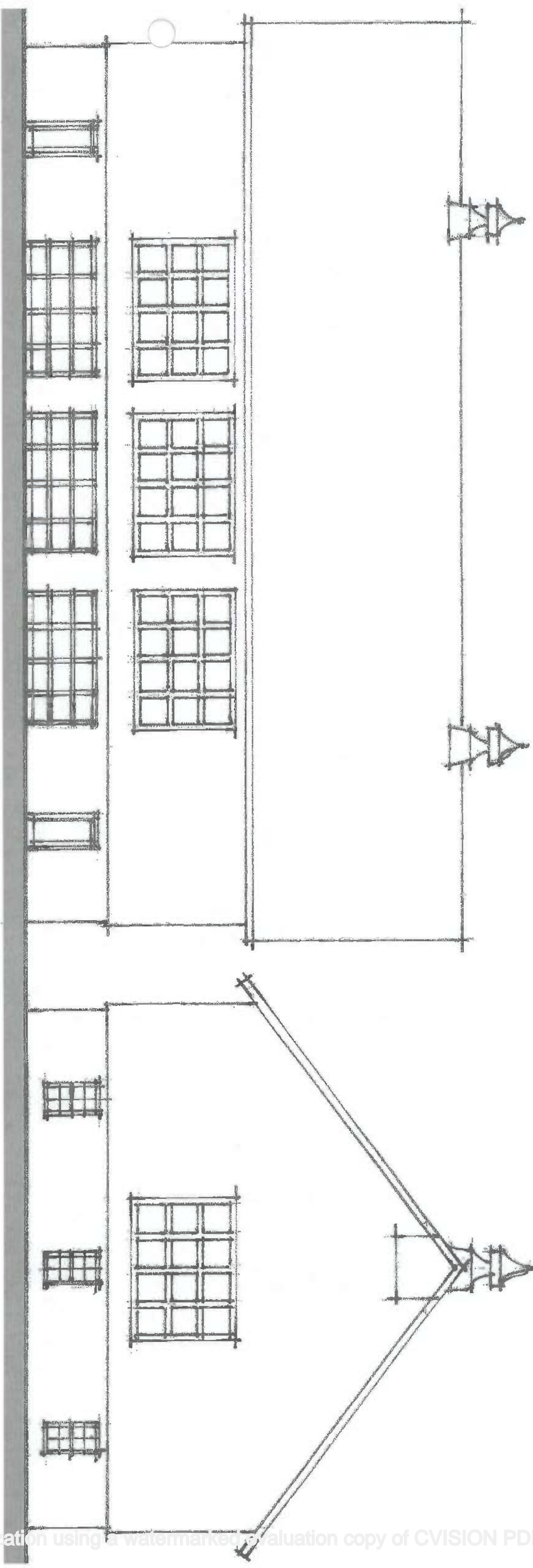
3/32" = 1'-0"



Typical Retail Building Front Elevation

3/32" = 1'-0"





Jacquemin Building Front Elevation

3/32" = 1'-0"

Jacquemin Building Side Elevation

3/32" = 1'-0"

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Jerome Grand  
Jerome Township, Ohio

2015-05-26

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Exhibit I

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Acquemin Farms in Jerome Township - Bird's Eye-View Looking North East

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JEROME TOWNSHIP

## Jacquemin Farms in Jerome Township - Bird's Eye-View Looking North East

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## Jacquemin Farms in Jerome Township - Bird's Eye-View Looking North West

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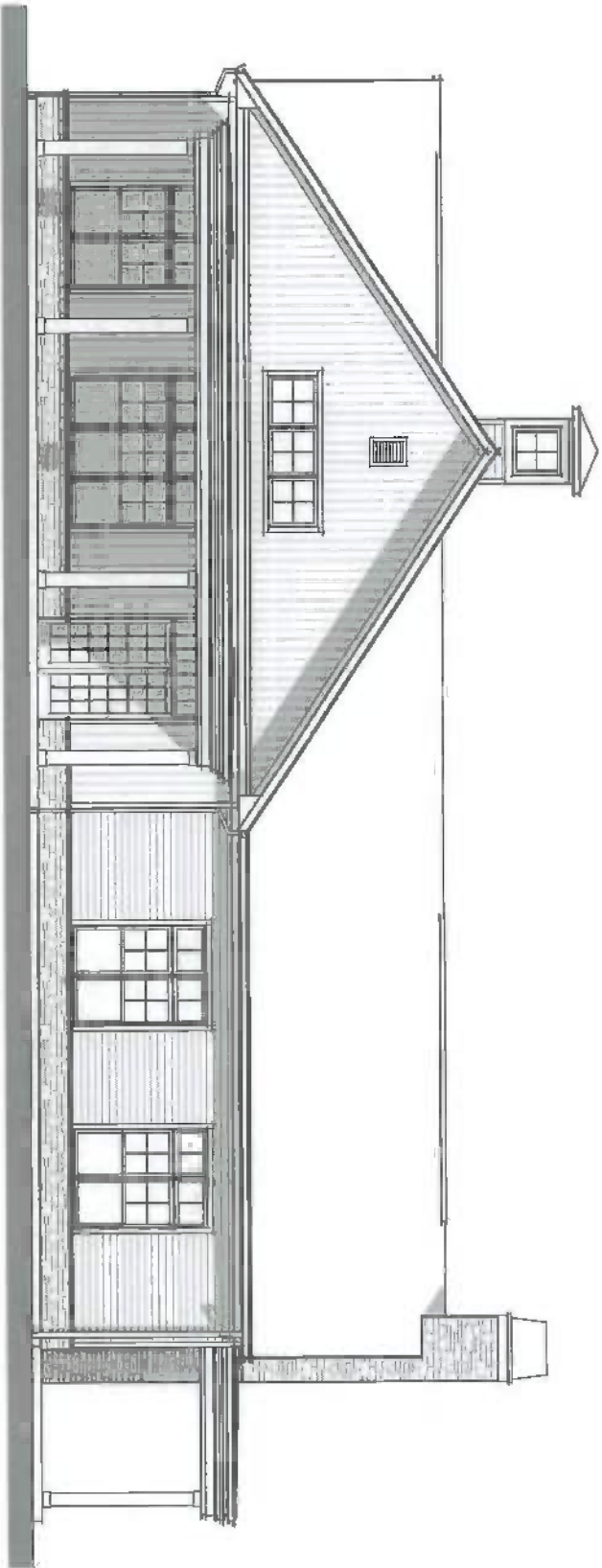
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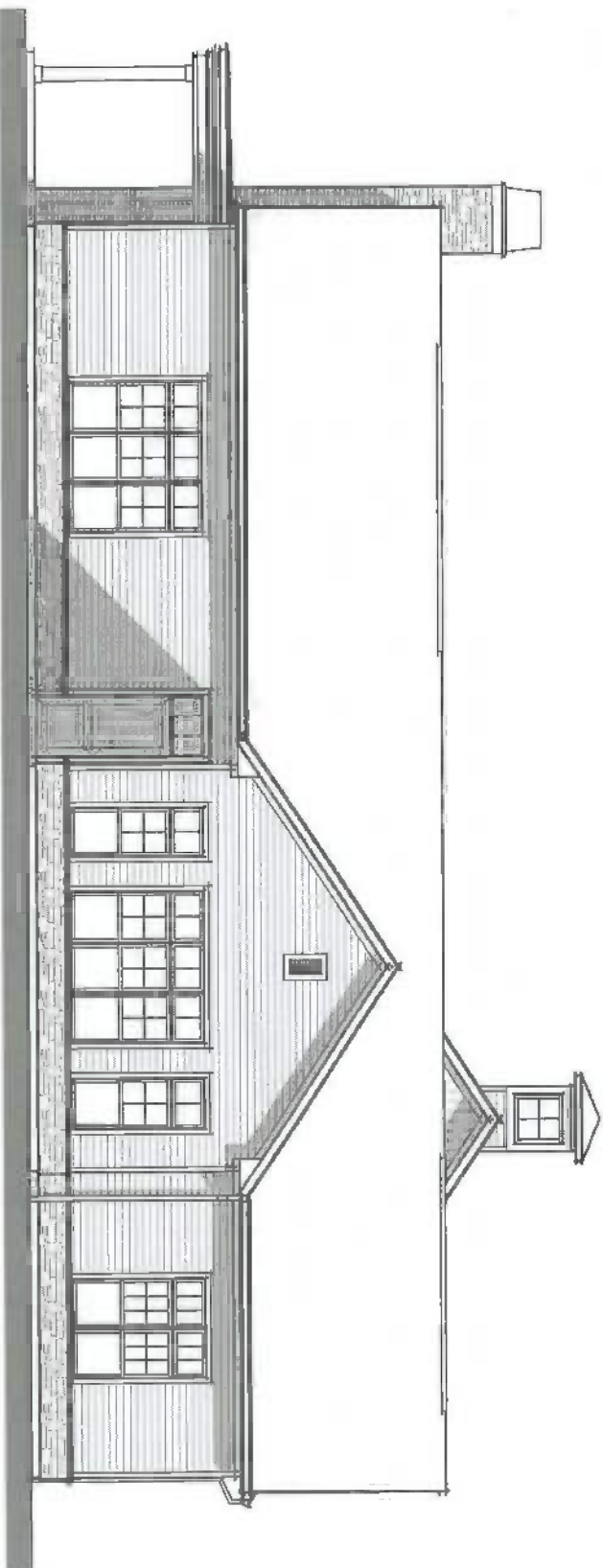
OHM  
Advancing Communities





Clubhouse - Front Elevation

3/32" = 1'-0"

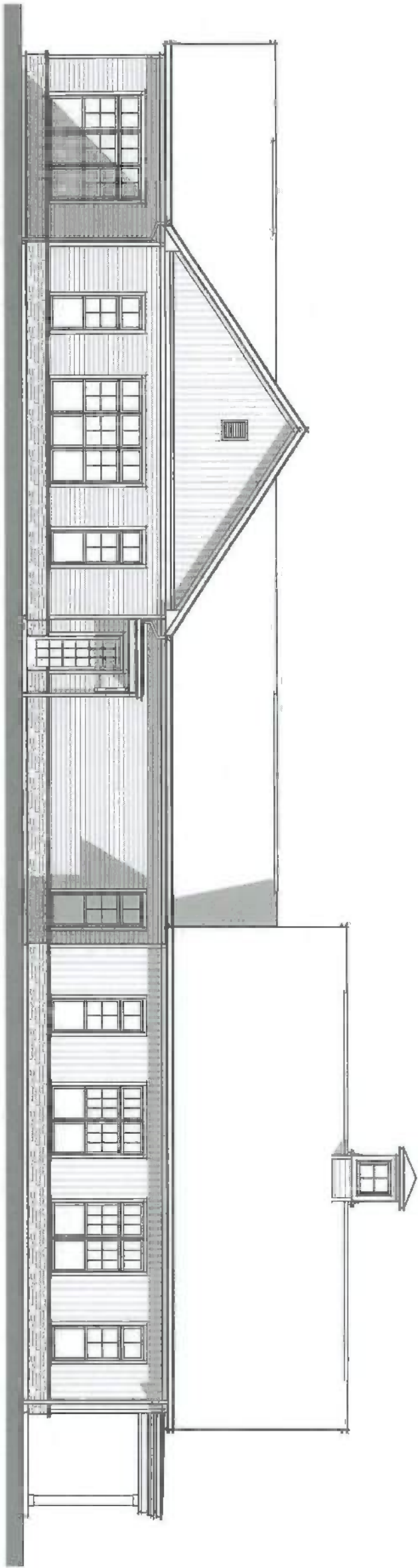


Clubhouse - Rear Elevation

3/32" = 1'-0"

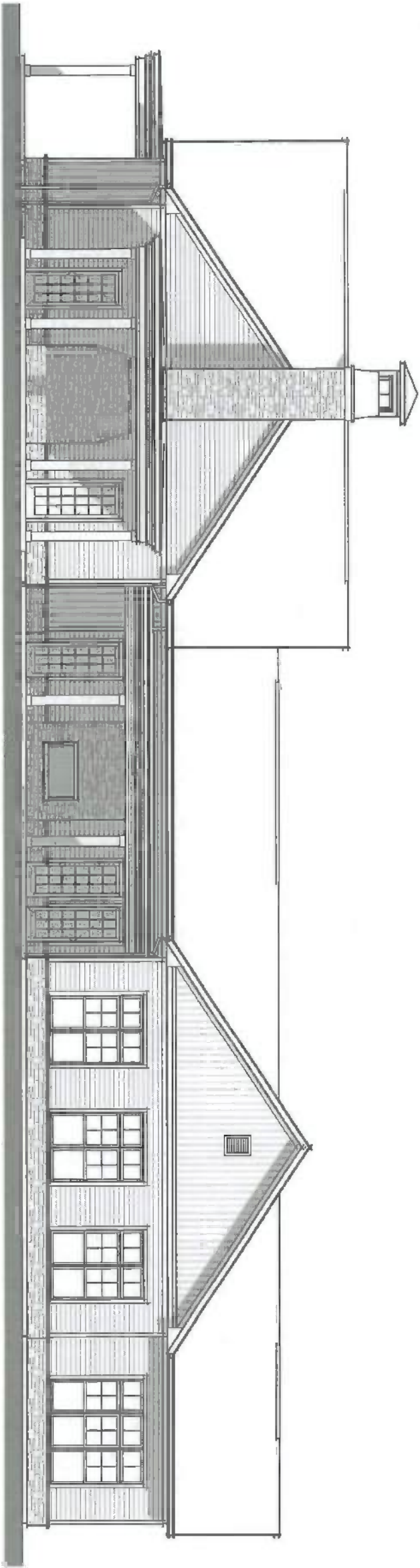






Clubhouse - Left Elevation

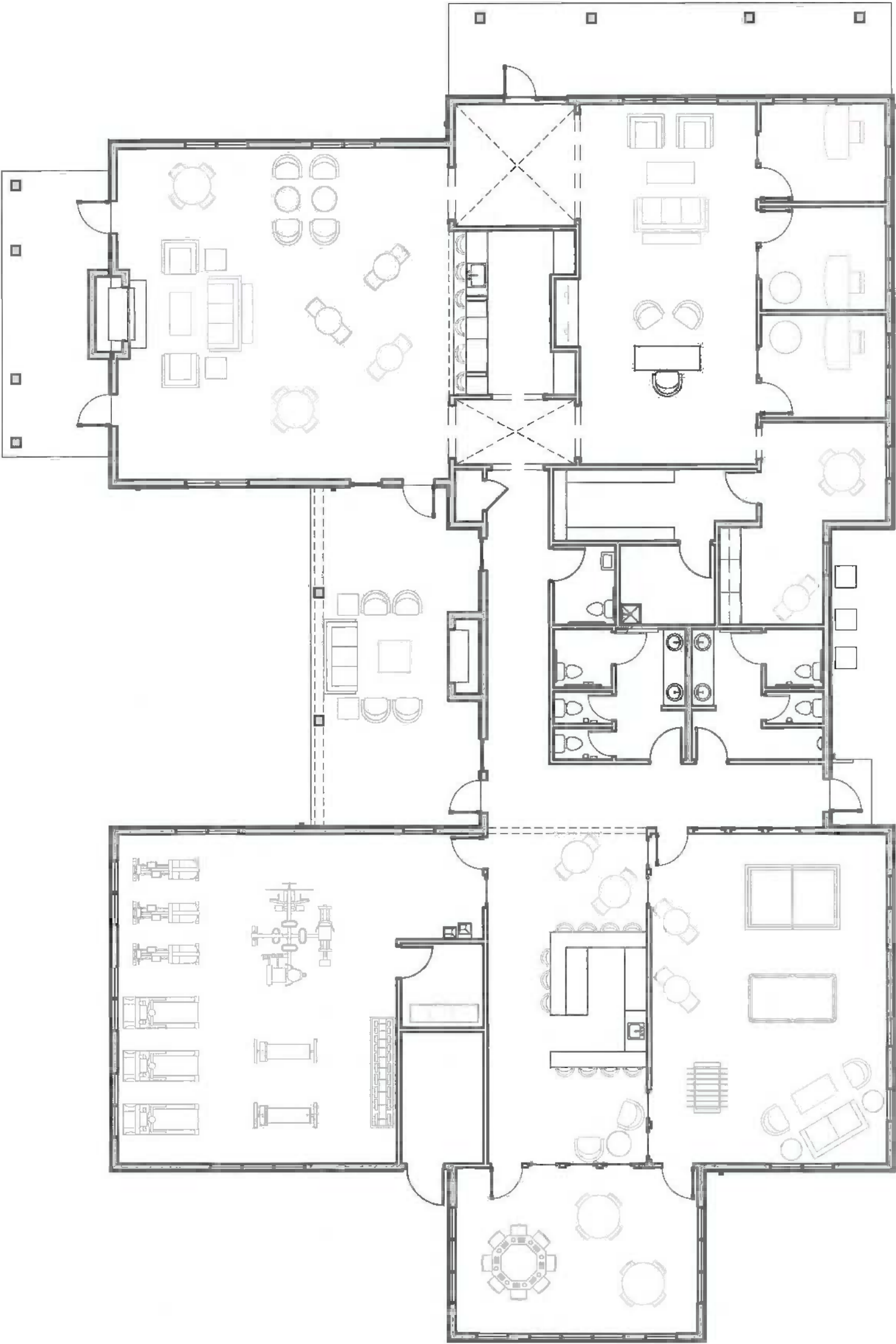
3/32" = 1'-0"



Clubhouse - Right Elevation

3/32" = 1'-0"





Clubhouse Floor Plan

3/32" = 1'-0"

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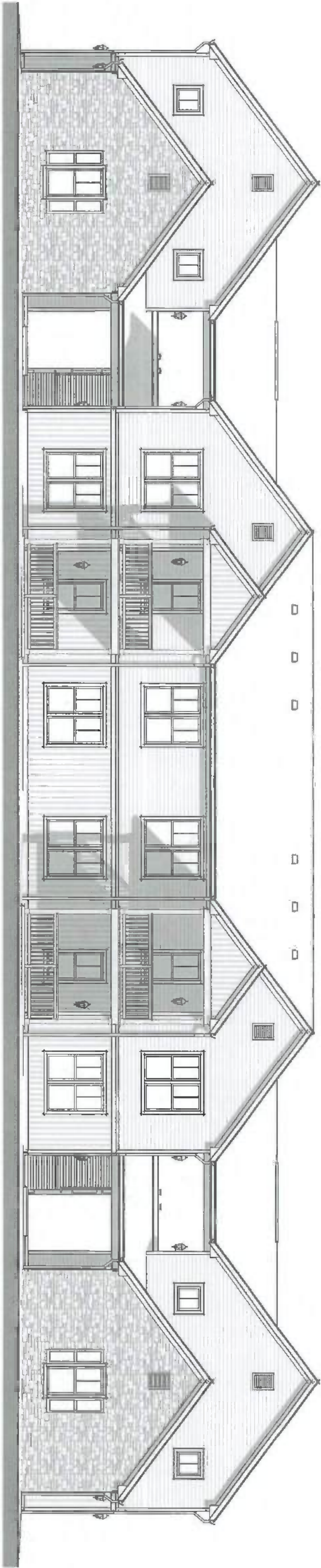
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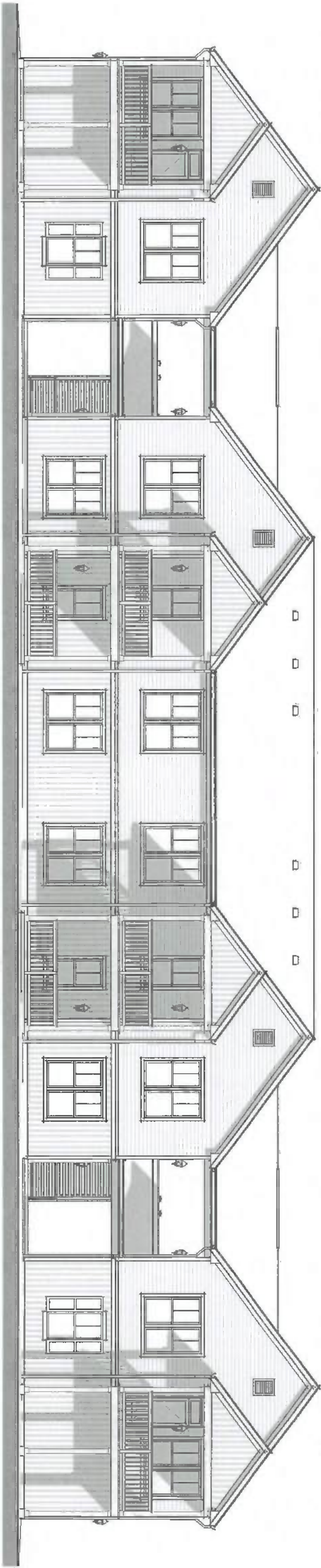
Exhibit I





Bldg C Front Elevation

3/32" = 1'-0"



Bldg C Rear Elevation

3/32" = 1'-0"

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Bldg C Left Elevation

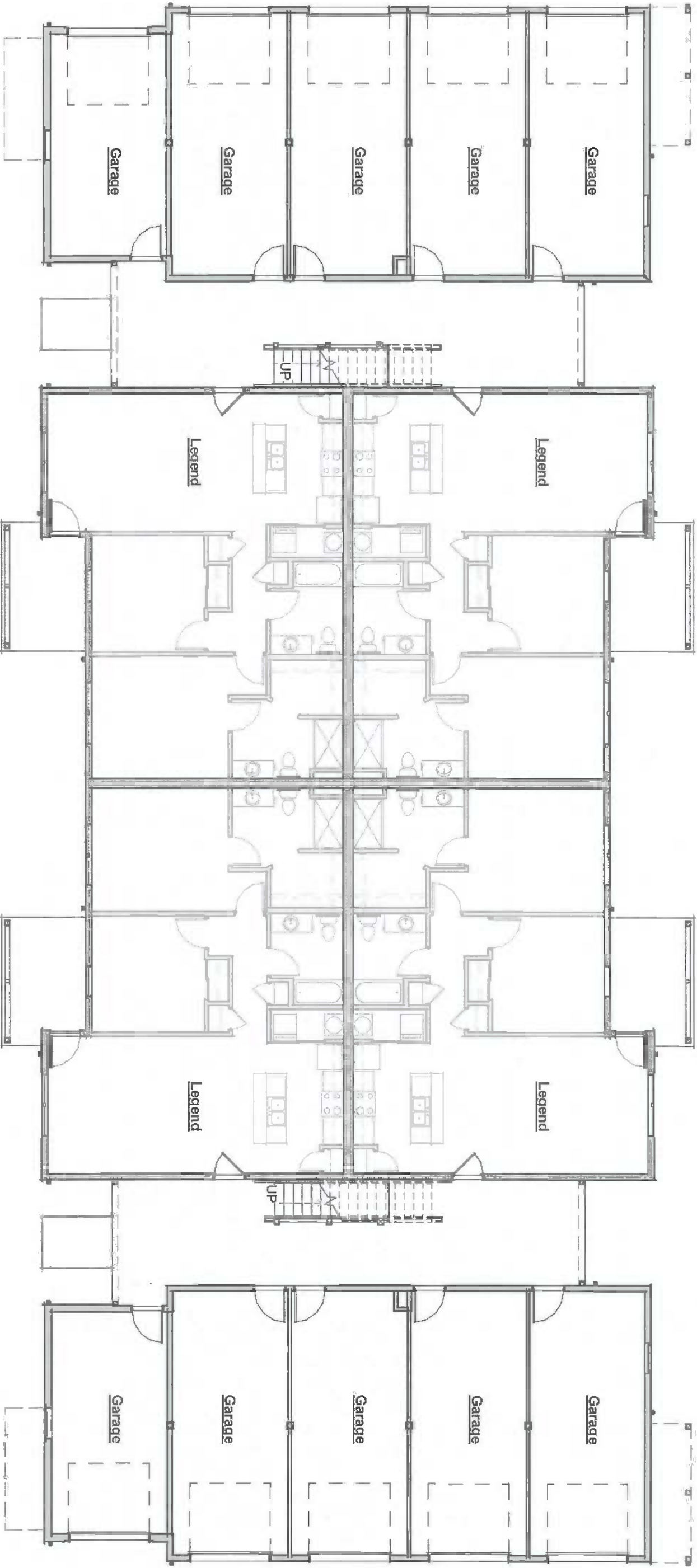
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Bldg C Right Elevation

3/32" = 1'-0"





Building C Floor 1 Plan

3/32" = 1'-0"

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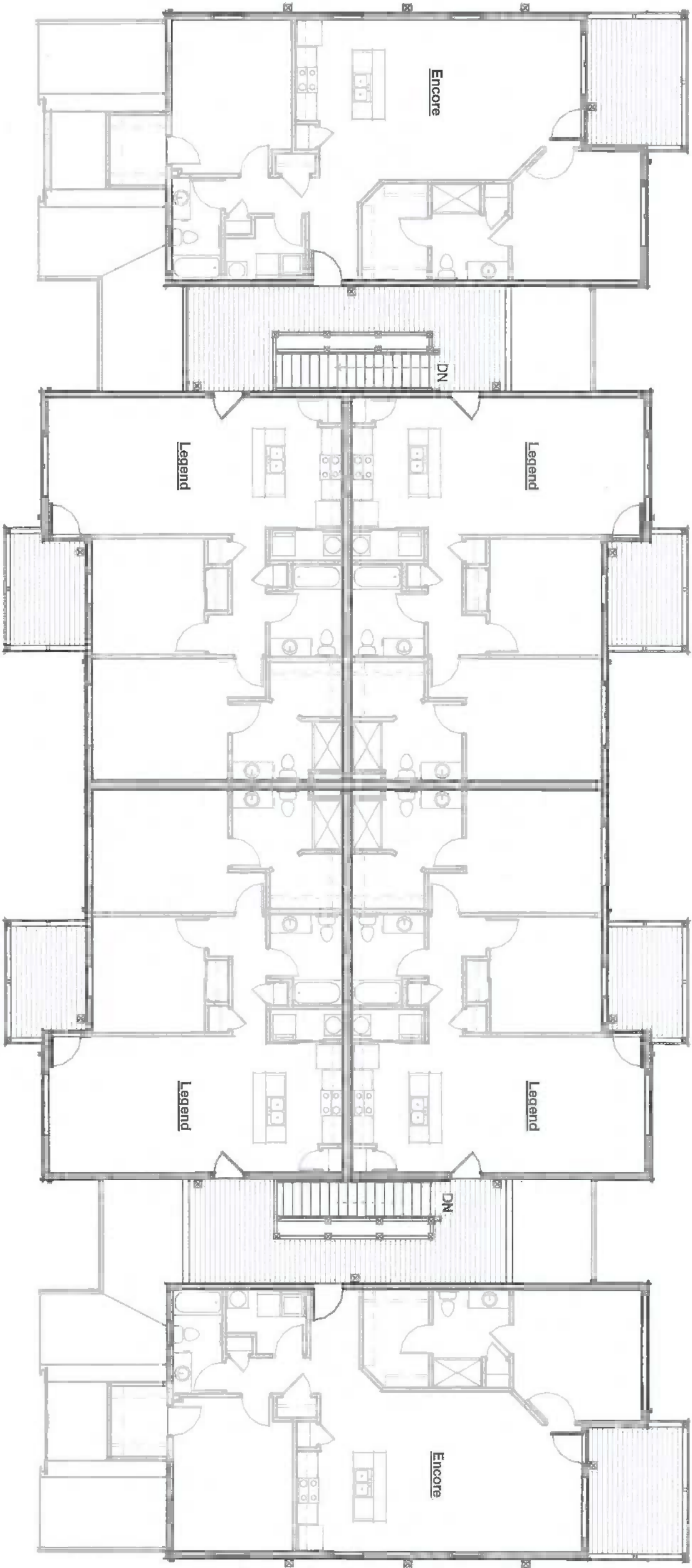
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Building C Floor 2 Plan

3/32" = 1'-0"

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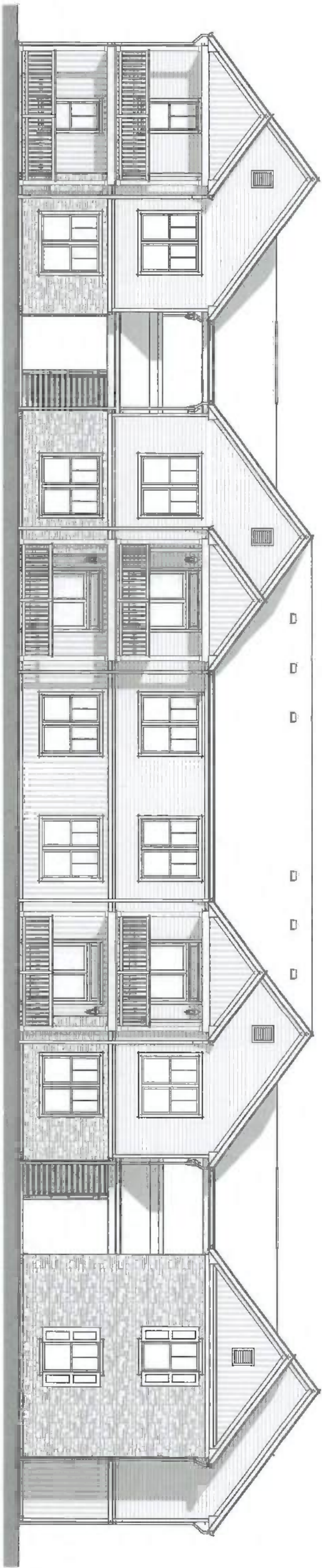
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Building D - Front Elevation

3/32" = 1'-0"



Building D - Rear Elevation

3/32" = 1'-0"



Bldg D - Left Elevation

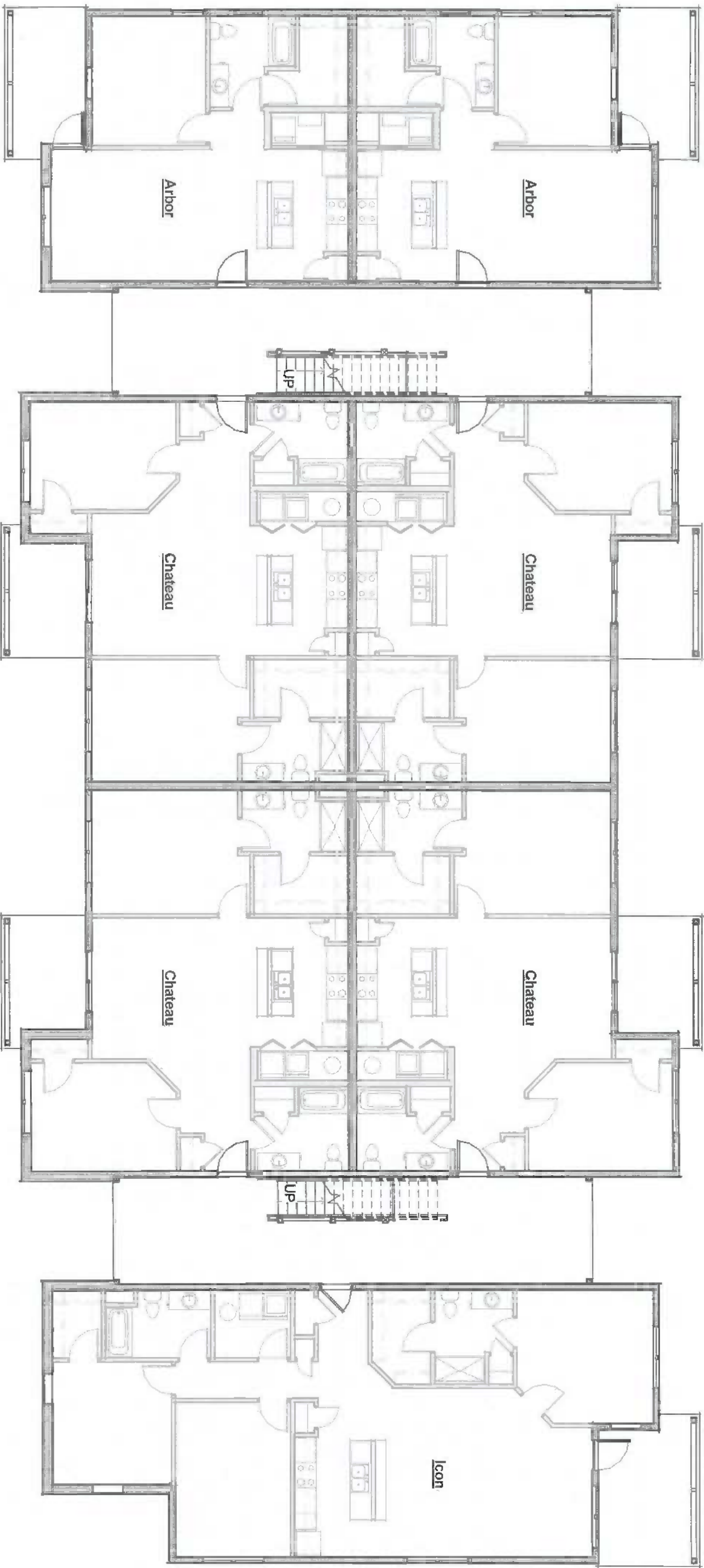
3/32" = 1'-0"



Bldg D - Right Elevation

3/32" = 1'-0"





Building D - 1st Floor Plan

3/32" = 1'-0"

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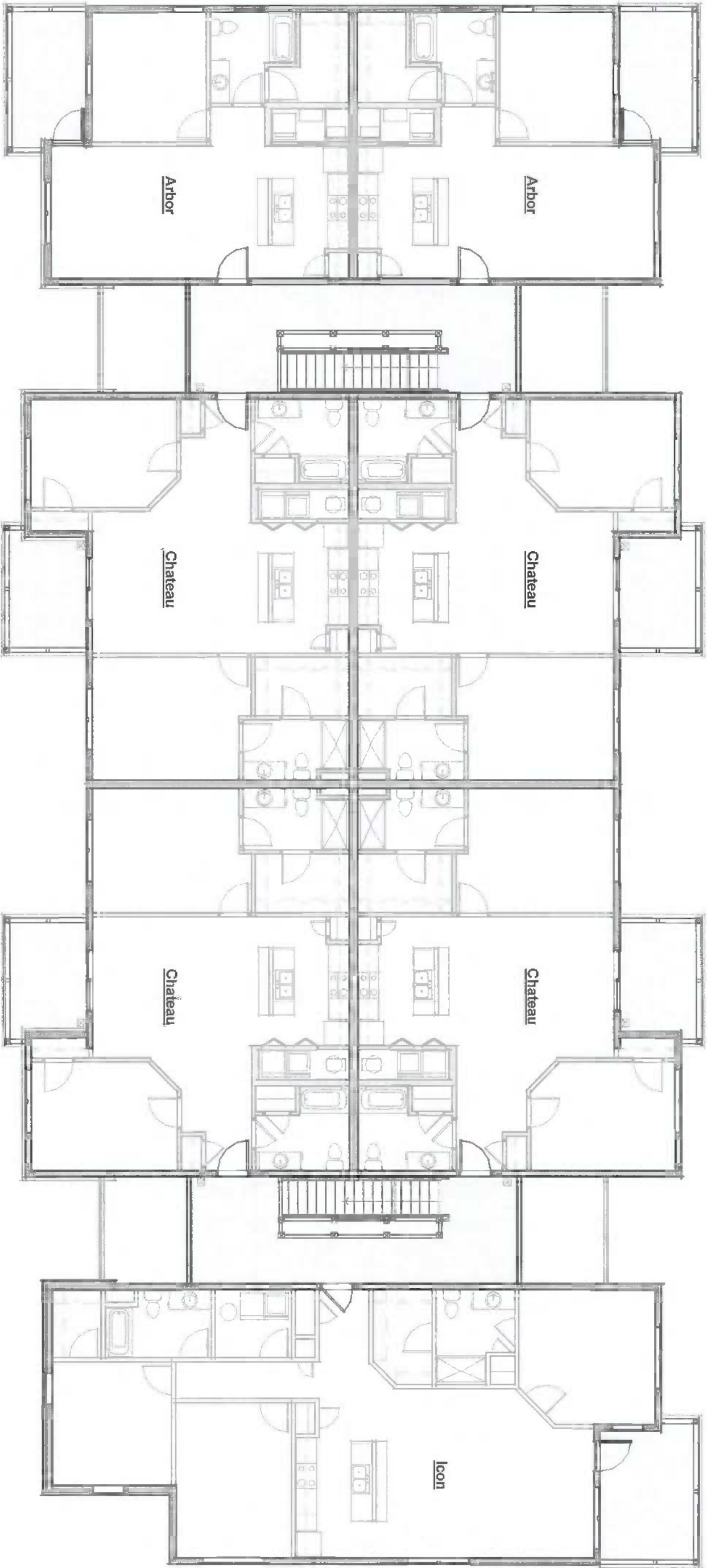
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Building D - 2nd Floor Plan

3/32" = 1'-0"

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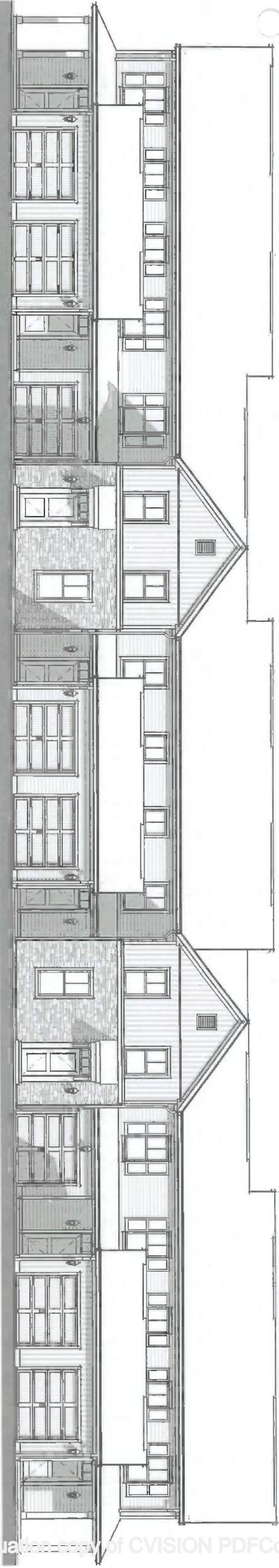
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Building R Front Elevation

3/32" = 1'-0"



Building R Rear Elevation

3/32" = 1'-0"

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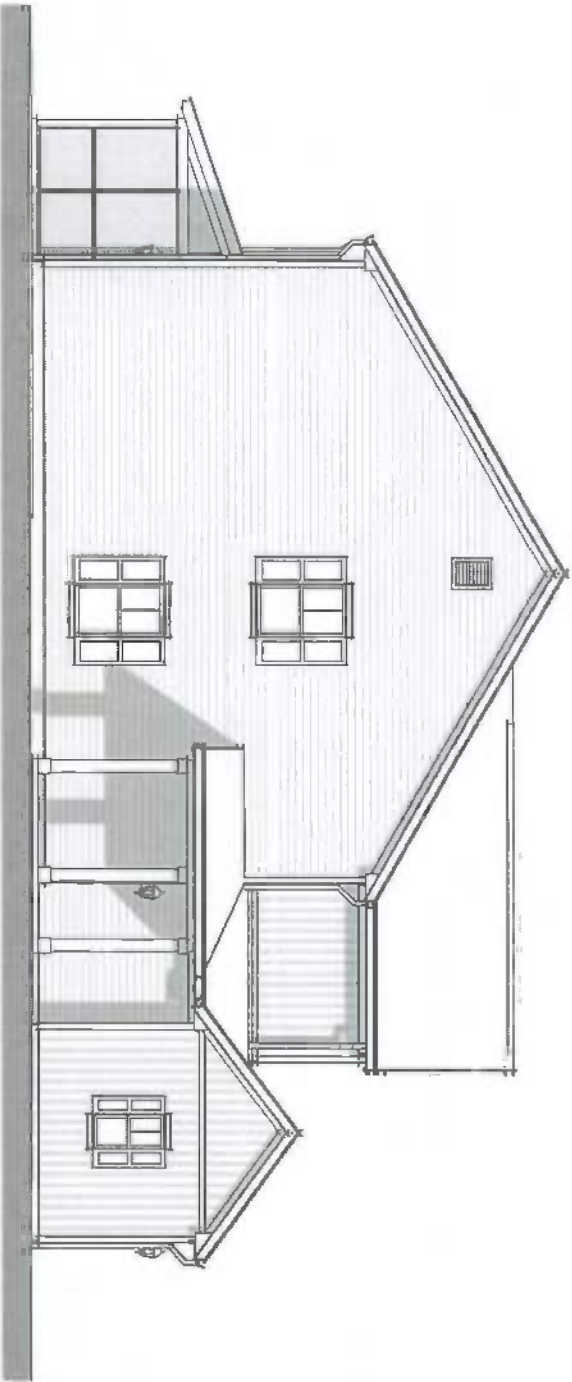
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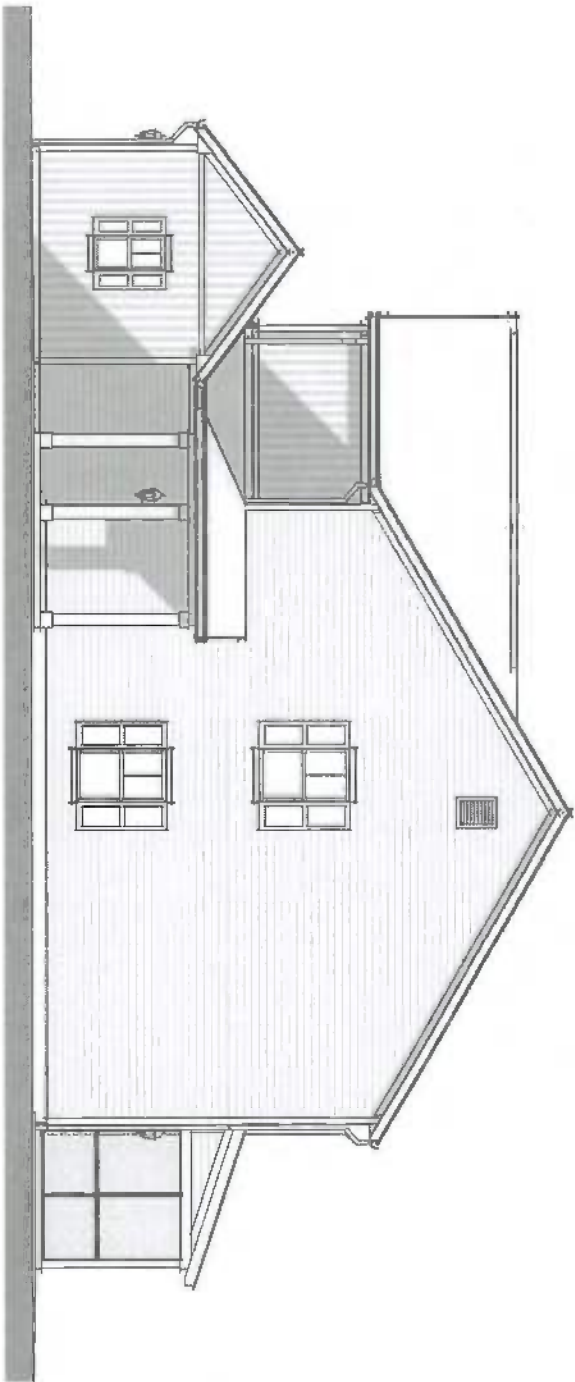
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Building R Left Elevation

3/32" = 1'-0"



Building R Right Elevation

3/32" = 1'-0"





Building R - 1st Floor Plan

3/32" = 1'-0"

BUILDING INFO	
Building Height:	29'-3"
Living Area:	10,257 sf
Garage Area:	1,610 sf
Number of Units:	8
Number of Bedrooms:	18



**Building R - 2nd Floor Plan**

3/32" = 1'-0"

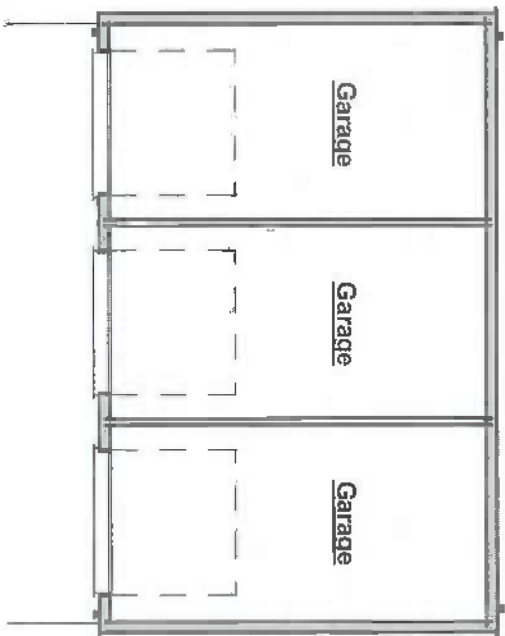
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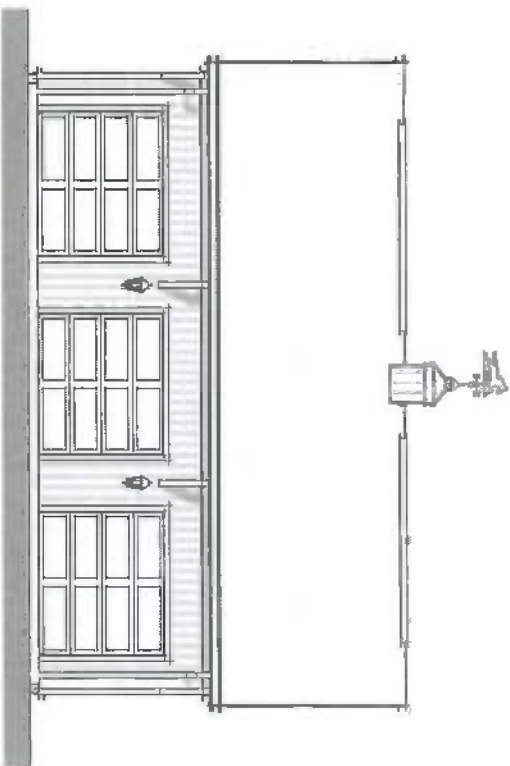
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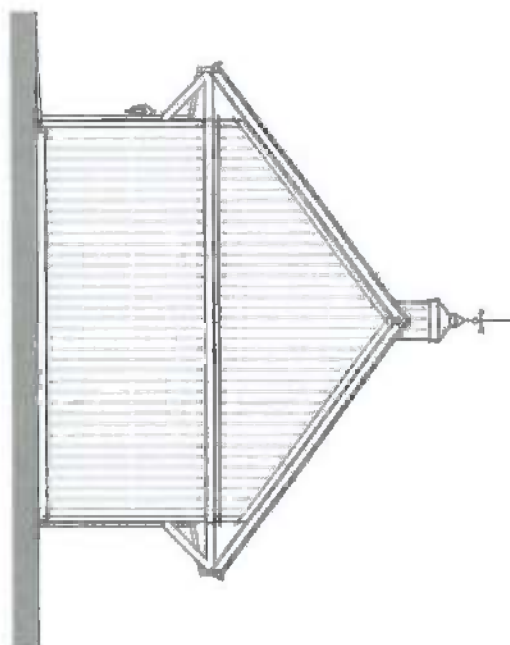
3 Car Garage Building Plan

3/32" = 1'-0"



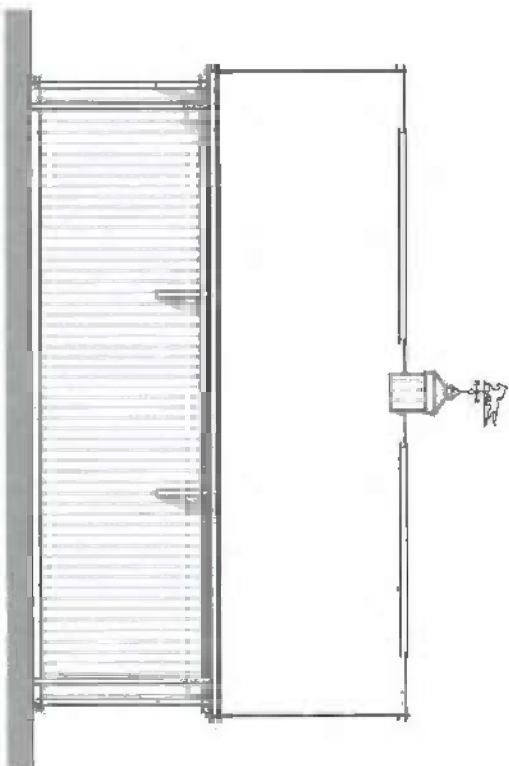
Garage Bldg Front Elevation

3/32" = 1'-0"



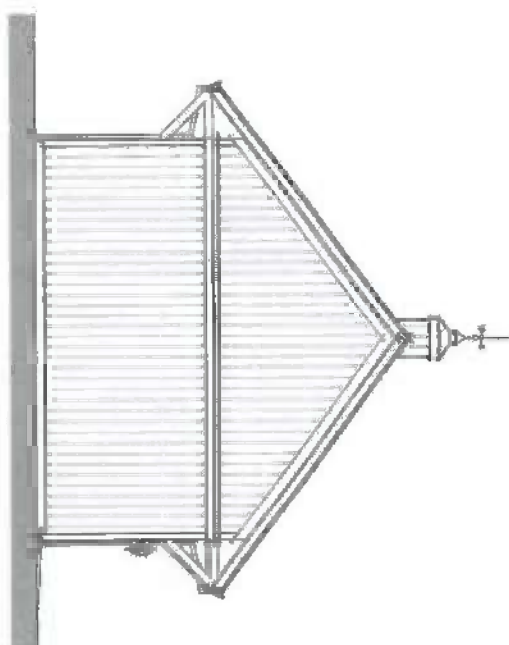
Garage Bldg Right Elevation

3/32" = 1'-0"



Garage Bldg Rear Elevation

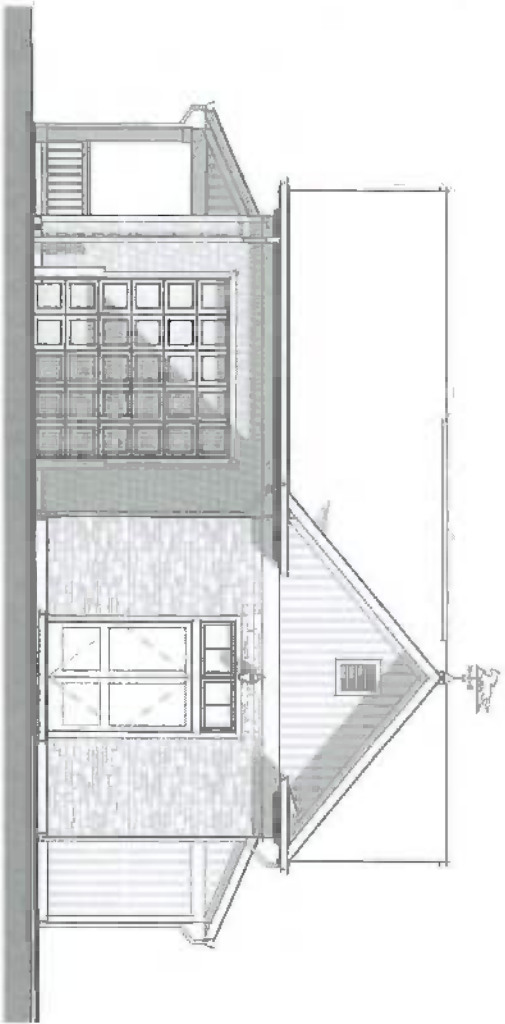
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Garage Bldg Left Elevation

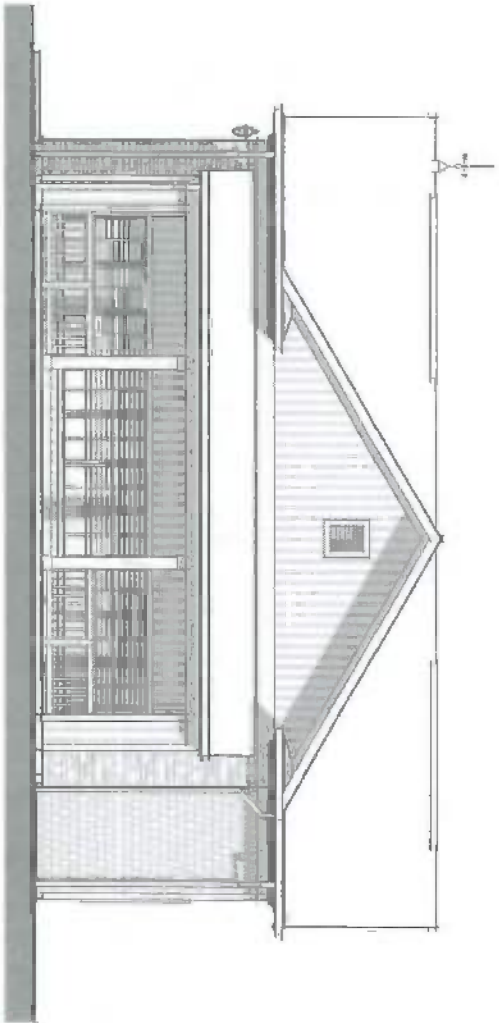
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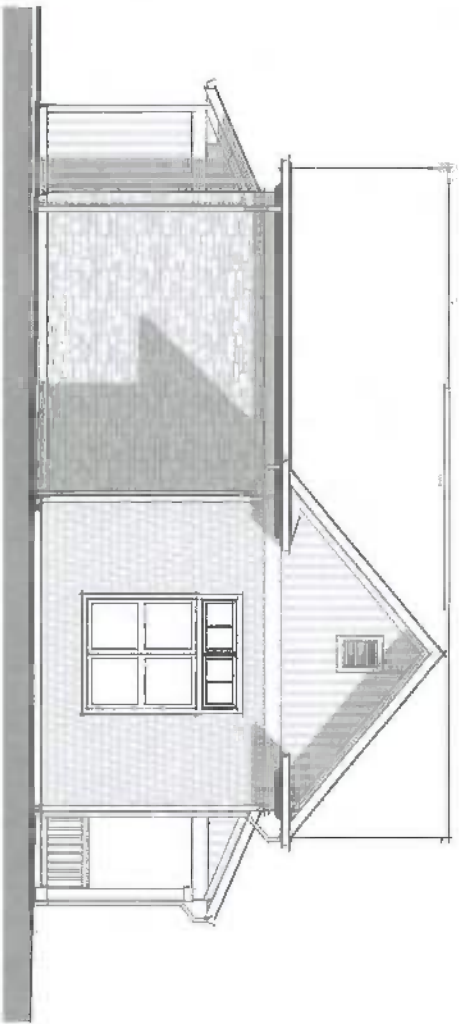
Utility Bldg Front Elevation

3/32" = 1'-0"



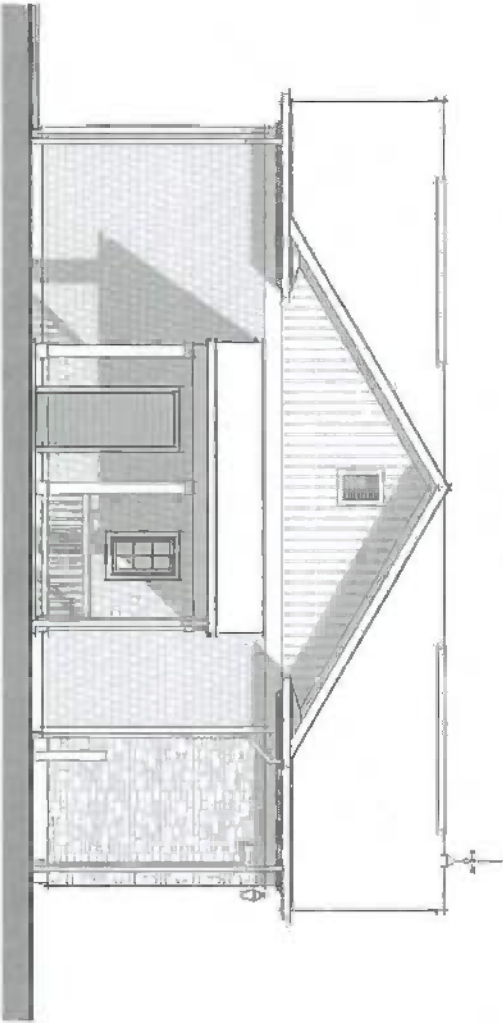
Utility Bldg Right Elevation

3/32" = 1'-0"



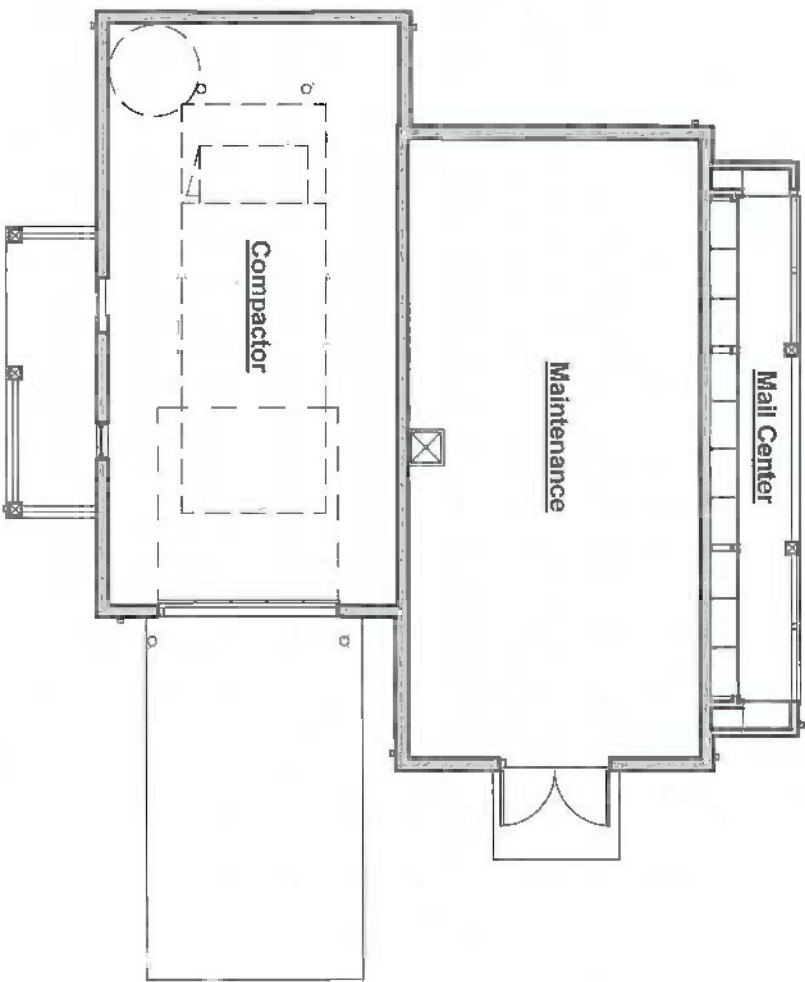
Utility Bldg Rear Elevation

3/32" = 1'-0"



Utility Bldg Left Elevation

3/32" = 1'-0"



Utility Bldg Floor Plan

3/32" = 1'-0"

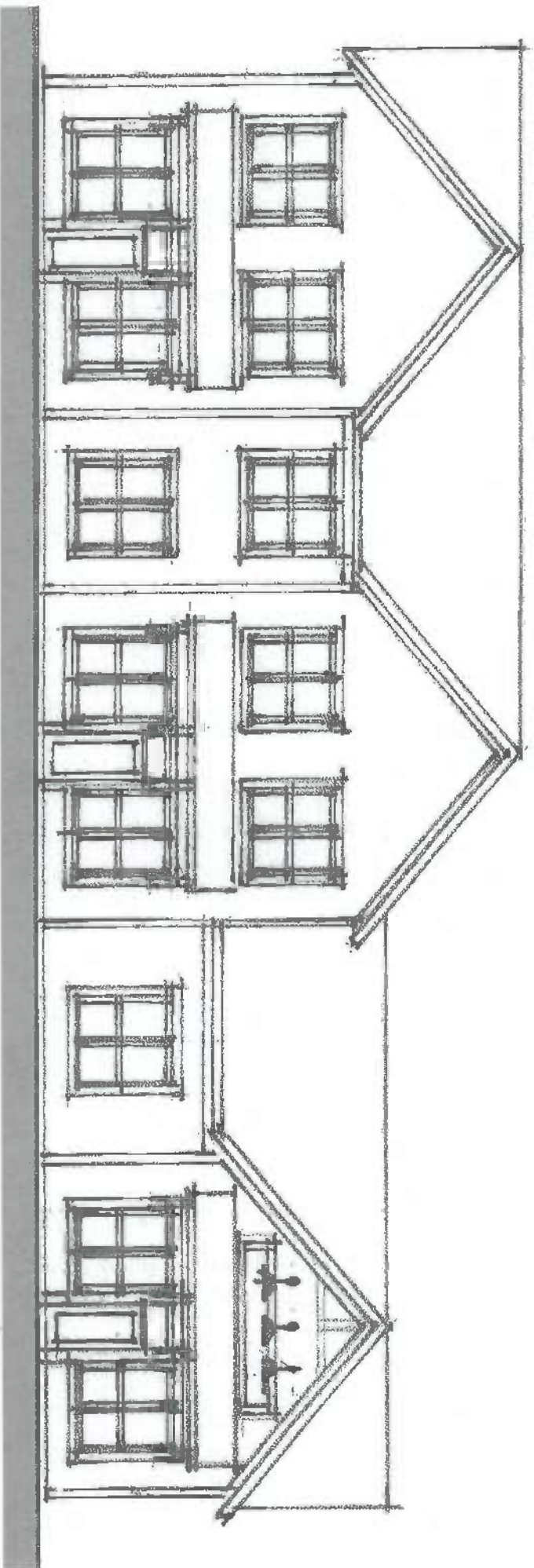
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## Typical Commercial Building Front Elevation

3/32" = 1'-0"

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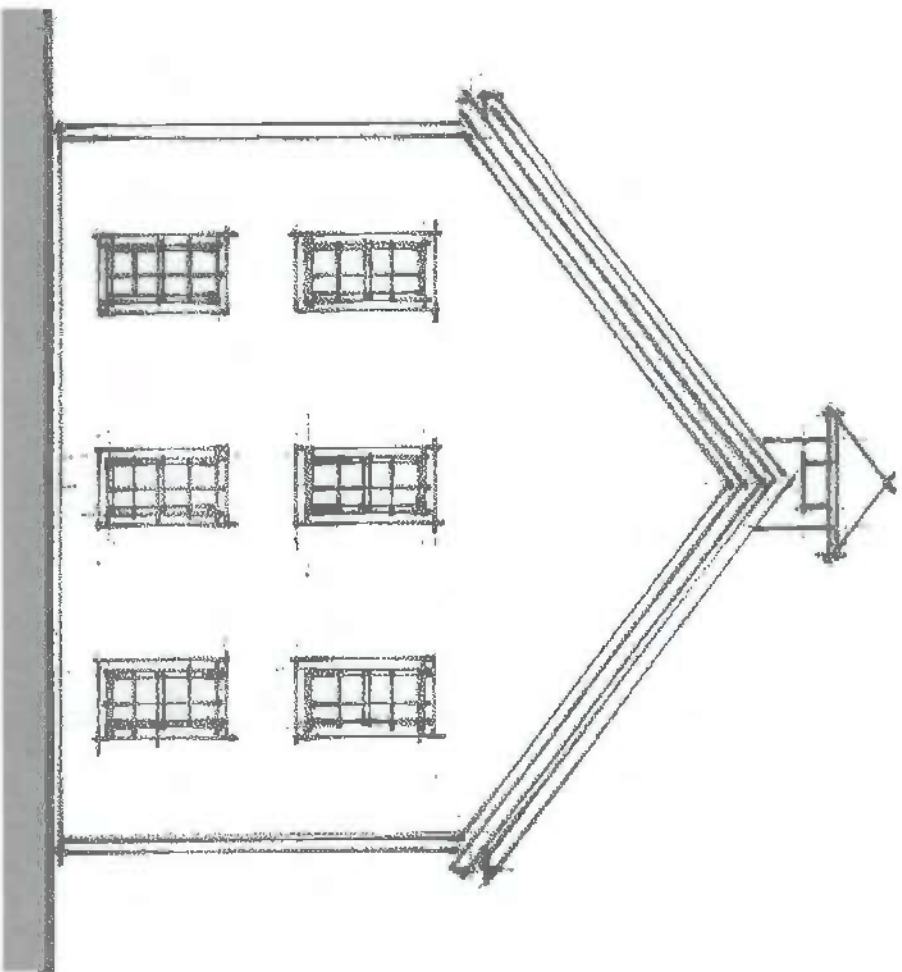
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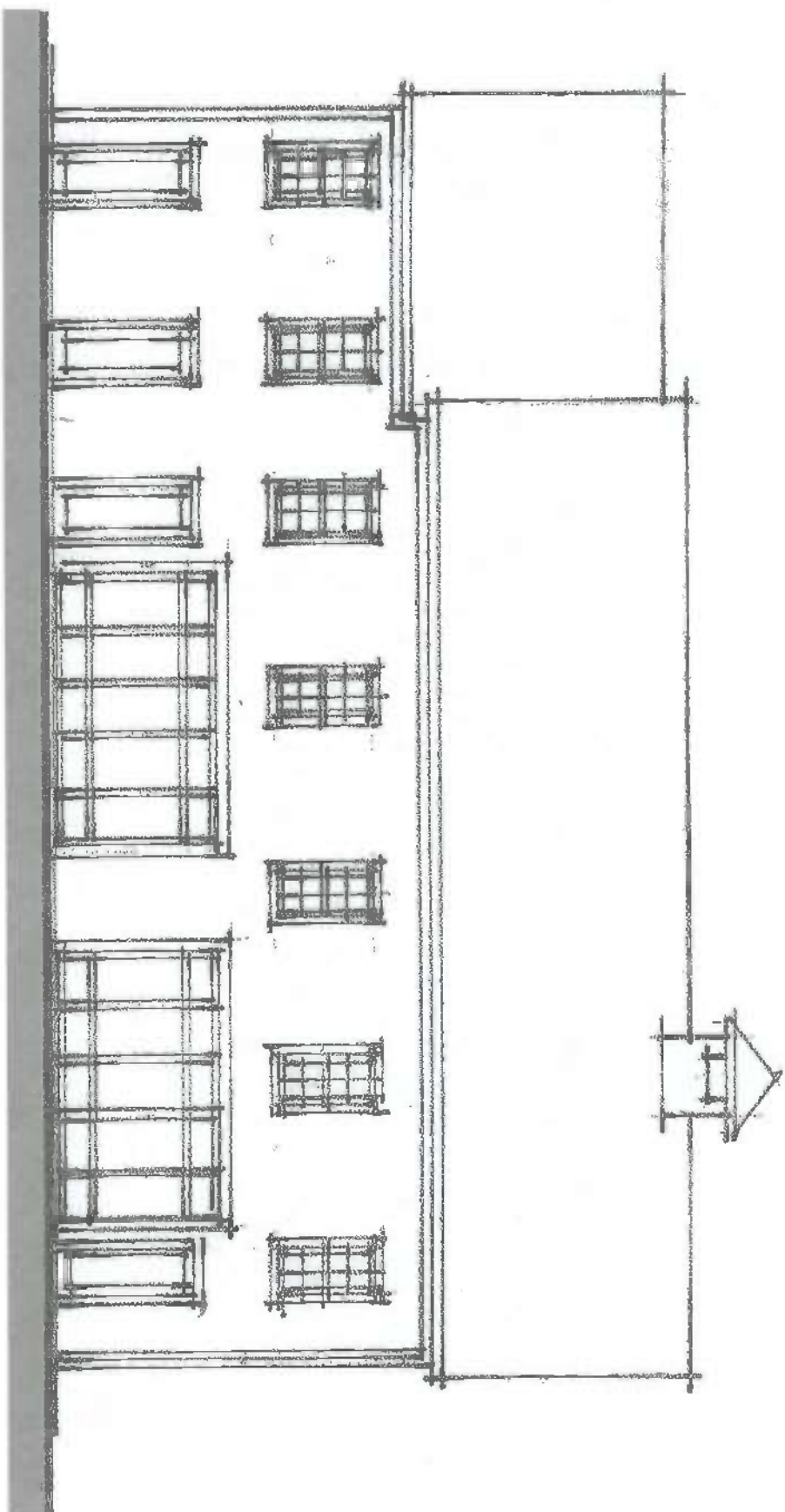
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Typical Retail Building Side Elevation

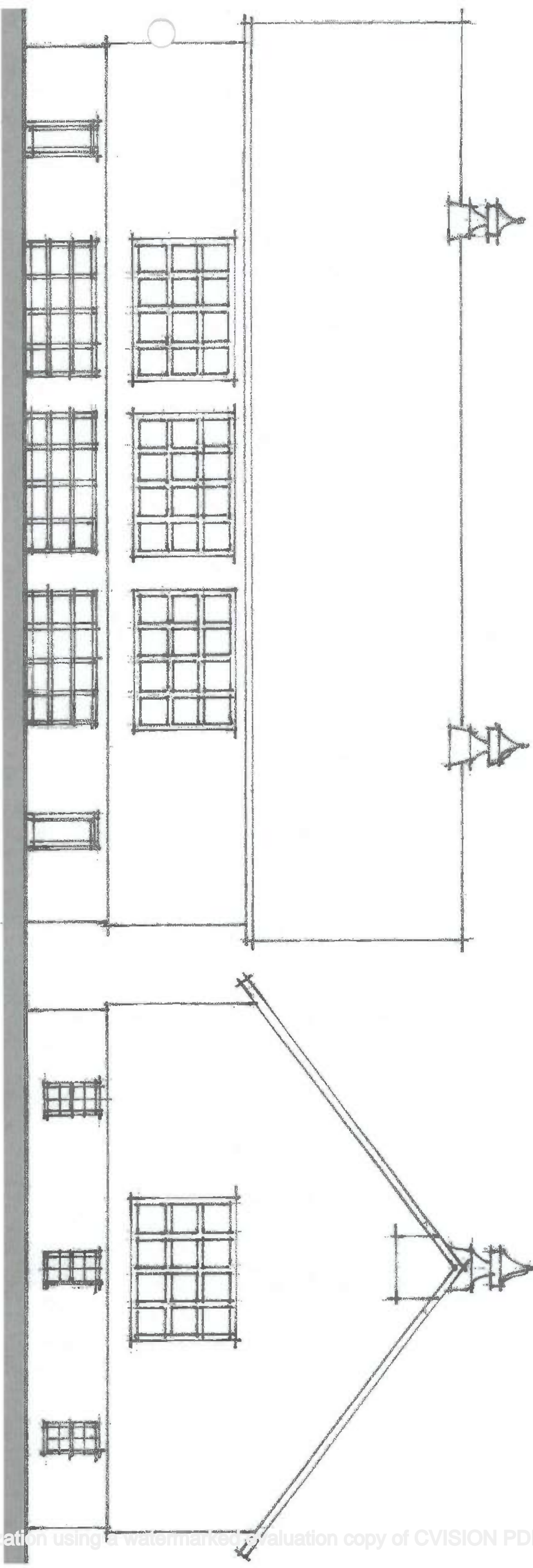
3/32" = 1'-0"



Typical Retail Building Front Elevation

3/32" = 1'-0"





Jacquemin Building Front Elevation

3/32" = 1'-0"

Jacquemin Building Side Elevation

3/32" = 1'-0"

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Zoning & Subdivision Committee  
Thursday, June 11, 2015

The Zoning and Subdivision Committee met in regular session on Thursday, June 11, 2015, at 12:34 pm at the LUC East Liberty Office. Zoning & Subdivision Committee Members were in attendance as follows: Pam Babjack, Brad Bodenmiller, Cale Jacobs for Scott Coleman, Wes Dodds, Chad Flowers, Dave Gulden, Charles Hall, Paul Hammersmith, Heather Martin, Mark Mowery for Steve McCall, Bill Narducci for Jeff Stauch, Skyler Wood and Andy Yoder. Absent Members:

Guests included: Frank Albanese, ISL Communities; Bill Pizzino, Pizzino Engineer; Glen Dugger, Smith & Hale; Bill Westbrook, Consultant; Don Hunter, Schottenstein Real Estate.

Charles Hall chaired the Zoning & Subdivision Committee Meeting.

Andy Yoder moved a motion to approve the minutes from the April 9, 2015 meeting as written and Wes Dodds seconded. All in favor.

1. Darby Braeside Preliminary Plat (Union County) – Staff Report by Brad Bodenmiller
  - Bill Narducci shared the Union County Engineer's letter of approval.
  - Brad struck his comment about prohibition of dead end drives from the staff report. He did not realize it was intended as a connection to the adjacent parcel in the event of a future subdivision.
  - Brad stated the Health Department met with the developer and is comfortable moving-forward with approval of the Preliminary Plat contingent on their approval of the STS and well systems.
  - Charles – Who will maintain and mow that property at the cut off road by the Darby?
    - Bill Pizzino – The Homeowner's Association will take care of it; currently the landowner is taking care of the property
  - Bill Narducci moved a motion to recommend approval with conditions of the Darby Braeside Preliminary Plat including staff and reviewing agency comments and Andy Yoder seconded. All in favor.
2. Review of Jerome Township Zoning Text Amendment, Minimum Lot Size & Width in RU District (Union County) – Staff Report by Brad Bodenmiller
  - Charles – This will create an issue for homeowners.
  - Wes – Brad's review is right on the money, why would we encourage the township to decrease minimum lot sizes in the RU District after they just set it for rural?





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- Wes Dodds moved a motion to recommend denial of the Jerome Township Zoning Text Amendment regarding Minimum Lot Size and Width in the RU District and Pam Babjack seconded. All in favor.
- 3. Review of Jerome Township Parcel Amendment, Jacquemin Farms (Union County) - Staff Report by Brad Bodenmiller
  - Charles – What is the access to that?
    - Brad – They have an entrance on Weldon Road and Hyland-Croy.
  - Paul – Did a Traffic Impact Study happen?
    - Bill Westbrook – We are working on that and will share with the county and city within the next few weeks.
    - Bill Narducci – A full blown Traffic Impact Study?
      - Bill Westbrook – Yes.
  - Bill Narducci – Our office has not been approached about this in regards to traffic improvements.
    - Bill Westbrook – I'm aware of this.
  - Charles – So you're asking for approval before we know what needs to happen to improve traffic?
  - Bill Westbrook – We're very understanding that the township has to have approval before they pass on this.
  - Dave – LUC is involved with the 33 corridor group.
  - Charles – If this gets denied what do they have to do after this?
    - Brad – The Township forwards it asking for a recommendation, we give them our recommendations, they don't have to follow it.
  - Bill Narducci – We don't have any infrastructure information to make a call, they need our approval before they can approve a land use?
    - Brad – It doesn't say that now.
    - Bill Narducci – Before it gave the option.
    - Brad – The PUD Regulations, which were replaced last month by the new Zoning Resolution, mentioned Traffic Impact Studies. The new Zoning Resolution, the PD Regulations, do not make mention of Traffic Impact Studies. They only mention requirements for public improvements and access.
  - Bill Westbrook – We know we need to do a Traffic Impact Study and don't have an expectation of the township approving it until it's done; we recognize from LUC's stand point that makes reference to the Traffic Impact Study, we agree generally and it's up to the township to decide that. We're not looking to try and get out of doing the Traffic Impact Study.
  - Don Hunter – We've retained a Traffic Impact Study, we're looking to rezone a Dublin property we understand that we have to have a cooperative agreement between Dublin and Union County. There's a number of traffic signals we're going to be submitting. It has some

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complexities to it so we're happy to have some conditions attached to it. We anticipate that it's going to be an extensive development. We don't have any problem having our feet held to the fire to do that.

- Bill Westbrook – Your staff report already has that as one of the recommendations so you've already put that in place, so having a favorable approval doesn't take that action away
- Don Hunter – Our intent is to talk about land use and that we want to develop with road improvements and an agreement with all the jurisdictions.
- Bill Narducci – My concern is that we're running into the same type of issue for another site; they're behind of the Traffic Impact Study but they've started developing. I'm sure that's not your intentions now.
- Don Hunter – Would you be comfortable with a precise condition that says exactly what you want that would be with the approval? That all have to be completed prior. We welcome a condition that requires the Engineer's Office approval.
- Bill Narducci – What we're giving is just a recommendation to the Township, they can do whatever they want with that. At the Township level they have to know the importance of the Traffic Impact Study. It's my strong recommendation that we have to have the Traffic Impact Study completed and improvements in place before the Township approves it.
- Wes Dodds – Other than the Traffic Impact Study, is there any other concerns on land use?
- Don Hunter – We are happy to have that stipulation, we won't start construction or get financing without it. It's important to us to work with all entities to do what's needed. We're fine to have your statement be a clear expectation as a developer to have your approval. There's a clear MOU.
- Bill Narducci moved a motion to recommend approval of the Jerome Township Parcel Amendment regarding Jacquemin Farms PD with staff, reviewing agency and Zoning and Subdivision Committee comments and with extreme caution regarding the Traffic Impact Study that approval letters from being reviewed by both the Union County Engineer's Office and the City of Dublin be required before any action from the Township be made a and Paul Hammersmith seconded. All in favor.

The Zoning and Subdivision Committee adjourned at 1:12 pm with Wes Dodds moving the motion to adjourn and Andy Yoder seconded. All in favor.

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