



Logan-Union-Champaign regional planning commission

Director: Bradley J. Bodenmiller

Zoning & Subdivision Committee

Thursday, September 12, 2019

12:15 pm

- Minutes from last meeting of August 8, 2019
- 1. Review of ERN-2 Phase 1 Amended Final Plat (Union County) – Staff Report by Brad Bodenmiller
- 2. Review of The Courtyards on Hyland Run Preliminary Plat (Union County) – Staff Report by Brad Bodenmiller
- 3. Review of Jerome Township Middle and Elementary School Preliminary Plat (Union County) – Staff Report by Brad Bodenmiller
- 4. Review of New California Hills XIII Preliminary Plat (Union County) – Staff Report by Brad Bodenmiller
- 5. Review of Paris Township Zoning Text Amendment (Union County) – Staff Report by Aaron Smith

Lunch will be provided at Noon, please RSVP

Members:

Tyler Bumbalough – City of Urbana Engineer
Scott Coleman – Logan County Engineer
Weston R. Dodds – City of Bellefontaine Code Enforcement
Ashley Gaver – City of Marysville
Charles Hall – Union County Commissioner
Steve McCall – Champaign County Engineer
Bill Narducci – Union County Engineer's Office
Vince Papsidero/Tammy Noble – City of Dublin Planning
Tom Scheiderer – Jefferson & Zane Township Zoning Inspector
Jeff Stauch – Union County Engineer
Robert A. Yoder – North Lewisburg Administrator
Brad Bodenmiller – LUC
Heather Martin – LUC
Aaron Smith - LUC

10820 St. Rt. 347, PO Box 219

East Liberty, Ohio 43319

• Phone: 937-666-3431 •

• Email: luc-rpc@lucplanning.com • Web: www.lucplanning.com



Staff Report – Eversole Run Neighborhood Section 2 Phase 1

Applicant:	<p>Jerome Village Company, LLC c/o Gary Nuss 375 North Front Street, Suite 200 Columbus, OH 43215 nussg@nationwide.com</p> <p>Terrain Evolution, Inc. c/o Justin Wollenberg PE 720 East Broad Street, Suite 203 Columbus, OH 43215 jwollenberg@terrinevolution.com</p>
Request:	Approval of Eversole Run Neighborhood, Section 2 (ERN-2), Phase 1 – Amended Final Plat.
Location:	Located west of Jerome Road, north of Wells Road, and south of Harriott Road in Jerome Township, Union County.

Staff Analysis:	<p>This Final Plat involves 15.494 acres of land and proposes 40 single-family residential lots.</p> <p>Acreages:</p> <ul style="list-style-type: none">○ 2.546 acres in right-of-way○ 9.544 acres in single-family residential lots○ 3.404 acres in open space <p>Proposed utilities:</p> <ul style="list-style-type: none">○ City of Marysville public water service○ Jerome Village Community Authority Collection and City of Marysville public treatment <p>Preliminary Plat:</p> <ul style="list-style-type: none">○ The Preliminary Plat was originally approved on December 2015, extended December 2017, and amended April 2018.○ The Final Plat was approved in November 2018.○ The transmittal indicates the amendment modifies Lots 1057, 1058, and 1059. <p>Union County Engineer's Office</p> <ul style="list-style-type: none">○ The Engineer's Office submitted comments in a letter dated 09-05-19. The Engineer's Office reported the Construction Drawings are approved. A performance
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Staff Report – Eversole Run Neighborhood Section 2 Phase 1

bond for the construction amount was approved by the Commissioners in October 2018. The Engineer's Office recommended approval of the Final Plat.

Union County Soil & Water Conservation District

- No comments received as of 09-04-19.

Union County Health Department

- No comments received as of 09-04-19. Standard comments from the Health Department are below:
 1. "All efforts should be made to provide a point of connection (via easements and/or service lines) to both water and sewer to any adjacent home, business, or any other facility that is serviced by a private water system (PWS) and/or sewage treatment system (SWS)."
 2. Any home, business, or other structure that is currently being serviced by a private sewage treatment system (STS) and ends up being situated within 200' of a sanitary sewer easement, shall be brought to the attention of the Union County Health Department."
 3. "If at any at time during development of the subdivision a private water system (PWS) (well, cistern, etc.) or sewage treatment system (STS) is found, our office shall be immediately contacted for inspection. Proper permitting must be obtained for sealing and/or abandonment of a private water system (PWS) and sewage treatment system (STS)."

City of Marysville

- The City submitted comments in a letter dated 09-05-19; it recommended approval of the Final Plat without any comments.

Jerome Township

- The Township submitted comments in an emailed 09-09-19. The Township has no concerns at this time with this review.

ODOT District 6

- No comments received as of 09-04-19.

Ohio Edison

- No comments received as of 09-04-19.



Staff Report – Eversole Run Neighborhood Section 2 Phase 1

	LUC Regional Planning Commission 1. LUC staff has no additional comments.
Staff Recommendations:	Staff recommends <i>APPROVAL</i> of Eversole Run, Section 2 (ERN-2), Phase 1 – Amended Final Plat in accordance with the staff and reviewing agency comments.
Z&S Committee Recommendations:	



Logan-Union-Champaign regional planning commission

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Application for Final Plat Approval

Date: _____

Name of Subdivision: _____

Section/Phase: _____ Block _____

Location: _____

Township: _____ Military Survey: _____

Complete Parcel(s) Identification Number (PIN): _____

Has a Preliminary Plat been approved for this subdivision?: Yes _____ No _____ Date: _____

Name of Applicant: _____

Address: _____

City: _____ State: _____ Zip: _____

Phone: _____ Fax: _____ Email: _____

Name of Owner of property to be subdivided: _____

Address: _____

City: _____ State: _____ Zip: _____

Phone: _____ Fax: _____ Email: _____

Name of Applicant's Surveyor or Engineer: _____

Address: _____

City: _____ State: _____ Zip: _____

Phone: _____ Fax: _____ Email: _____

Proposed Acreage to be Subdivided: _____

Current Zoning Classification: _____

Proposed Zoning Changes: _____

Proposed Land Use: _____

Development Characteristics

Acreage w/in Approved Preliminary Plat: _____ Acres

Acreage w/in Section and/or Block: _____ Acres

Number of **APPROVED** lots from Preliminary Plat _____

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Logan-Union-Champaign regional planning commission

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Number of Lots **PROPOSED** w/in this Section: _____

Number of **APPROVED** units from Preliminary Plat: _____

Number of Units **PROPOSED** w/in this Section: _____

Typical Lot Width: _____ Feet Typical Lot Area: _____

Single Family Units: _____ Sq. ft Multi-Family Units: _____

Acreage to be devoted to recreation, parks or open space: _____

Recreation facilities to be provided: _____

Approved method of Supplying Water Service: _____

Approved method of Sanitary Waste Disposal: _____

Were any Requests for Variance(s) from the Subdivision Regulations approved by the County Commissioners? _____

Approved 50' righth-of-way Widths Resolution #306-09 Date 6-11-09

Construction improvements have achieved satisfactory completion and has been Certified by the County Engineer in accordance with Section 326 and 330 of the Subdivision Regulation? *If no, continue to next question.* _____

If no to the above question, please submit a Performance Bond in accordance with the following:

Has estimated construction cost been submitted by the responsible design engineer? _____

Has estimated construction cost been approved by the County Engineer? _____

Bond has been submitted to County Engineer? _____

Bond approved by County Commissioners? _____

For Official Use

Date filed: _____ Filing Fee: _____

Date of Meeting of Planning Commission: _____

Action by Planning Commission: _____

If rejected, reason(s) for: _____

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Final Plat Review Checklist

#	Required Item Description	Have	Need
0	Drawn at a scale not less than 1:100 and shall be on one or more sheets 24" X 36"; drawn in India ink or photographically reproduced on Mylar or other materials of equal permanence.		
1	Name of the Subdivision, location by section, range or township, or Virginia Military Survey (VMS) number; date, north point, written and graphic scale and acreage.		
2	Names and addresses of the subdivider and the professional surveyor who prepared the Final Plat		
3	Plat boundaries, based on accurate traverse, with directional and lineal dimensions.		
4	Bearings and distances to nearest established street lines or other recognized permanent monuments.		
5	Exact locations, right-of-way widths, and names of all streets within and adjoining the plat; building setback lines.		
6	Radii, internal angles, points of curvature, tangent bearings, lengths of arcs, and lengths and bearings of chords.		
7	All easements and rights-of-ways provided for public services or utilities. All plats shall contain a restriction that no permanent structures or plantings, etc. shall be permitted in the easement areas.		
8	All lot numbers and lines with accurate dimensions in feet and hundredths. House numbers may be required to be shown.		
9	Accurate location and description of all monuments. The plat shall clearly indicate which monuments are in place at the time of certification of the Final Plat by the surveyor. The plat shall also clearly indicate which monuments will be placed, if any, after construction of the improvements and before the completion date.		
10	Accurate outlines of areas to be dedicated or reserved for public use, or any area to be reserved for common uses of all property owners.		
11	The limits of all Flood Hazard Areas (show the FEMA map number and date). Base Flood Elevations and minimum first floor elevations shall be shown for all lots located within Flood Hazard Areas.		N/A
12	Certain restrictions and covenants the subdivider intends to include in the deeds to the lots in the subdivision including any restrictions required by the County.		
13	Certification by a professional surveyor to the effect that the plat represents an actual field survey performed by him; that all dimensional details are correct, and that the monuments shown thereon were or will be placed by the established completion date or prior to the sale of each lot, whichever occurs first (See Section 326).		
14	Notarized certification by the owner or owners of the authorization of the plat and the dedication of streets and other public areas.		



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15	A vicinity map at a scale of generally not more than six thousand feet to an inch (6,000:1) shall be shown on, or shall accompany the Final Plat.		
16	If a zoning change or variance is involved, a letter from the Township Zoning Inspector shall be required indicating that the change or variance has been approved and is in effect.		
17	A letter from the County Engineer shall be required showing that all required improvements have been either installed and approved by the proper officials or agencies, or that a bond or other surety has been furnished assuring installation of the required improvements.		
18	Written certification from the Board of County Commissioners for operation and maintenance of the wastewater or water treatment plant, if applicable.		
19	Certification by a registered surveyor to the effect that the plat represents a survey completed by the surveyor and that the monuments shown thereon exist as located in all dimensional details are correct.		
20	A notarized acknowledgement of all owners and lien holders to the plat and its restrictions including dedication to the public uses of streets, alleys, parks and other spaces shown thereon and granting required easements.		
21	Approval and acceptance clause for the signatures of a representative of the Logan-Union-Champaign County Regional Planning Commission, the County Engineer, the County Health Department, the Board of County Commissioners, the County Auditor, the County Recorder, and a representative of the Township Trustees in which the subdivision is located.		
22	Final Plat Fees: Payment/Check made out to LUC Regional Planning Commission, based on the current fee schedule.		

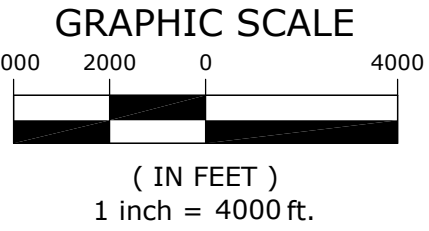
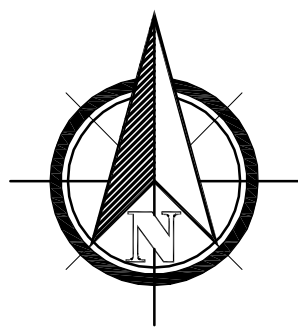
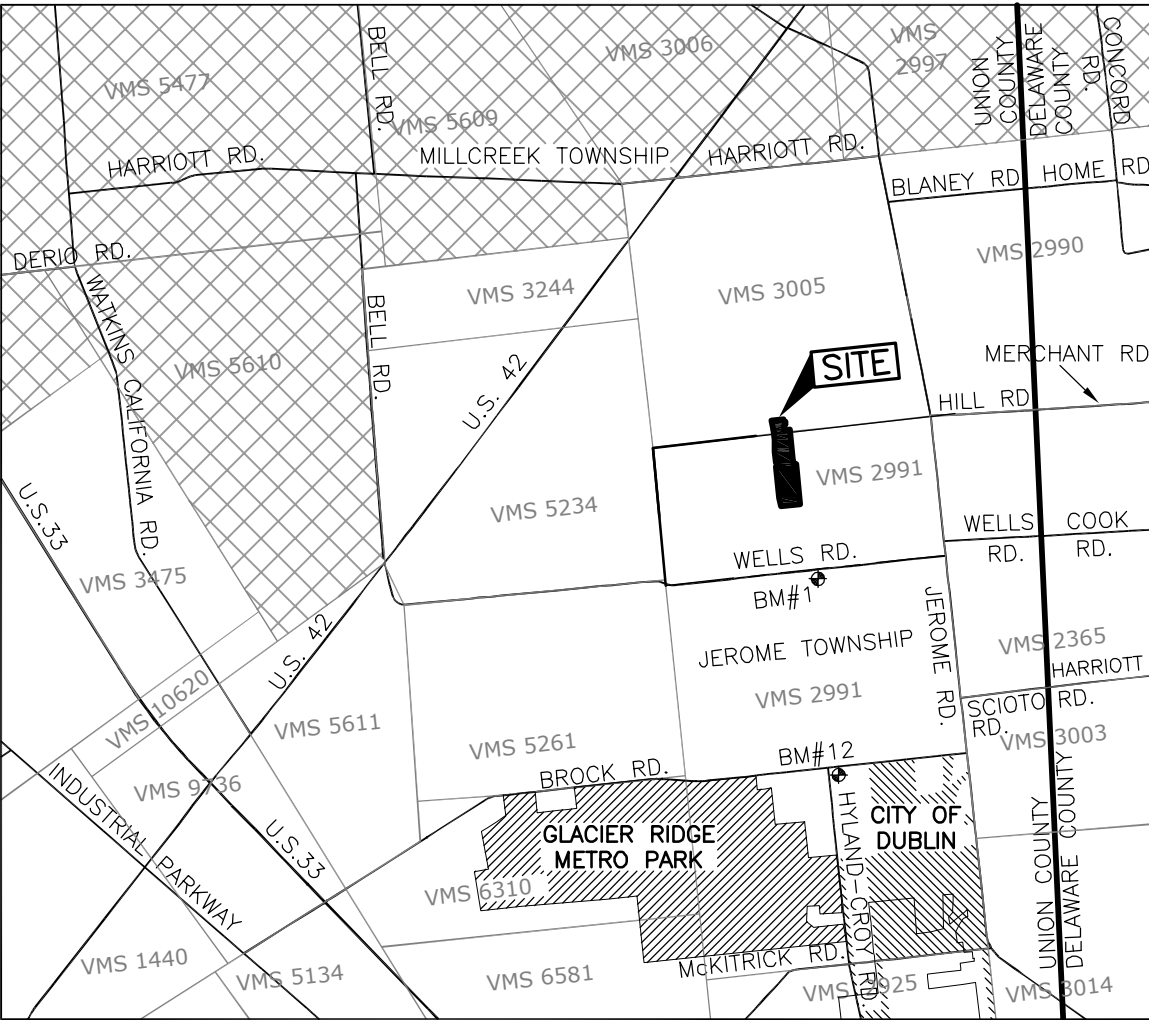
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LOCATION MAP



EVERSOLE RUN NEIGHBORHOOD SECTION 2 PHASE 1 AMENDED

SITUATED IN VIRGINIA MILITARY SURVEY'S No.2991 AND 3005 JEROME TOWNSHIP, UNION COUNTY, OHIO

Situated in State of Ohio, County of Union, Jerome Township, Virginia Military Survey No. 2991 and Virginia Military Survey No. 3005, being 15.494 acres of land of which 1.672 acres of land is located in the remainder of that 29.000 acre tract of land as described in a deed to Jerome Village Company, LLC, of record in Official Record 722, Page 832, 0.347 acre of land is located in the remainder of that 43.035 acre tract of land as described in a deed to said Jerome Village Company, LLC, of record in Official Record 896, Page 495 and 13.475 acres of land is located in the remainder of that 45.288 acre tract of land as described in a deed to said Jerome Village Company, LLC of record in Official Record 697, Page 861, Recorder's Office, Union County, Ohio

SHEET INDEX
Sheet 1 - Title/Signature Sheet
Sheet 2 - ERN 2-1 Index/Overview
Sheet 3 - ERN 2-1 Detail Sheet

BASIS OF BEARINGS
The bearings shown hereon are based on the Ohio State Plane Coordinate System (North Zone) as established by GPS observations.

Know all men by these presents that Jerome Village Community Authority, owner of land indicated on the accompanying plat as OSR-I & OSR-K, have authorized the platting thereof and do hereby dedicate all right-of-way and easements shown hereon to the public use forever.

In witness thereof, the following have set their hand this ____ day of _____, 2019.

By: _____
Robert J. Maloney, Vice Chair
Jerome Village Community Authority

Signed and acknowledged in the presence of:

Signature: _____ Witness

Printed Name: _____

Signature: _____ Witness

Printed Name: _____

STATE OF OHIO
COUNTY OF UNION
Before me, a Notary Public in and for said County, personally appeared Robert J. Maloney, who acknowledged the signing of the foregoing instrument to be his voluntary act and deed for the uses and purposes therein expressed.

In witness thereof, I have hereunto set my hand and affixed my official seal this ____ day of _____, 2019.

Signature: _____ My commission expires: _____.
Notary Public

Know all men by these presents that Jerome Village Company, LLC, owner of the land indicated on the accompanying plat, have authorized the platting thereof and do hereby dedicate all right-of-way and easements shown hereon to the public use forever.

In witness thereof, the following have set their hand this ____ day of _____, 2019.

Jerome Village Company, LLC:
By: _____
By: Nationwide Realty Investors, Ltd., its manager

By: _____
James Rost, Vice President

Signed and acknowledged in the presence of:

Signature: _____ Witness

Printed Name: _____

Signature: _____ Witness

Printed Name: _____

STATE OF OHIO
COUNTY OF UNION
Before me, a Notary Public in and for said County, personally appeared James Rost, Vice President and Operating Officer of Nationwide Realty Investors, Ltd., as manager of Jerome Village Company, LLC, who acknowledged the signing of the foregoing instrument to be his voluntary act and deed for the uses and purposes therein expressed.

In witness thereof, I have hereunto set my hand and affixed my official seal this ____ day of _____, 2019.

Signature: _____ My commission expires: _____.
Notary Public

Reviewed this ____ day of _____, 2019: _____
Chairman, Jerome Township Trustees

Approved this ____ day of _____, 2019: _____
Union County Health Department

Approved this ____ day of _____, 2019: _____
Union County Engineer

Approved this ____ day of _____, 2019: _____
LUC Regional Planning Commission

Rights-of-way for public streets and roads herein dedicated to public use are hereby approved this ____ day of _____, 20____ for the County of Union, State of Ohio. Street improvements within said dedicated rights-of-way shall not be accepted for public use unless and until construction is completed and accepted as such by Union County. In addition, street improvements within said dedicated rights-of-way shall not be accepted for public maintenance until the maintenance period transpires and the street improvements are accepted for public maintenance by Union County. +

Approved this ____ day of _____, 2019: _____
Union County Commissioner

Union County Commissioner

Union County Commissioner

Transferred this ____ day of _____, 2019: _____
Union County Auditor

Filed for record this ____ day of _____, 2019, at ____ am/pm.

Recorded this ____ day of _____, 2019 at ____ am/pm in

Plat Book _____, Page _____
Union County Recorder

EVERSOLE RUN NEIGHBORHOOD SECTION 2 PHASE 1 IS SUBJECT TO JEROME VILLAGE MASTER DEED DECLARATION AND RESTRICTIONS AS RECORDED IN VOLUME 907 PAGES 572, UNION COUNTY RECORDER'S OFFICE, AS AMENDED, THE RESIDENTIAL PROPERTY OWNERS ASSOCIATION DEED DECLARATION, RESTRICTIONS AND BYLAWS AS RECORDED IN VOLUME 911, PAGE 922, UNION COUNTY RECORDER'S OFFICE AND THE DECLARATION OF COVENANTS, RESTRICTIONS AND AGREEMENTS FOR JVCA RECORDED IN VOLUME 859 PAGE 275, UNION COUNTY RECORDER'S OFFICE.

STANDARD DEED RESTRICTIONS FOR UNION COUNTY

Residential and Commercial

- There shall be no discharge in to any streams or storm water outlets of any waste materials in violation of applicable local, state, or federal regulations.
- N/A
- Grading of the storm water retention areas shall not be changed.
- N/A
- The lot owner and his successors and assigns agree to assume any and all maintenance charges which are established by the Union County Commissioners for this subdivision.
- N/A
- No construction may begin or building started without the individual lot owner obtaining zoning, building, water & sewer tap, and driveway permits. Zoning permits are to be obtained from the Township Zoning Inspector. Building permits are obtained from the Union County Building Regulation Department and driveway permits are obtained from the Union County Engineer's Office. Water & sewer tap permits are obtained from the applicable service provider.
- The lot owner and his successors and assigns agree to assume any and all sanitary sewer and water service charges which are established by the applicable provider.
- All construction shall meet the requirements of the Township, Union County, and other applicable code authorities.

Residential Only

- Downspout drains shall not be connected directly to roadway underdrains.

Miscellaneous Restrictions/Notes

- This subdivision is located adjacent to lands which may be used for agricultural farming purposes. Lot owners can expect noise from farm machinery, dust from farming operations, the application of chemicals to the soil and crops, odors and noise from livestock, and other typical farming nuisances. Owners can expect farming operations to happen day or night. You can expect hunting on agricultural land. Do not expect to use agricultural lands for your purposes without first getting permission from the land owner. Do not allow your children to play on agricultural lands. Do not discard clippings and trimmings from lawns, tree, bushes, plants, etc. or other wastes that you may generate on agricultural land. Dispose of all wastes appropriately. Additionally, there may be existing ditches, surface swales or underground tiles that drain water from adjacent land on to or through your property. You have a legal responsibility to allow the reasonable flow of water on to or through your property from upground properties. You also have a legal responsibility to maintain and repair any ditches, surface swales or underground tile on your property.
- Parking: Union County may restrict or eliminate on-street parking along the side of the pavement within _____ Kingfisher Place and Quail Ridge Drive. The owners of the fee simple titles to all of the lots in Eversole Run Neighborhood Section 2 Phase 1 Subdivision, their heirs, successors and assigns, hereby waive any and all objections to said parking restriction or elimination.
- Utility Providers: Buyers of the lots in this subdivision are hereby notified that, at the time of platting, utility service to this subdivision for electric power is provided by Ohio Edison, telephone service is provided by Frontier Communications or Time Warner, and natural gas is provided by Columbia Gas.

Jerome Village Blanket Restrictions

- No individual driveways permitted on: Home Road, Jerome Road, Hyland-Croy Road, Ewing Road, US 42, Seely Road, James Road, Joshua Road, Ravenhill Parkway, Wells Road, Ryan Parkway, Brock Road.
- Driveways for individual lots, whether commercial, residential, or other, shall not be permitted on major or minor collector roads. All driveways shall connect to local roads within a sub area.
- All new local road connections are subject to stopping sight distance and intersection sight distance requirements.
- All restrictions are minimum requirements. If conflict arises between access restrictions and an intersection improvement (i.e., turn lane tapers, roundabout tapers, etc.), the intersection improvement shall govern and access restrictions shall be adjusted accordingly. The County Engineer shall have final say on all relocated access locations.
- If conflict arises between the access restrictions and Union County access management standards, the County Engineer shall determine which standard is to be applied.
- No on-street parking permitted on Hyland-Croy, Jerome, Ryan, Seely, Wells, Brock, Ravenhill, Ewing, Joshua, or Home Road.
- No on-street parking within Eversole Run Neighborhood Section 2 Phase 1
- Open spaces, whether existing or created during platting of a pod, or during development of a commercial, residential, or other type of lot, shall be connected as much as possible to the open space dedicated along Ravenhill Parkway And Hyland-Croy Road. Connections shall be directly adjacent to the open space along Ravenhill Parkway or Hyland-Croy Road, if the open spaces do not have adjacent property lines, connection shall be made through contiguous open space, where possible.
- Future local road locations are subject to approval by the Union County Engineer. Final location and design shall be submitted to and approved by the County Engineer prior to platting of lots, groups of lots, or pods.

Utility Easements (U)

We the undersigned owners of the within platted land, do hereby grant unto the Jerome Village Community Authority, City of Marysville, Ohio Edison, Frontier Communications, Time Warner Cable, Columbia Gas, and their successors and assigns (Hereinafter referred to as grantees) A permanent right-of-way and easement ten (10) feet in width under, over, and through all sublots and all lands owned by the grantor shown hereon and parallel with and contiguous to _____ Kingfisher Place and Quail Ridge Drive and also upon land as depicted hereon to construct, place, operate, maintain, repair, reconstruct or relocate such waterlines, sewer lines, underground electric, gas and communication cable, ducts, conduits, pipes, gas pipe lines, surface or below ground mounted transformers and pedestals, concrete pads and other facilities as deemed necessary or convenient by the grantees for distributing, transporting, and transmitting electricity, gas and communication signals for public and private use at such locations as the grantees may determine upon, within, and across said easement premises. No permanent structures, plantings, etc. shall be permitted in the easement areas. Said easement rights shall include the right, without liability therefore to remove trees and landscaping, including lawns within and without said easement premises which may interfere with the installation and maintenance, right to install, repair, augment, and maintain service cables, and pipe lines outside the above described easement premises or the right of access, ingress and egress to and from any of the within described premises for exercising any of the purposes of this right-of-way and easement grant.

Drainage Easements (D)

We the undersigned owners of the platted land, do here by grant unto Union County and their successors and assigns (hereinafter referred to as grantees), a permanent easement within areas designated _____ Drainage Easement, _____ Utility Easement, and _____ Drainage and Utility Easement +to construct, operate, maintain, repair, reconstruct or relocate drainage facilities such as storm sewers, drainage swales or courses and other facilities as deemed necessary or convenient by the grantees for drainage required for public and private use at such locations as the grantees may determine upon, within, and across said easement premises. No permanent structures, plantings, etc. shall be permitted in the easement areas. Said easement rights shall include the right, without liability therefore to remove trees and landscaping, including lawns or any other structure within said easement premises which may interfere with the installation and maintenance of drainage facilities.

ERN 2-1 Area Summary		
Right-of-Way (Township)	2.546	AC
Lots	9.544	AC
Openspace	3.404	AC
Total	15.494	AC

ERN 2-1 Lot Summary		
62' Frontage		25
90' Frontage		8
100' Frontage		7

ERN 2-1 Density		
Gross	(Lots/Total Area)	2.582 du/ac
Net	(Lots/Lot Area)	4.191 du/ac

Minimum Lot Size		
62' Frontage	7,400	SF
90' Frontage	11,700	SF
100' Frontage	13,000	SF

Setbacks	62' Frontage	90' Frontage	100' Frontage
Front Yard	20 FT	20 FT	20 FT
Rear Yard	30 FT	30 FT	30 FT
Side Yard	5 FT	8 FT	10 FT

PARCEL BREAKDOWN

Parcel Number	Map/GIS Number	Acreages of Parcel within ERN 2-1
17-0010020.1000	126-00-00-016.001	1.672 AC.
17-0012012.1000	126-00-00-014.001	13.475 AC.
17-0012011.0000	126-00-00-003.000	0.347 AC.

Jerome Village Blanket Notes

Note A: All of Jerome Village is in the flood hazard zone X (areas outside the 500-year flood plain) on the Federal Emergency Management Agency Flood Insurance Rate Maps, Map Number 39159C0380D, 39159C0385D, 39159C0390D and 39159C0395D, effective dates December 16, 2008. 39159C0385D is a non-printed panel with no flood hazard areas.

Note B: Be advised; a subsurface drainage system may exist on this site. The system and/or outlet if located on this property must be maintained at all times.

Note C: All storm water drainage including flood routing, open ditches and basins which accept public storm water, will be a part of the Union County ditch maintenance program. Each subarea will file a separate ditch maintenance petition. Only areas outside of the right-of-way will be a part of the County Ditch Maintenance Program.

Note D: All dead, diseased, noxious or decayed trees or vegetation, log jams, etc. shall be removed from streams that will be a part of the Union County ditch maintenance program.

Note E: All easements and setbacks for stream maintenance shall be reviewed by Union County Soil & Water Conservation District for access to said streams prior to acceptance.

Note F: Removed (not applicable to ERN 2-1)

Note G: Existing and proposed trees are allowed within right-of-way if roadway is curbed and posted speed is 35 mph or less. County Engineer to review on case by case basis for all other conditions.

Note H: Vegetated swales, including rain gardens & bio-swales, are to be graded within median of road right-of-way to provide required drainage. Ponding depths within median are not to exceed 8' and are to drain within 36 hours. No permanent pools will be allowed within road right-of-way.

Note I: Removed (not applicable to ERN 2-1)

Note J: Mounding, landscaping, or guardrail may be required between stormwater retention/detention facilities and road right-of-way, if the edge of water is within 100' of the edge of pavement.

Jerome Village Variances

- Variance from the Union County Subdivision Regulations, Section 406, minimum right-of-way widths to allow a 50' right-of-way width for all local street classifications within Jerome Village. Resolution #306-09. Dated 6-11-09.
- Variance has been approved from the Union County Subdivision Regulations, Section 406, requirement of 80' of separation from driveways to existing or proposed roadways.

SURVEYOR CERTIFICATION:

American Land Surveyors do hereby certify the following:

- The accompanying plat represents a subdivision of land in VMS 2991 and 3005, Jerome Township, Union County, Ohio.
- The tract has an area of 2.546 acres in streets, 9.544 acres in lots, and 3.404 acres in reserves making a total of 15.494 acres.
- This plat was prepared based on a field survey performed in November, 2016 by American Land Surveyors, LLC.;
- All dimensions are shown in feet and decimal parts thereof. dimensions shown along curved lines are chord distances;
- This property is located in Zone X per F.E.M.A. Community Panel No. 39159C0390D, dated December 16, 2008
- Monumentation set at the locations shown hereon consist of a 5/8 -inch steel reinforcing rod, 30 inches in length affixed with an orange plastic cap bearing the inscription "Jon Adcock, S-8461", Right-of-way and centerline monumentation shall be placed at all points of curvature, tangency and points of intersection, and shall be set prior to lot sales.
 - Additional Monuments shall be caused to be placed along all lot corners and changes in bearing, as well as all points of curvature and tangency prior to the Lot being sold. Lot monumentation may have a cap and inscription that varies from above.
- The accompanying plat is a correct representation of Eversole Run Neighborhood Section 2 Phase 1 as surveyed.

Signed and sealed this ____ day of _____, 2019.

DEVELOPER:
Jerome Village Company, LLC.
375 N. Front Street, Suite 200
Columbus, Ohio 43215
Attention: Gary Nuss

SURVEYOR:
American Land Surveyors, LLC
1346 Hemlock Court N.E.
Lancaster, Ohio 43130
Attn: Jon (Brett) Adcock, P.S.

1346 Hemlock Court N.E.
Lancaster, OH 43130
Contact: Brett Adcock
(740) 654-0600 - Lancaster
(614) 837-0800 - Columbus
(740) 455-2200 - Zanesville
(740) 670-0800 - Newark
Fax: (740) 654-0604
www.americanlandsurveyors.com

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FIELD	DRAFT	CHECK
JBA	JBA	JBA
JOB NO.:	19-001	
DATE:	AUGUST 21, 2019	
SCALE:	N/A	

EVERSOLE RUN NEIGHBORHOOD SECTION 2 PHASE 1 AMENDED

SITUATED IN
VIRGINIA MILITARY SURVEY'S No.2991 AND 3005
JEROME TOWNSHIP, UNION COUNTY, OHIO

Know all men by these presents that Kasey Terwilliger & Anthony Terwilliger, owner of land indicated on the accompanying plat as Lot 1065, have authorized the platting thereof and do hereby dedicate all right-of-way and easements shown hereon to the public use forever.

In witness thereof, the following have set their hand this ____ day of _____, 2019.

By: _____ By: _____
Kasey Terwilliger Anthony Terwilliger

Signed and acknowledged in the presence of:

Signature: _____ Witness

Printed Name: _____

Signature: _____ Witness

Printed Name: _____

STATE OF OHIO
COUNTY OF UNION
Before me, a Notary Public in and for said County, personally appeared Kasey Terwilliger & Anthony Terwilliger, who acknowledged the signing of the foregoing instrument to be their voluntary act and deed for the uses and purposes therein expressed.

In witness thereof, I have hereunto set my hand and affixed my official seal this ____ day of _____, 2019.

Signature: _____ My commission expires: _____.
Notary Public

Know all men by these presents that 3 Pillar Homes Lot Holdings, LLC, owner of land indicated on the accompanying plat as Lots 1057, 1059-1063, 1067, 1068 & 1070-1072, have authorized the platting thereof and do hereby dedicate all right-of-way and easements shown hereon to the public use forever.

In witness thereof, the following have set their hand this ____ day of _____, 2019.

By: _____
Zenios M. Zenios
President

Signed and acknowledged in the presence of:

Signature: _____ Witness

Printed Name: _____

Signature: _____ Witness

Printed Name: _____

STATE OF OHIO
COUNTY OF UNION
Before me, a Notary Public in and for said County, personally appeared Zenios M. Zenios, who acknowledged the signing of the foregoing instrument to be his voluntary act and deed for the uses and purposes therein expressed.

In witness thereof, I have hereunto set my hand and affixed my official seal this ____ day of _____, 2019.

Signature: _____ My commission expires: _____.
Notary Public

Know all men by these presents that Andy Fernandez & Jennifer Fernandez, owner of land indicated on the accompanying plat as Lot 1064, have authorized the platting thereof and do hereby dedicate all right-of-way and easements shown hereon to the public use forever.

In witness thereof, the following have set their hand this ____ day of _____, 2019.

By: _____ By: _____
Andy Fernandez Jennifer Fernandez

Signed and acknowledged in the presence of:

Signature: _____ Witness

Printed Name: _____

Signature: _____ Witness

Printed Name: _____

STATE OF OHIO
COUNTY OF UNION
Before me, a Notary Public in and for said County, personally appeared Andy Fernandez & Jennifer Fernandez, who acknowledged the signing of the foregoing instrument to be their voluntary act and deed for the uses and purposes therein expressed.

In witness thereof, I have hereunto set my hand and affixed my official seal this ____ day of _____, 2019.

Signature: _____ My commission expires: _____.
Notary Public

Know all men by these presents that 3 Pillar Homes, LLC, owner of land indicated on the accompanying plat as Lots 1058 & 1069, have authorized the platting thereof and do hereby dedicate all right-of-way and easements shown hereon to the public use forever.

In witness thereof, the following have set their hand this ____ day of _____, 2019.

By: _____
Zenios M. Zenios
President

Signed and acknowledged in the presence of:

Signature: _____ Witness

Printed Name: _____

Signature: _____ Witness

Printed Name: _____

STATE OF OHIO
COUNTY OF UNION
Before me, a Notary Public in and for said County, personally appeared Zenios M. Zenios, who acknowledged the signing of the foregoing instrument to be his voluntary act and deed for the uses and purposes therein expressed.

In witness thereof, I have hereunto set my hand and affixed my official seal this ____ day of _____, 2019.

Signature: _____ My commission expires: _____.
Notary Public

Know all men by these presents that Quinn Clarke & Kathy Clarke, owner of land indicated on the accompanying plat as Lot 1066, have authorized the platting thereof and do hereby dedicate all right-of-way and easements shown hereon to the public use forever.

In witness thereof, the following have set their hand this ____ day of _____, 2019.

By: _____ By: _____
Quinn Clarke Kathy Clarke

Signed and acknowledged in the presence of:

Signature: _____ Witness

Printed Name: _____

Signature: _____ Witness

Printed Name: _____

STATE OF OHIO
COUNTY OF UNION
Before me, a Notary Public in and for said County, personally appeared Quinn Clarke & Kathy Clarke, who acknowledged the signing of the foregoing instrument to be their voluntary act and deed for the uses and purposes therein expressed.

In witness thereof, I have hereunto set my hand and affixed my official seal this ____ day of _____, 2019.

Signature: _____ My commission expires: _____.
Notary Public

1346 Hemlock Court N.E.
Lancaster, OH 43130
Contact: Brett Adcock
(740) 654-0600 - Lancaster
(614) 837-0800 - Columbus
(740) 455-2200 - Zanesville
(740) 670-0800 - Newark
Fax: (740) 654-0604
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FIELD	DRAFT	CHECK
JBA	JBA	JBA
JOB NO.:	19-001	
DATE:	August 21, 2019	
SCALE:	N/A	

2/5

EVERSOLE RUN NEIGHBORHOOD SECTION 2 PHASE 1 AMENDED

SITUATED IN VIRGINIA MILITARY SURVEY'S No.2991 AND 3005 JEROME TOWNSHIP, UNION COUNTY, OHIO

Know all men by these presents that Thomas Mitchell & Mary Mitchell, owner of land indicated on the accompanying plat as Lot 1515, have authorized the platting thereof and do hereby dedicate all right-of-way and easements shown hereon to the public use forever.

In witness thereof, the following have set their hand this ____ day of _____, 2019.

By: _____ By: _____
Thomas Mitchell Mary Mitchell

Signed and acknowledged in the presence of:

Signature: _____ Witness

Printed Name: _____

Signature: _____ Witness

Printed Name: _____

STATE OF OHIO
COUNTY OF UNION

Before me, a Notary Public in and for said County, personally appeared Thomas Mitchell & Mary Mitchell, who acknowledged the signing of the foregoing instrument to be their voluntary act and deed for the uses and purposes therein expressed.

In witness thereof, I have hereunto set my hand and affixed my official seal this ____ day of _____, 2019.

Signature: _____ My commission expires: _____.
Notary Public

Know all men by these presents that Thomas Sprout & Anna Sprout, owner of land indicated on the accompanying plat as Lot 1182, have authorized the platting thereof and do hereby dedicate all right-of-way and easements shown hereon to the public use forever.

In witness thereof, the following have set their hand this ____ day of _____, 2019.

By: _____ By: _____
Thomas Sprout Anna Sprout

Signed and acknowledged in the presence of:

Signature: _____ Witness

Printed Name: _____

Signature: _____ Witness

Printed Name: _____

STATE OF OHIO
COUNTY OF UNION

Before me, a Notary Public in and for said County, personally appeared Thomas Sprout & Anna Sprout, who acknowledged the signing of the foregoing instrument to be their voluntary act and deed for the uses and purposes therein expressed.

In witness thereof, I have hereunto set my hand and affixed my official seal this ____ day of _____, 2019.

Signature: _____ My commission expires: _____.
Notary Public

Know all men by these presents that Michael Fisher & Pamela Fisher, owner of land indicated on the accompanying plat as Lot 1181, have authorized the platting thereof and do hereby dedicate all right-of-way and easements shown hereon to the public use forever.

In witness thereof, the following have set their hand this ____ day of _____, 2019.

By: _____ By: _____
Michael Fisher Pamela Fisher

Signed and acknowledged in the presence of:

Signature: _____ Witness

Printed Name: _____

Signature: _____ Witness

Printed Name: _____

STATE OF OHIO
COUNTY OF UNION

Before me, a Notary Public in and for said County, personally appeared Michael Fisher & Pamela Fisher, who acknowledged the signing of the foregoing instrument to be their voluntary act and deed for the uses and purposes therein expressed.

In witness thereof, I have hereunto set my hand and affixed my official seal this ____ day of _____, 2019.

Signature: _____ My commission expires: _____.
Notary Public

Know all men by these presents that Romanelli & Hughes Buildings Company, Inc., owner of land indicated on the accompanying plat as Lot 1185, have authorized the platting thereof and do hereby dedicate all right-of-way and easements shown hereon to the public use forever.

In witness thereof, the following have set their hand this ____ day of _____, 2019.

By: _____
Gianni Romanelli
Assistant Vice President

Signed and acknowledged in the presence of:

Signature: _____ Witness

Printed Name: _____

Signature: _____ Witness

Printed Name: _____

STATE OF OHIO
COUNTY OF UNION

Before me, a Notary Public in and for said County, personally appeared Gianni Romanelli, who acknowledged the signing of the foregoing instrument to be his voluntary act and deed for the uses and purposes therein expressed.

In witness thereof, I have hereunto set my hand and affixed my official seal this ____ day of _____, 2019.

Signature: _____ My commission expires: _____.
Notary Public

1346 Hemlock Court N.E.
Lancaster, OH 43130
Contact: Brett Adcock
(740) 654-0600 - Lancaster
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FIELD	DRAFT	CHECK
JBA	JBA	JBA
JOB NO.:	19-001	
DATE:	August 21, 2019	
SCALE:	N/A	

3/5

BASIS OF BEARINGS:
BEARINGS SHOWN HEREON ARE BASED ON
GPS OBSERVATIONS, BEING THE OHIO STATE
PLANE COORDINATE SYSTEM, NORTH
AMERICAN DATUM OF 1983 (NAD 83)

LEGEND:

● IRON PIN SET - 5/8" X 30" REBAR WITH
PLASTIC CAP INSCRIBED "JOH ADCKOCK S-8461"

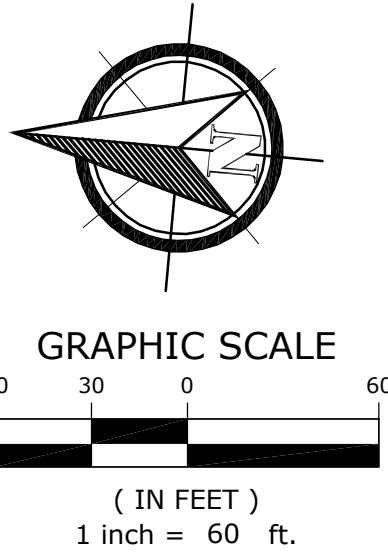
(R) RADIAL LINE

DOS = DEDICATED OPENSOURCE AS DEFINED IN ERN2 ZONING

OSR = OPEN SPACE RESERVE AS DEFINED IN JEROME VILLAGE LAND PLAN

EVERSOLE RUN NEIGHBORHOOD SECTION 2 PHASE 1 AMENDED

SITUATED IN
VIRGINIA MILITARY SURVEY'S No.2991 AND 3005
JEROME TOWNSHIP, UNION COUNTY, OHIO



1346 Hemlock Court N.E.
Lancaster, OH 43130
Contact: Brett Adcock
(740) 654-0600 - Lancaster
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(740) 670-0800 - Newark
Fax: (740) 654-0604
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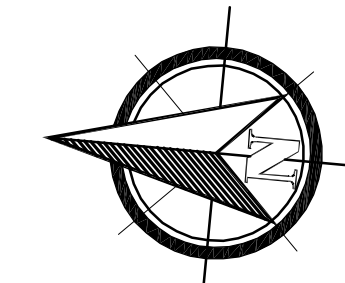
4/5		
FIELD	DRAFT	CHECK
JBA	JBA	JBA
JOB NO.:	19-001	
DATE:	AUGUST 21, 2019	
SCALE:	1"=60'	

Curve Table					
Curve #	Radius	Delta	Length	Chord Direction	Chord Length
C1	35.00'	90° 00' 00"	54.98'	N39° 42' 28"E	49.50'
C2	35.00'	90° 00' 00"	54.98'	S50° 17' 33"E	49.50'
C3	35.00'	90° 00' 00"	54.98'	S39° 42' 27"W	49.50'
C4	35.00'	90° 00' 00"	54.98'	N50° 17' 33"W	49.50'
C5	50.00'	47° 00' 51"	41.03'	S28° 47' 58"E	39.89'
C6	60.00'	274° 01' 42"	286.96'	N84° 42' 27"E	81.82'
C7	50.00'	47° 00' 51"	41.03'	N18° 12' 53"E	39.89'
C8	50.00'	23° 01' 47"	20.10'	N16° 48' 26"W	19.96'
C9	50.00'	23° 59' 04"	20.93'	N40° 18' 51"W	20.78'
C10	60.00'	74° 23' 45"	77.91'	N15° 06' 31"W	72.55'
C11	60.00'	67° 24' 24"	70.59'	N55° 47' 34"E	66.59'
C12	60.00'	67° 24' 24"	70.59'	S56° 48' 02"E	66.59'
C13	60.00'	64° 49' 07"	67.88'	S9° 18' 44"W	64.32'
C14	50.00'	39° 35' 35"	34.55'	S21° 55' 31"W	33.87'
C15	50.00'	7° 25' 16"	6.48'	S1° 34' 55"E	6.47'

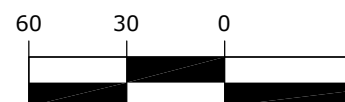
Line Table		
Line #	Direction	Length
L1	S50° 17' 33"E	13.40'
L2	N84° 42' 27"E	14.14'
L3	S84° 42' 27"W	20.00'
L4	N05° 17' 33"W	13.28'
L5	S11° 01' 27"W	57.05'
L6	S78° 58' 33"E	20.00'
L7	N11° 01' 27"E	35.84'
L8	N05° 17' 33"W	23.74'
L9	S86° 08' 23"W	13.41'
L10	S05° 17' 33"E	17.55'

EVERSOLE RUN NEIGHBORHOOD SECTION 2 PHASE 1 AMENDED

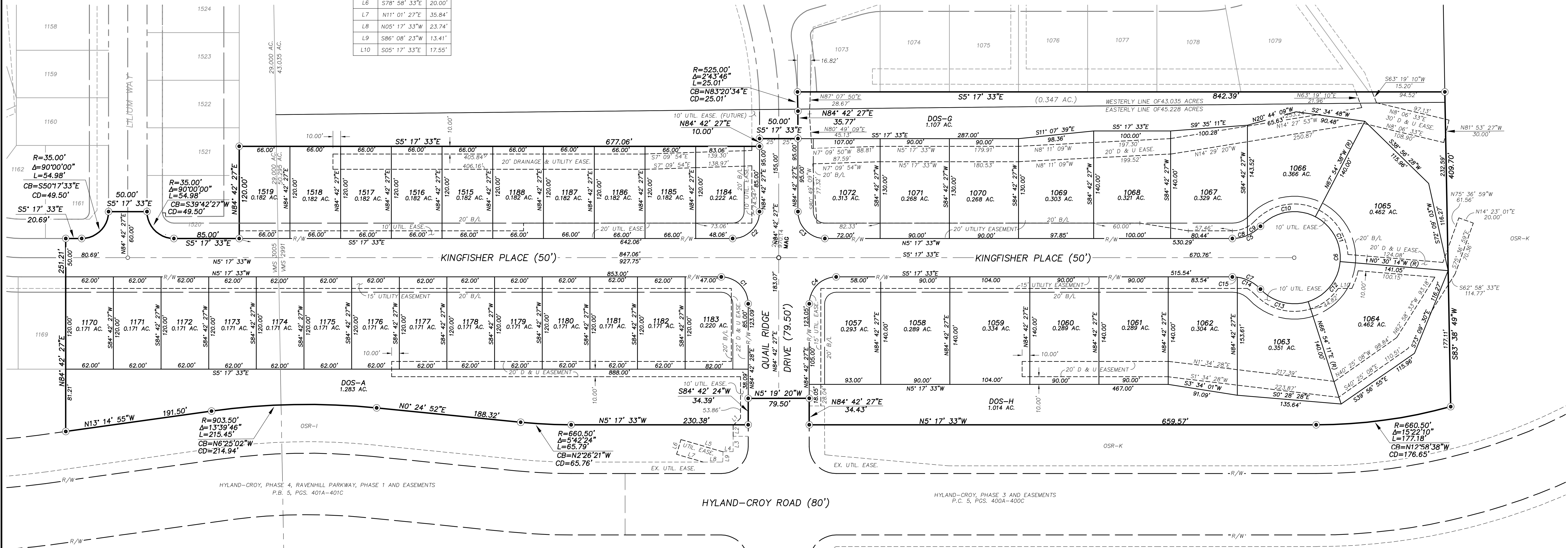
SITUATED IN
VIRGINIA MILITARY SURVEY'S No.2991 AND 3005
JEROME TOWNSHIP, UNION COUNTY, OHIO



GRAPHIC SCALE



(IN FEET)
1 inch = 60 ft.



BASIS OF BEARINGS:

BEARINGS SHOWN HEREON ARE BASED ON
GPS OBSERVATIONS, BEING THE OHIO STATE
PLANE COORDINATE SYSTEM, NORTH
AMERICAN DATUM OF 1983 (NAD 83)

LEGEND:

- IRON PIN SET - 5/8" X 30" REBAR WITH
PLASTIC CAP INSCRIBED "JON ADCOCK S-8461"

(R) RADIAL LINE

DOS = DEDICATED OPENSOURCE AS DEFINED IN ERN2 ZONING

OSR = OPEN SPACE RESERVE AS DEFINED IN JEROME VILLAGE LAND PLAN

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FIELD	DRAFT	CHECK
JBA	JBA	JBA
JOB NO.: 19-001		
DATE: AUGUST 21, 2019		
SCALE: 1"=60'		



**County Engineer
Environmental Engineer
Building Department**
233 W. Sixth Street
Marysville, Ohio 43040
P 937. 645. 3018
F 937. 645. 3161
www.co.union.oh.us/engineer

Marysville Operations Facility
16400 County Home Road
Marysville, Ohio 43040
P 937. 645. 3017
F 937. 645. 3111

Richwood Outpost
190 Beatty Avenue
Richwood, Ohio 43344

Public Service with integrity

September 5, 2019

Bradley Bodenmiller
LUC Regional Planning Commission
Box 219
East Liberty, Ohio 43319

Re: Jerome Village – Eversole Run Neighborhood, Section 2 (ERN-2), Phase 1 – Amended Final Plat

Brad,

We have completed our review for the above final plat, received by our office on August 27, 2019. The construction drawings have been approved by our office. Construction work has begun on site, but has not been completed. We received and the Commissioners approved a performance bond for this phase when the original plat was approved by LUC in October of 2018. We recommend the final plat be approved as submitted.

Should you have any questions or concerns, feel free to contact me at (937) 645-3165.

Bill Narducci

Bill Narducci, P.E.
Assistant County Engineer
Union County Engineer

Cc: Matt Rotar, Union County Engineer's Office (via email)
Jeremy Burrey, USWCD, (via email)



Engineering, Planning and Zoning
City Hall, 209 South Main Street
Marysville, Ohio 43040-1641
(937) 645-7350
FAX (937) 645-7351
www.marysvilleohio.org

September 5, 2019

Bradley J. Bodenmiller
LUC Regional Planning Commission
9676 East Foundry
East Liberty, OH 43319

**Subject: Eversole Run Neighborhood, Section 2 Phase 1, Amended
Final Plat Review – Comment Letter #2**

The City of Marysville has reviewed the Final Plat for the Eversole Run Neighborhood, Section 2 Phase, Phase 1, Amended, and recommends approving the Final Plat without any comments.

Please contact us if you need additional clarification or wish to discuss further.

Sincerely,

Chad Green, P.E.
Assistant City Engineer

cc. Jeremy Hoyt, P.E. (City of Marysville)
Mike Andrako, P.E. (City of Marysville),
Scott Sheppeard (City of Marysville)
Rich Felton (City of Marysville)
Bill Narducci (Union County Engineer's Office)



Staff Report – Glacier Park Neighborhood Section 13

Applicant:	<p>Epcon Communities c/o Bryan Dougherty 500 Stonehenge Parkway Dublin, OH 43017 bdougherty@epconcommunities.com</p> <p>Terrain Evolution, Inc. c/o Justin Wollenberg PE 720 East Broad Street, Suite 203 Columbus, OH 43215 jwollenberg@terrainevolution.com</p>
Request:	Approval of the The Courtyards on Hyland AKA Glacier Park Neighborhood, Section 13 – Preliminary Plat.
Location:	Located near the northwest corner of the intersection of Hyland-Croy Road and Ryan Parkway in Jerome Township, Union County.

Staff Analysis:	<p>This Preliminary Plat involves 25.624 acres of land and proposes 99 dwelling units, split between 81 single-family residential lots and 18 duplex (attached) lots.</p> <p>Acreages:</p> <ul style="list-style-type: none">○ 5.456 acres of right-of-way (private)○ 14.135 acres in lots○ 6.033 acres of open space <p>Proposed utilities:</p> <ul style="list-style-type: none">○ City of Marysville public water system○ Jerome Village collection and City of Marysville public sanitary waste treatment <p>• Union County Engineer's Office</p> <ul style="list-style-type: none">○ The Union County Engineer's Office submitted comments in a letter dated 09-05-19. The Engineer's Office recommended approval subject to modifications and recommendations being addressed in the final Construction Drawings or resolved as indicated. Some of those comments are listed below and summarized for reference. (Please refer to letter for all comments.)
------------------------	--



Staff Report – Glacier Park Neighborhood Section 13

1. A traffic impact study (TIS) has been submitted for this, and several other proposed development pods not accounted for in the Jerome Village Master TIS dated February, 2007. Developer installed improvements and contributions to offsite intersections will be memorialized in an Infrastructure Agreement currently being finalized between the Developer and Union County.
2. The right-of-way, streets, and majority of infrastructure within this development will be privately owned and maintained. As this is unique compared to the other development pods within Jerome Village, we recommend establishing an infrastructure ownership table to clarify the responsibilities of all right-of-way, roads, utilities, stormwater infrastructure, etc.
3. The design engineer submitted a variance to the Subdivision Regulations in regards to permanent dead end streets (Article 4, Section 408.). In addition, they have submitted several variances to our Technical Design Standards.
4. Provide information regarding any master trails and/or Jerome Village/HOA maintained fencing or landscaping in the Construction Drawings.
5. All stormwater infrastructure will be reviewed in more detail during the final Construction Drawing review process.
6. Detail all flood routing swales, including 100 year water surface elevations, ensuring at least 1' of freeboard between the 100 year water surface and the finished grade elevations of all building structures.
7. Provide a stormwater management report for review.
8. Provide detailed Construction Drawings to private utility providers.

• **Union County Soil & Water Conservation District**

- No comments received as of 09-04-19.

• **Union County Health Department**

- No comments received as of 09-04-19. Standard comments from the Health Department are below:



Staff Report – Glacier Park Neighborhood Section 13

	<ol style="list-style-type: none">1. "All efforts should be made to provide a point of connection (via easements and/or services lines) to both water and sewer to any adjacent home, business, or any other facility that is serviced by a private water system (PWS) and or sewage treatment system (STS)."2. "Any home, business, or other structure that is currently being serviced by a private STS and ends up being situated within 200' of a sanitary sewer easement, shall be brought to the attention of the Union County Health Department."3. "If at any time during development of the subdivision a PWS (well, cistern, etc.) or STS is found, our office shall be immediately contacted for inspection. Proper permitting must be obtained for sealing and or abandonment of a PWS and STS." <p>• City of Marysville</p> <ul style="list-style-type: none">○ The City of Marysville submitted comments in an email dated 08-30-19. The City recommended approval subject to the applicant addressing its comments as part of the final Construction Drawings. <u>Some</u> of those comments are listed below and summarized for reference. (Please refer to letter for all comments.) <ol style="list-style-type: none">1. Water: Show location of the Master Meter.2. Water: Provide a 20 foot easement from the existing main along Hyland-Croy to the meter and around the meter itself.3. It is suggested that a water line be stubbed to the southwest corner of the property along Clare Way.4. Label the size of all existing and proposed waterlines. <p>• Jerome Township</p> <ul style="list-style-type: none">○ Jerome Township submitted comments in a letter dated 08-28-19. The Township did not see a reason the Preliminary Plat could not move forward so far as the items mentioned are addressed. The Township recommended the Final Development Plan be approved prior to submitting for the Final Plat. Concerns from the Township are listed below:
--	---



Staff Report – Glacier Park Neighborhood Section 13

1. The zoning allows for 90 lots; 99 lots are proposed. It is possible that a 10% increase in density might be allowed, but the Township needs clarification.
2. The zoning allows lot widths of 50 feet and minimum depths of 100 feet; several lots along the entry drive do not meet those minimums.

- **ODOT District 6**

- No comments received as of 09-04-19.

- **Union Rural Electric**

- URE submitted comments in a letter dated 09-04-19. **Some** of those comments are listed below and summarized for reference. (Please refer to letter for all comments.)
 1. URE requires 20' easements for primary and secondary facilities. Electrical facilities can be located within 10' easements if adjacent property has additional easements or right-of-way for ingress/egress totaling a minimum of 20'. Developer to install creek/stream crossings (directional bore if applicable) 10' beyond stream protection easements (when applicable).
 2. URE required several easements and provided an illustrative depiction of its request.
 3. URE required several road crossings and provided an illustrative depiction of its request.
 4. URE requested these discrepancies be resolved prior to approving the future Final Plat.

- **LUC Regional Planning Commission**

1. Sheet 1: Please verify/update the note for Open Space; it references The Courtyards at Jerome Village (§313, 16.).
2. Sheet 1: Please show zoning of adjoining properties (§313, 9.).
3. Sheet 4: Please verify/update lot numbers of 14, 15, 85, 86. They show as 117, 118, 119, 120 (§313, 6.).
4. Label easements and widths. Easements for water and sewer must be a minimum for 20' and 10' for other utilities (§313, 12.; §414).
5. All variances or exceptions shall be approved by the County Commissioners before any action by the



Staff Report – Glacier Park Neighborhood Section 13

	<p>Regional Planning Commission. Add all variances or exceptions and their resolution number and date to Sheet 1. This would include right-of-way width which is not currently listed (§705).</p> <ol style="list-style-type: none">6. A letter from Jerome Township certifying that the Final Plat conforms with the Township's zoning is required before any approval of the Final Plat may be granted (§401; §412, 1.; §413, 2.).7. All bonds, surety, letters of credit, etc. shall be approved by the County Commissioners before any approval of the Final Plat may be granted (§326).
--	---

Staff Recommendations:	<p>Staff recommends <i>DENIAL</i> of The Courtyards on Hyland Run AKA GPN-13 – Preliminary Plat. This is recommended with the understanding that the Z&S Committee may wish to make a different recommendation if the following occurs:</p> <ul style="list-style-type: none">○ Evidence is provided to LUC that all variances or exceptions were approved by the County Commissioners.
-------------------------------	--

Z&S Committee Recommendations:	
---	--



Logan-Union-Champaign regional planning commission

Director: Bradley J. Bodenmiller

Application for Preliminary Plat Approval

Date: _____

Name of Subdivision: _____

Location: _____

Township: _____ Military Survey: _____

Complete Parcel(s) Identification Number (PIN): _____

Have **ALL** Sketch Plan review letters been obtained? _____ (Engineer, SWCD, Board of Health)

Name of Applicant: _____

Address: _____

City: _____ State: _____ Zip: _____

Phone: _____ Fax: _____ Email: _____

Name of Owner of property to be subdivided: _____

Address: _____

City: _____ State: _____ Zip: _____

Phone: _____ Fax: _____ Email: _____

Name of Applicant's Surveyor or Engineer: _____

Address: _____

City: _____ State: _____ Zip: _____

Phone: _____ Fax: _____ Email: _____

Proposed Acreage to be Subdivided: _____

Current Zoning Classification: _____

Proposed Zoning Changes: _____

Proposed Land Use: _____

Development Characteristics

Number of proposed lots: _____ Typical lot width (feet): _____

Number of proposed units: _____ Typical lot area (sq. ft.): _____

Single Family Units: _____ Multi-Family Units: _____

Acreage to be devoted to recreation, parks or open space: _____

10820 St Rt 347, PO Box 219

East Liberty, Ohio 43319

• Phone: 937-666-3431 •

• Email: luc-rpc@lucplanning.com • Web: www.lucplanning.com



Logan-Union-Champaign regional planning commission

Director: Bradley J. Bodenmiller

Recreation facilities to be provided: _____

Do you propose deed restrictions? (If yes, attach a copy): Yes ____ No ____

1. Proposed method of Supplying Water Service: _____

2. Proposed method of Sanitary Waste Disposal: _____
(If on-site disposal systems are proposed, please attach letter certifying the County Board of Health approval)

3. Requests for Variances from Subdivision Regs: _____
(If yes, please explain variances and reason for variances)

List all proposed improvements and utilities and state your intention to install or provide a guarantee prior to final plat approval:

	Improvement	Installation	Guarantee
a.	_____	_____	_____
b.	_____	_____	_____
c.	_____	_____	_____
d.	_____	_____	_____
e.	_____	_____	_____

For Official Use

Date filed: _____ Filing Fee: _____

Date of Meeting of Planning Commission: _____

Action by Planning Commission: _____

If rejected, reason(s) for: _____



Preliminary Plat Review Checklist

#	Required Item Description	Have	Need
1	Drawn at a scale not less than 1:100 and shall be on one or more sheets 24" X 36"		
2	Proposed name of the subdivision, which shall not duplicate or closely approximate the name of any other subdivision in the county.		
3	Location by section, range, and township or Virginia Military Survey (VMS).		
4	Names, addresses and telephone numbers of the owner, subdivider, and professional surveyor or professional engineer who prepared the plat; and the name, address and telephone number of the professional surveyor who performed the boundary survey.		
5	Date of survey.		
6	Scale of the plat, north point, and date.		
7	Boundaries of the subdivision and its acreage.		
8	Names of adjacent subdivisions, owners of record of adjoining parcels of unsubdivided land, and the location of their boundary lines.		
9	Locations, widths, and names of existing streets, railroad rights-of-way, easements, parks, permanent buildings, and corporation and township lines; location of wooded areas and other significant natural features; soil types and soil type limits; limits of Flood Hazard zones.		
10	Zoning classification of the tract and adjoining properties.		
11	Existing contours (USGS datum) at an interval of not greater than two feet if the slope of the ground is fifteen percent or less; and not greater than five feet where the slope is more than fifteen percent.		
12	Existing sewers, water and gas mains, culverts and other underground structures, and electric and telephone poles and lines and other above ground structures within and adjacent to the tract.		
13	Layout, names and widths of proposed streets and easements.		
14	Building setback lines with dimensions.		
15	Layout and dimensions of all proposed water and sewer lines, showing their connections with the existing systems, and all proposed easements for utility, water and sewer lines.		
16	Layout, numbers and approximate dimensions of each lot. When lots are located on a curve or when side lot lines are not at ninety degree angles, the width at the building line shall be shown, if it is less than the frontage width. Location of access from lots to the proposed streets shall be shown.		
17	Parcels of land to be reserved for public use or to be reserved by covenant for residents of the subdivision.		



Logan-Union-Champaign regional planning commission

Director: Bradley J. Bodenmiller

18	The limits of all Flood Hazard Areas (zone A, AE, B, and X) as determined by the Federal Emergency Management Agency (show the FEMA map number and date). The Base Flood Elevation shall be determined and shown. Minimum first floor elevations shall be shown for all lots located within Flood Hazard Areas.		
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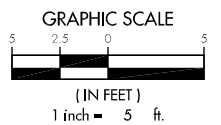
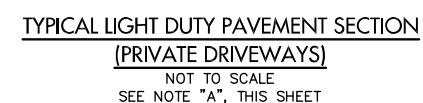
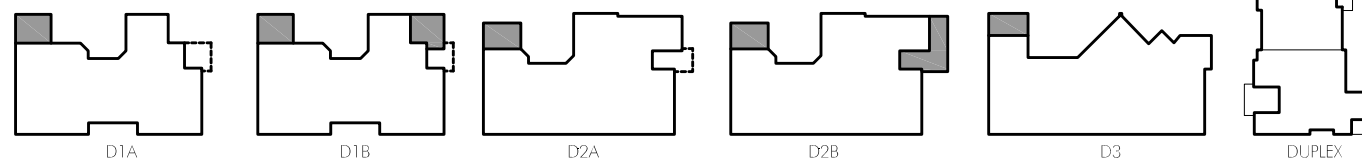
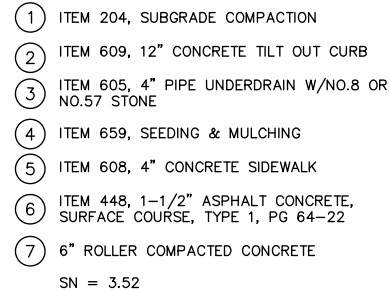
Supplementary Information			
19	Statement of proposed use of lots, giving the type and number of dwelling units; and type of business or industry if use is not residential.		
20	Description of proposed covenants and restrictions.		
21	Description of proposed zoning changes.		
22	Typical sections and tentative profiles of streets and other related improvements as required in Article 5. Calculations as required to justify horizontal and vertical curves, pipe sizes, etc. The County Engineer shall have approved the layout and design of the lots, streets and other improvements prior to the Preliminary Plat approval.		
23	A preliminary drainage plan which shall identify adequate drainage outlets and shall contain adequate measures for control of erosion and siltation and for surface water management in accordance with Article 5 and the Technical Design Standards. The County Soil and Water Conservation District shall have approved the preliminary drainage plan prior to Preliminary Plat approval.		
24	If the subdivider proposes individual household sewage systems, the County Board of Health or the OEPA shall have approved the use of individual household sewage systems prior to the Preliminary Plat approval.		
25	If the subdivider proposes individual household wells, the subdivider shall supply evidence acceptable to the County Board of Health of the availability of satisfactory water. The County Board of Health or the OEPA shall have approved the use of individual household wells prior to the Preliminary Plat approval.		
26	Letters from utility companies, as required, indicates approval of easement locations and widths prior to the Preliminary Plat approval.		
27	A vicinity map at scale of generally not more than six thousand feet to an inch shall be shown on, or shall accompany, the Preliminary Plat. This map shall show all existing subdivisions, roads, and tract lines, together with the names of the owners of land immediately adjoining the proposed subdivision and between it and the nearest existing thoroughfares. It shall also show the most advantageous connections between the roads in the proposed subdivision and those of the neighboring areas.		
28	Preliminary Plat Fees: Payment/Check made out to LUC Regional Planning Commission, based on the current fee schedule.		

10820 St Rt 347, PO Box 219

East Liberty, Ohio 43319

• Phone: 937-666-3431 •

• Email: luc-rpc@lucplanning.com • Web: www.lucplanning.com

[illegible]

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JEROME TOWNSHIP, UNION COUNTY, OHIO

JEROME VILLAGE

COURTYARDS ON HYLAND RUN
GLACIER PARK NEIGHBORHOOD, SECTION 13

TYPICAL SECTION & DETAILS

DRAWING SET STATUS:		
<input checked="" type="checkbox"/>	PRELIMINARY ENGINEERING SET	
<input type="checkbox"/>	AGENCY REVIEW SET	
<input type="checkbox"/>	CONSTRUCTION DOCUMENT SET	
<input type="checkbox"/>	AS-BUILT DOCUMENT SET	

DESIGN	DRAFT	CHECK
DGR	DGR	JPW

PROJECT NO.: 19018

DATE: AUGUST, 2019

CAL: HORIZONTAL: 1" = 5'
 VERTICAL: N/A

SHEET NO.: 2/18



RIGHT-OF-WAY CENTERLINE CURVE TABLE					
CURVE #	RADIUS	Δ	LENGTH	CHORD BEARING	CHORD DISTANCE
C1	100.00'	90°29'03"	157.92'	N50°50'59"W	142.02'
C2	150.00'	90°00'00"	235.62'	S38°54'29"W	212.13'
C3	100.00'	33°14'08"	58.01'	S22°42'35"E	57.20'
C4	100.00'	33°14'08"	58.01'	S22°42'35"E	57.20'
C5	100.00'	101°26'59"	177.06'	S56°49'00"E	154.82'
C6	300.00'	11°56'02"	62.49'	N78°25'31"E	62.37'
C7	100.00'	44°42'56"	78.04'	S16°14'52"W	76.08'
C8	150.00'	32°15'53"	84.47'	S79°57'34"E	83.36'
C9	150.00'	38°32'17"	100.89'	N64°38'21"E	99.00'
C10	150.00'	14°03'56"	36.82'	N52°24'11"E	36.73'

LEGEND

EXISTING:

RIGHT-OF-WAY

ROADWAY CENTERLINE

UTILITY EASEMENT

PROPOSED:

RIGHT-OF-WAY

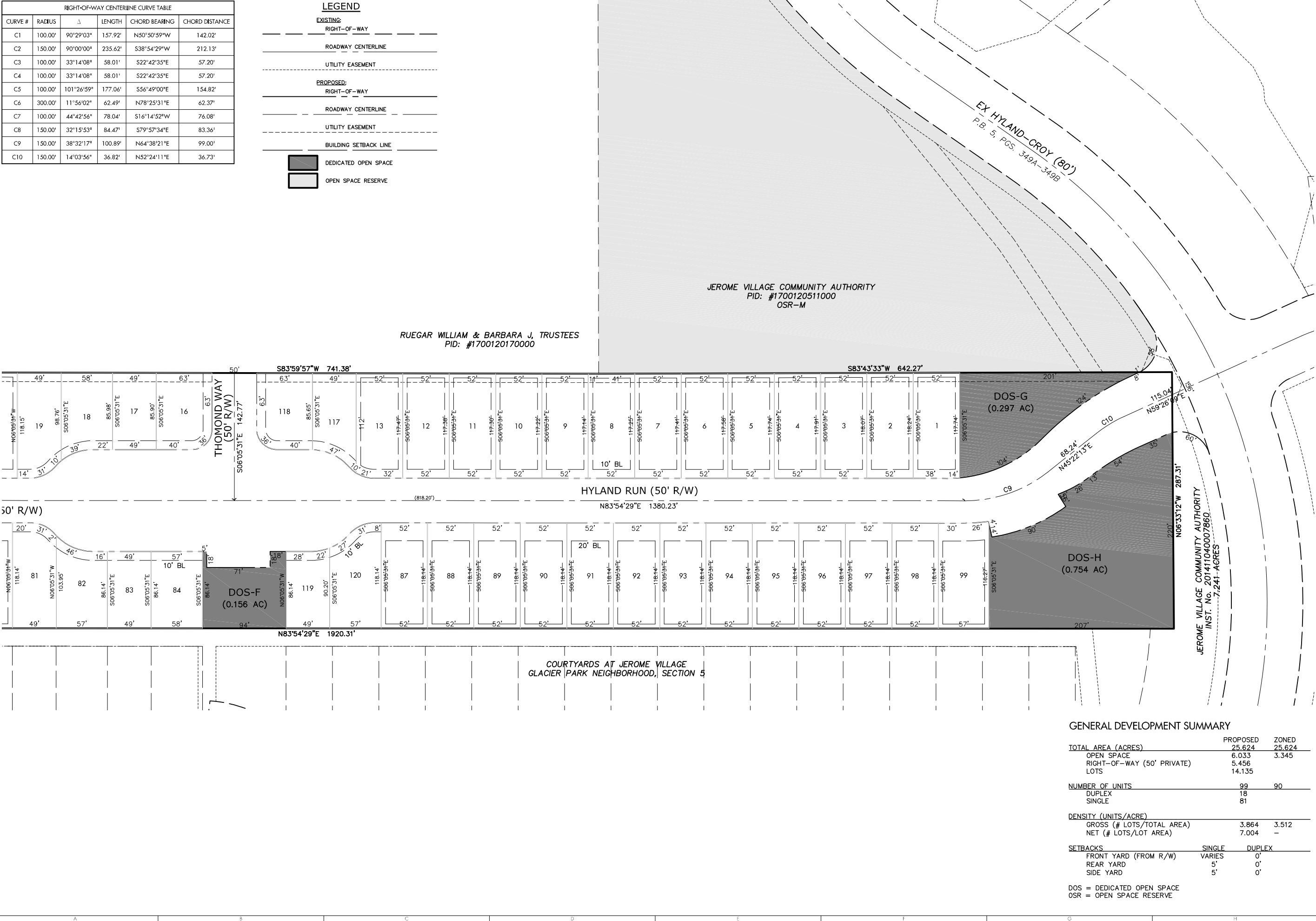
ROADWAY CENTERLINE

UTILITY EASEMENT

BUILDING SETBACK LINE

DEDICATED OPEN SPACE

OPEN SPACE RESERVE



GENERAL DEVELOPMENT SUMMARY

TOTAL AREA (ACRES)	PROPOSED 25.624	ZONED 25.624
OPEN SPACE	6.033	3.345
RIGHT-OF-WAY (50' PRIVATE)	5.456	
LOTS	14.135	
NUMBER OF UNITS	99	90
DUPLEX	18	
SINGLE	81	
DENSITY (UNITS/ACRE)		
GROSS (# LOTS/TOTAL AREA)	3.864	3.512
NET (# LOTS/LOT AREA)	7.004	-
SETBACKS	SINGLE	DUPLEX
FRONT YARD (FROM R/W)	VARIES	0'
REAR YARD	5'	0'
SIDE YARD	5'	0'
DOS = DEDICATED OPEN SPACE		
OSR = OPEN SPACE RESERVE		

N

GRAPHIC SCALE

(IN FEET)

1 inch = 50 ft.

DATE

BY

DESCRIPTION OF CHANGE

*

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JEROME VILLAGE

COURTYARDS AT JEROME VILLAGE

GLACIER PARK NEIGHBORHOOD, SECTION 5

PRELIMINARY PLAT

JEROME TOWNSHIP, UNION COUNTY, OHIO

INST. No. 20141104007860

7.241-ACRES

DRAWING SET STATUS:

☒ PRELIMINARY ENGINEERING SET

☐ AGENCY REVIEW SET

☐ CONSTRUCTION DOCUMENT SET

☐ AS-BUILT DOCUMENT SET

DESIGN

DGR

DRAFT

DGR

CHECK

JPW

PROJECT NO.:

19018

DATE:

AUGUST, 2019

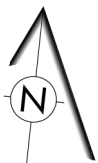
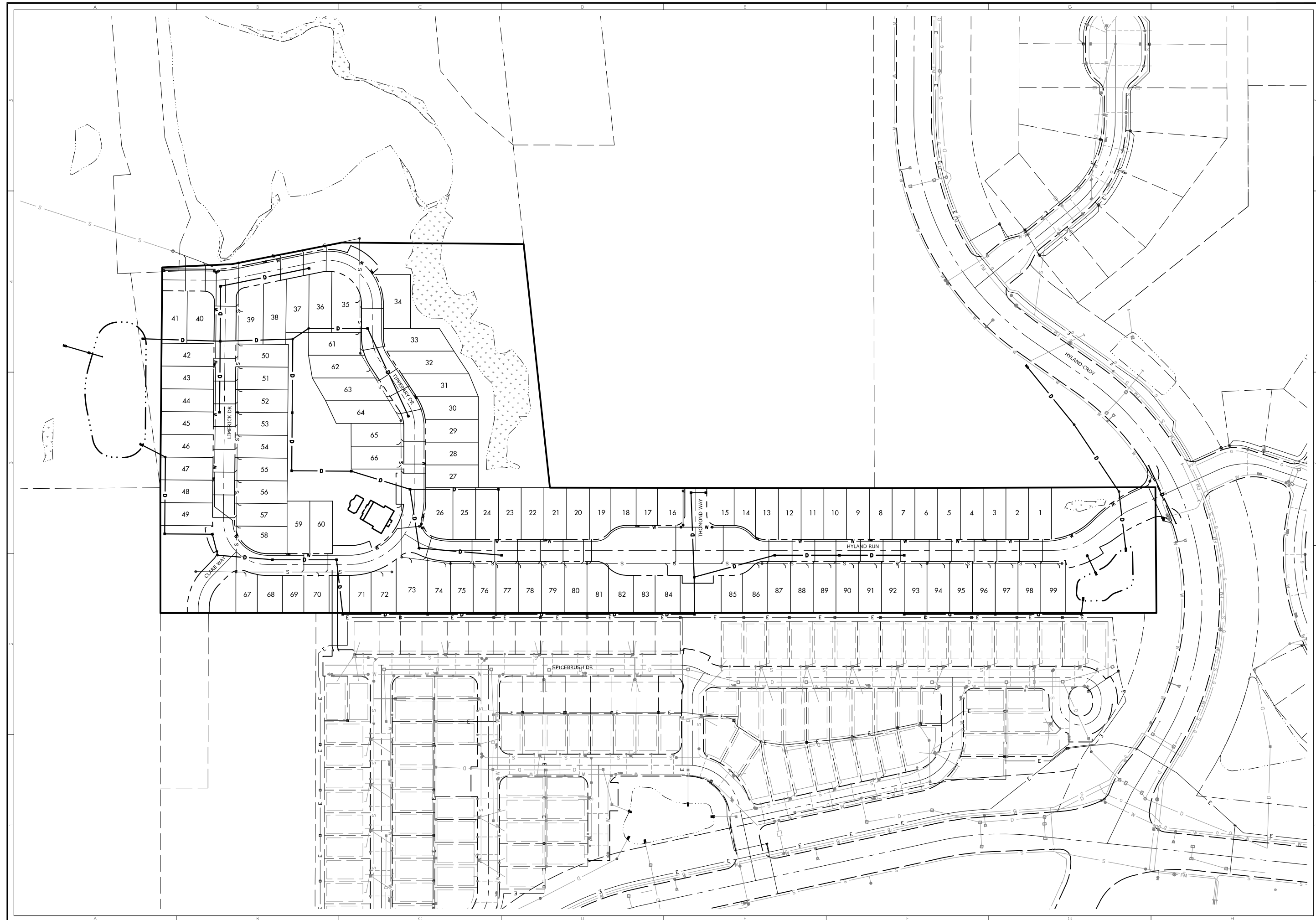
SCALE:

HORIZONTAL: 1" = 50'

VERTICAL: N/A

SHEET NO.:

4/18



GRAPHIC SCALE



(IN FEET)
1 inch = 100 ft.

[illegible]

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EROME TOWNSHIP, UNION COUNTY, OHIO

JEROME VILLAGE

COURTYARDS ON HYLAND RUN
GLACIER PARK NEIGHBORHOOD, SECTION 13

COMPOSITE UTILITY PLAN

DRAWING SET STATUS:

- ☒ PRELIMINARY ENGINEERING SET
- ☐ AGENCY REVIEW SET
- ☐ CONSTRUCTION DOCUMENT SET
- ☐ AS-BUILT DOCUMENT SET

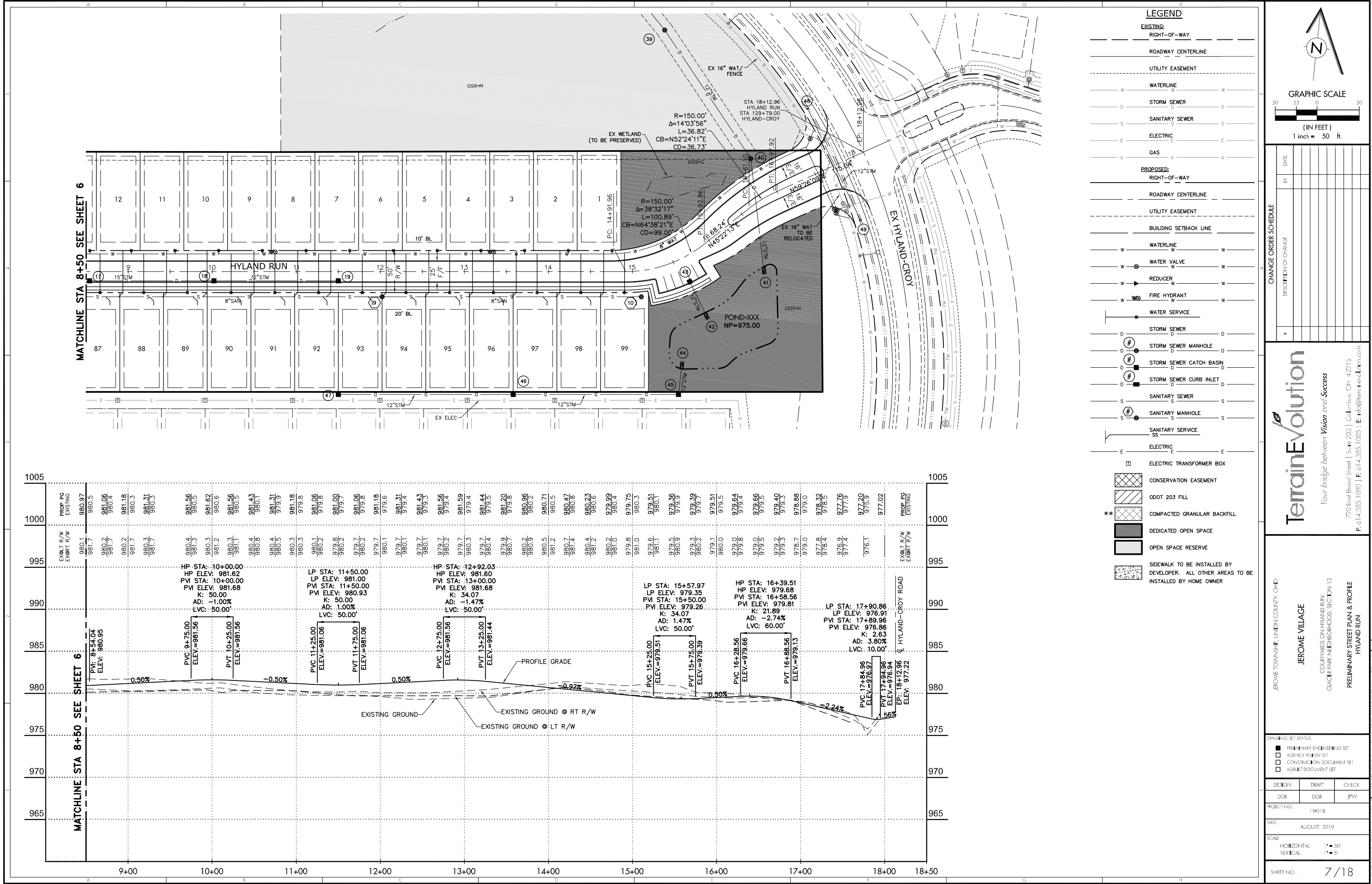
DESIGN	DRAFT	CHE
DGR	DGR	JP

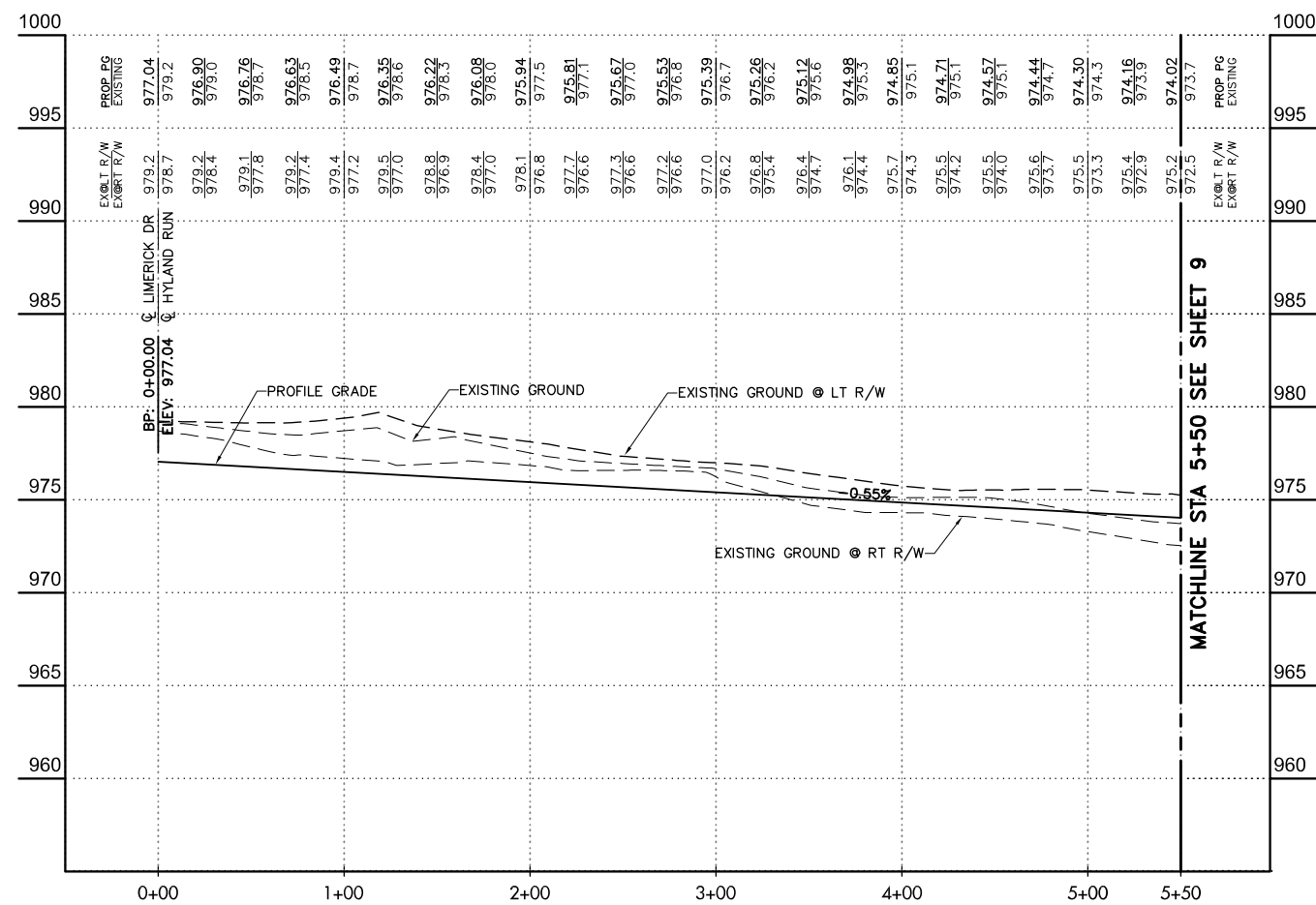
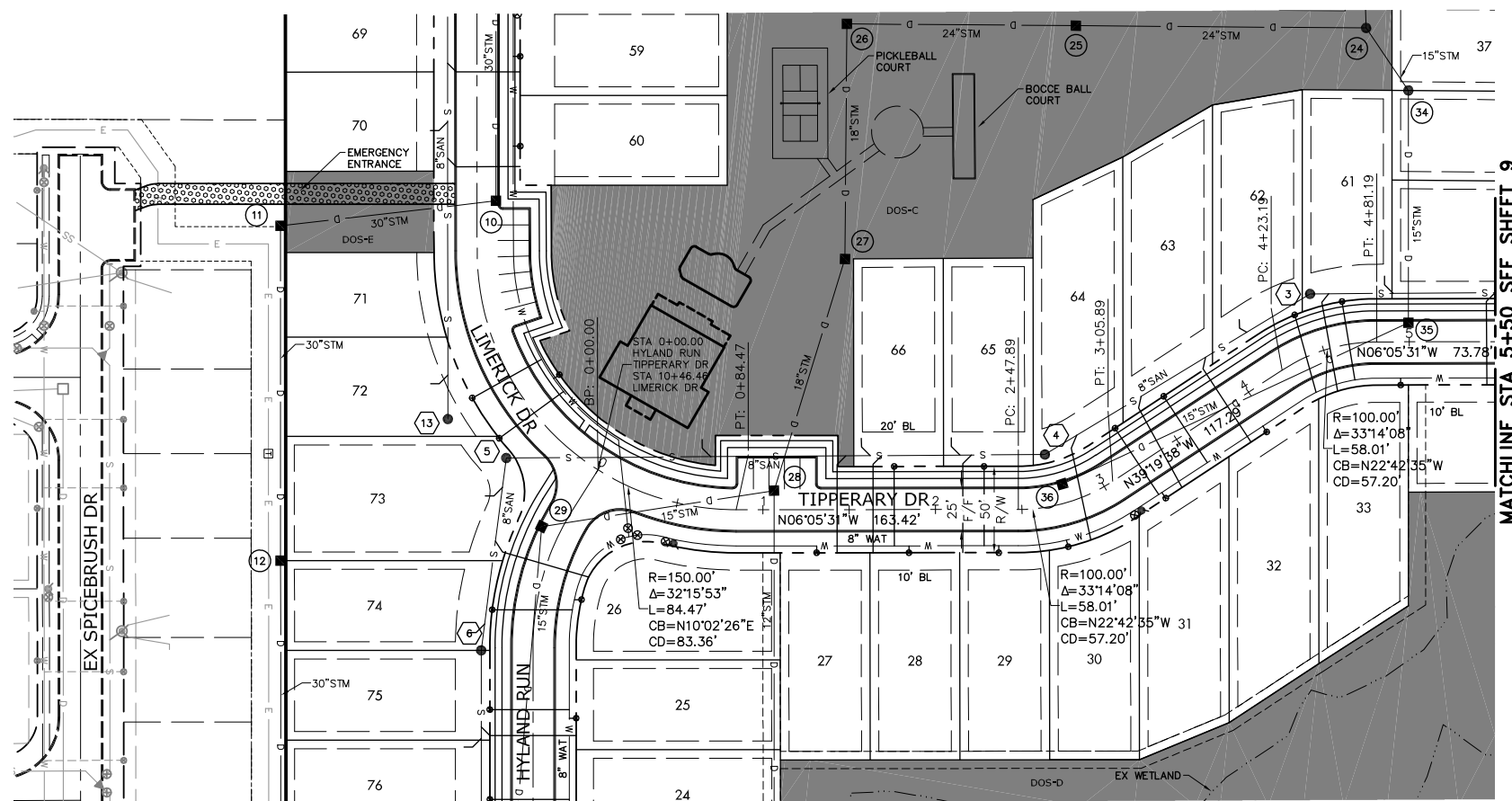
PROJECT NO.:	19-018
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DATE: AUGUST, 2019

SCALE:
HORIZONTAL: 1" = 100'
VERTICAL: N/A

SHEET NO.: 5/18





LEGEND

EXISTING:

RIGHT-OF-WAY

ROADWAY CENTERLINE

UTILITY EASEMENT

WATERLINE

STORM SEWER

SANITARY SEWER

ELECTRIC

GAS

PROPOSED:

RIGHT-OF-WAY

ROADWAY CENTERLINE

UTILITY EASEMENT

BUILDING SETBACK LINE

WATERLINE

WATER VALVE

REDUCER

FIRE HYDRANT

WATER SERVICE

STORM SEWER

STORM SEWER MANHOLE

STORM SEWER CATCH BASIN

STORM SEWER CURB INLET

SANITARY SEWER

SANITARY MANHOLE

SANITARY SERVICE

ELECTRIC

ELECTRIC TRANSFORMER BOX

CONSERVATION EASEMENT

ODOT 203 FILL

** COMPACTED GRANULAR BACKFILL

DEDICATED OPEN SPACE

OPEN SPACE RESERVE

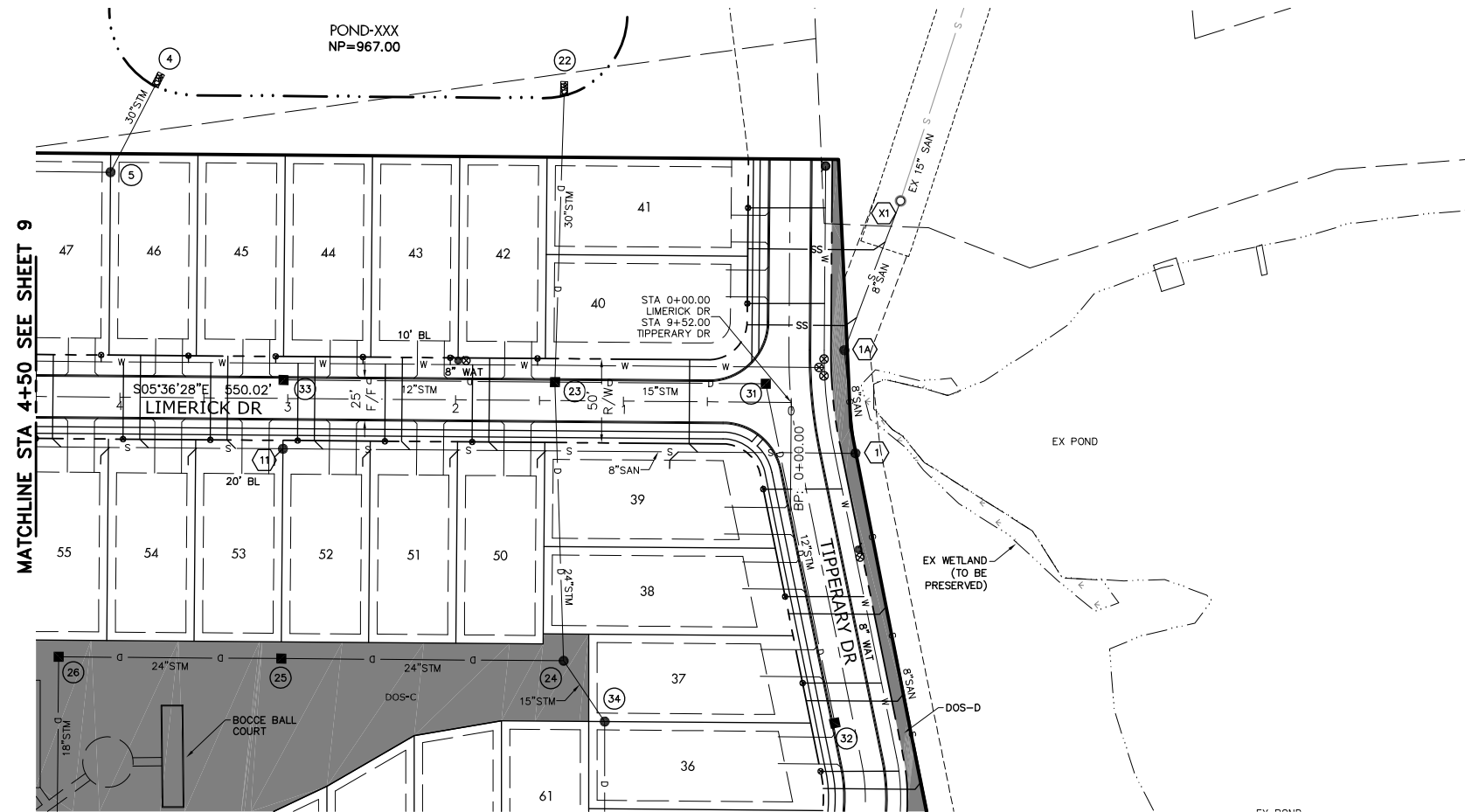
SIDEWALK TO BE INSTALLED BY DEVELOPER. ALL OTHER AREAS TO BE INSTALLED BY HOME OWNER

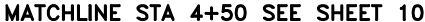
[illegible]

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JEROME VILLAGE
COLBYARDS ON HYLAND RUN
GLACIER PARK NEIGHBORHOOD, SECTION 13
PRELIMINARY STREET PLAN & PROFILE
TIPPERARY DRIVE

DRAWING SET STATUS: <input checked="" type="checkbox"/> PRELIMINARY ENGINEERING SET <input type="checkbox"/> AGENCY REVIEW SET <input type="checkbox"/> CONSTRUCTION DOCUMENT SET <input type="checkbox"/> AS-BUILT DOCUMENT SET		
DESIGN	DRAFT	CHECK
DGR	DGR	JPW
PROJECT NO.: 19018		
DATE: AUGUST, 2019		
SCALE: HORIZONTAL: 1" = 50' VERTICAL: 1" = 5'		
SHEET NO.: 8/18		





LEGEND

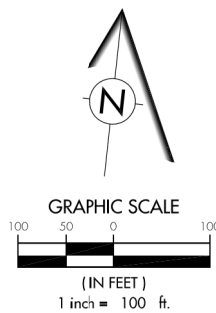
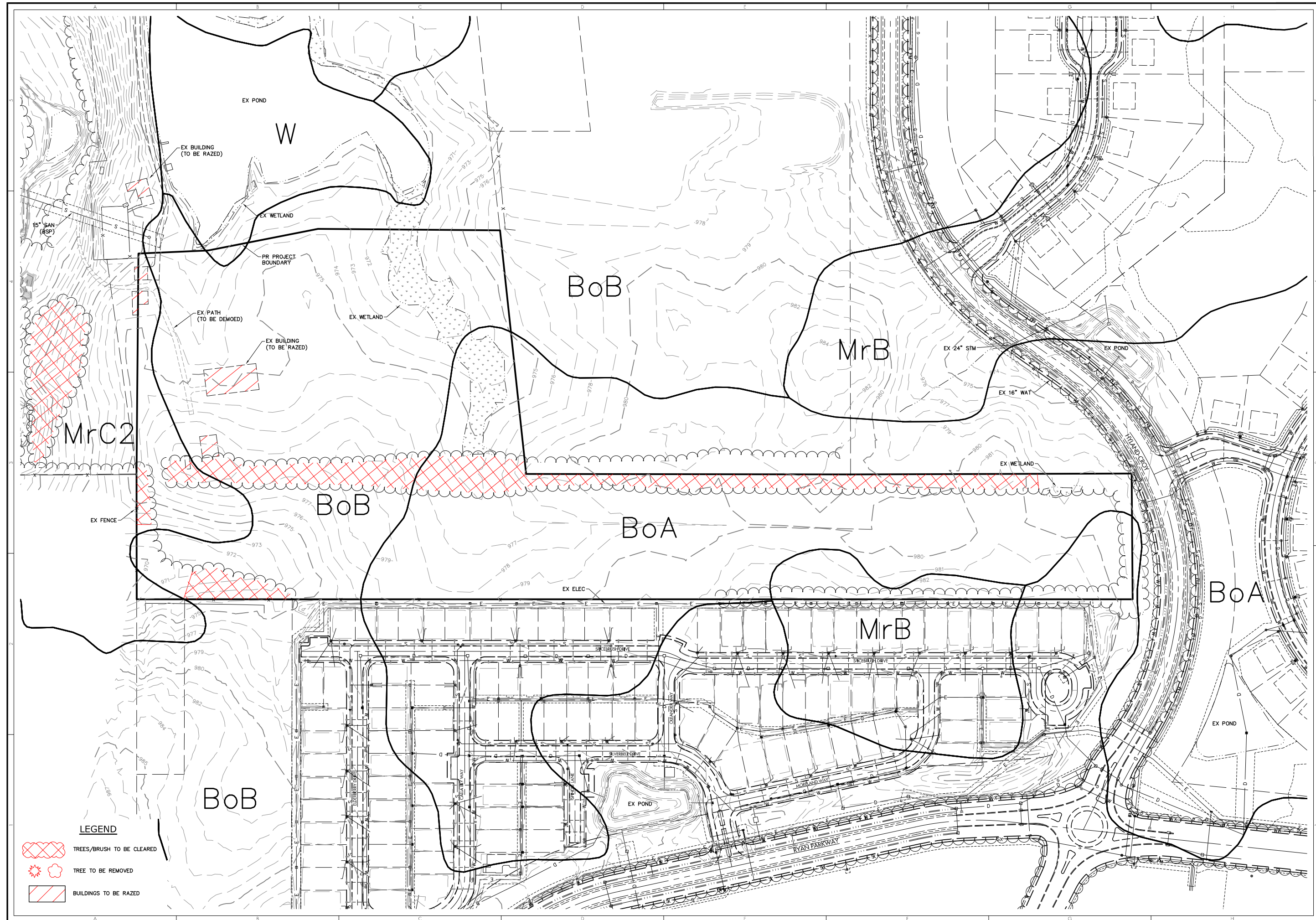
CHANGE ORDER SCHEDULE

TerraïneEvolution

FROM TOWNSHIP UNION COUNTY, OHIO

DRAWING SET STATUS:

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<input type="checkbox"/>	AGENCY REVIEW
<input type="checkbox"/>	CONSTRUCTION
<input type="checkbox"/>	AS-BUILT DOCUMENT

[illegible]

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JEROME VILLAGE
 COURTYARDS ON HYLAND RUN
 ELM PARK NEIGHBORHOOD, SECTION 13
 EXISTING CONDITIONS PLAN

DRAWING SET STATUS:

☐ PRELIMINARY ENGINEERING SET

☐ AGENCY REVIEW SET

☐ CONSTRUCTION DOCUMENT SET

☐ AS-BUILT DOCUMENT SET

DESIGN	DRAFT	CHECK
DGR	DGR	JPW

PROJECT NO.: 19018

DATE: AUGUST, 2019

SCALE:

HORIZONTAL: 1" = 100'

VERTICAL: N/A

SHEET NO.: 12/18

August 21, 2019

Bradley Bodenmiller
LUC Regional Planning Commission
Box 219
East Liberty, Ohio 43319

RE: Courtyards on Hyland Run [Glacier Park Neighborhood Section 13 (GPN-13)] Preliminary Plat

Mr. Bodenmiller,

Terrain Evolution, as the agent for Epcon Communities, acknowledges the existence of a small area of Wetzels soils within the development of the Courtyards on Hyland Run (GPN-13). The soil types are commonly found within areas with poor drainage and/or in drainage courses. In this case, the soils are along low lying area next to an existing pond. The development will be installing roadway with storm sewer drainage system to provide adequate drainage to the area developed.

Section 416 of the Union County Subdivision Regulations designates areas with the said soil types as requiring improvements to render the area acceptable for the intended use. The subdivider is aware and acknowledges this requirement. The intended use is for single family residential. Providing adequate drainage system to the area shall remedy any poorly drained areas, thus rendering the area acceptable for the use. A storm sewer system is being designed to convey all surface runoff to stormwater management basins. Any and all subsurface tiles encountered during the construction of the development shall be connected to said storm sewer as to promote an adequate drainage system.

Please feel free to contact me if you have any questions a (614) 385-1092.

Sincerely,



Justin Wollenberg, PE, CPESC
Project Manager



**County Engineer
Environmental Engineer
Building Department**
233 W. Sixth Street
Marysville, Ohio 43040
P 937. 645. 3018
F 937. 645. 3161
www.co.union.oh.us/engineer

Marysville Operations Facility
16400 County Home Road
Marysville, Ohio 43040
P 937. 645. 3017
F 937. 645. 3111

Richwood Outpost
190 Beatty Avenue
Richwood, Ohio 43344

September 5, 2019

Public Service with integrity

Bradley Bodenmiller
LUC Regional Planning Commission
Box 219
East Liberty, Ohio 43319

Re: Jerome Village, The Courtyards on Hyland Run (AKA GPN-13) – Preliminary Plat

Brad,

We have completed our review for the above preliminary plat, received by our office on August 27, 2019. We recommend it be approved with the below modifications and recommendations. Items listed below should be addressed in the final construction drawings, or resolved as indicated.

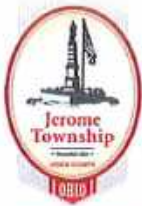
1. A traffic impact study (TIS) has been submitted for this, and several other proposed development pods not accounted for in the Jerome Village Master TIS dated February, 2007. Developer installed improvements and contributions to offsite intersections will be memorialized in an Infrastructure Agreement currently being finalized between the Developer and Union County.
2. The right of way, streets and majority of infrastructure within this development will be privately owned and maintained. As this is unique compared to the other development pods within Jerome Village, we recommend establishing an infrastructure ownership table to clarify the responsibilities of all right of way, roads, utilities, stormwater infrastructure, etc.
3. The design engineer has submitted a variance to the Subdivision Regulations in regards to permanent dead end streets (Article 4, Section 408.3). In addition, they have submitted several variances to our Technical Design Standards. Per the Subdivision Regulations, any variance to the Subdivision Regulations must be approved by the Commissioners. This variance has also been sent to the Jerome Township Fire Department for confirmation of acceptance, as some of them involve the geometrics of the roadway. Our office is planning on recommending approval of the above variance to the Commissioners once we receive approval from the fire department. We anticipate getting these approved prior to the Executive Committee meeting.
4. Provide information regarding any master trails and/or Jerome Village/HOA maintained fencing or landscaping in the construction drawings.
5. All stormwater infrastructure and will be reviewed in more detail during the final construction drawing review process.
6. Detail all flood routing swales, including 100 year water surface elevations, ensuring at least 1' of freeboard between the 100 year water surface and the finished grade elevations of all building structures.
7. Provide a stormwater management report for review.
8. Provide detailed construction drawings to private utility providers.

In accordance with the Subdivision Regulations of Union County, additional information is required from the developer prior to final plat approvals, including but not limited to final construction documents. It is the responsibility of the developer to become familiar with the regulations and file requisite information within the time frames outlined in the regulations. Should you have any questions or concerns, feel free to contact me at (937) 645-3165.



Bill Narducci, P.E.
Assistant County Engineer
Union County Engineer

Cc: Matt Rotar, Union County Engineer's Office (via email)
Jeremy Burrey, USWCD (via email)



Jerome Township
Union County, Ohio

9777 Industrial Parkway
Plain City, Ohio 43064
Office (614) 873-4480
Fax (614) 873-8664

Jerome Township Zoning Office

August 28, 2019

Bradley J. Bodenmiller
LUC Regional Planning Commission
9676 E. Foundry
East Liberty, Ohio 43319

RE.: Jerome Village GPN 13 – Preliminary Plat

Dear Brad,

I have reviewed the Preliminary Plat for Jerome Village GPN 13 as forwarded by LUC on August 27, 2018. Based on that review the township has identified several areas of potential concern as the plat relates to the approved zoning for GPN 13.

Total Lots: The Preliminary Plat as sent to our office indicates a total of 99 lots for the development. The approved zoning appears to be in conflict with this lot count. In the development text, and on the zoning plan, it calls for a total of 90 lots in this section. As you are aware there are provisions within the Jerome village development that allow for density to be swapped between sections of the development provided that a total density is not exceeded. It is possible that a 10% increase in density for this Section could be approved through this mechanism, but further clarification may be needed.

Lot size: The preliminary Plat as sent to our office shows a few lots that do not appear to meet the minimum lot size established in the zoning. According to the approved zoning the minimum lot width is 50 feet and the minimum lot depth is 100 feet. Several of the lots along the entry drive are indicating dimensions which do not meet these minimums.

Aside from those two items the township cannot see any additional areas of concern at this time.

As a reminder, the applicant will still need to proceed with Final Development Plan approval from Jerome Township. However, since a fair amount of engineering is required to ensure that the Final Development Plan will not change substantially, I can see no reason from the township's perspective why the application for Preliminary Plat should not move forward into the final engineering stages so far as the above items are addressed. It is our recommendation though that the applicant secure approval of the Final Development Plan from the township prior to submitting for Final Plat once it is clear that the engineering works.

As always, my review is limited to the zoning related items only and the township defers to the expertise of the Union County Engineers office in regards to all traffic and engineering related items.

Respectfully,

Doug Stewart
Acting Jerome Township Zoning Officer



Engineering, Planning and Zoning
City Hall, 209 South Main Street
Marysville, Ohio 43040-1641
(937) 645-7350
FAX (937) 645-7351
www.marysvilleohio.org

August 30, 2019

Bradley J. Bodenmiller
LUC Regional Planning Commission
10820 St. Rt. 347, PO Box 219
East Liberty OH 43319

**Subject: The Courtyards on Hyland Run (GPN 13)
Preliminary Plat Comments**

The City of Marysville has reviewed the Preliminary Plat for The Courtyards on Hyland Run development and recommends approving the Preliminary Plat upon addressing the following comments as part of the final engineering process:

Water:

1. Show the location of the Master Meter.
2. Provide a twenty (20) foot easement from the existing main along Hyland-Croy to the meter and around the meter itself.
3. It is suggested that a water line be stubbed to the southwest corner of the property along Clare Way.
4. For isolation purposes, additional valves may need to be placed during the Final Engineering process.
5. A flushing hydrant shall be placed at the water line stub at the northwest corner of the property.
6. Label the size of all existing and proposed waterlines.

Please contact us if you need additional clarification or wish to discuss these comments further.

Sincerely,

Chad Green, P.E.
Assistant City Engineer

cc. Jeremy Hoyt, P.E. (City of Marysville)
Mike Andrako, P.E. (City of Marysville),
Scott Sheppard (City of Marysville)
Rich Felton (City of Marysville)
Bill Narducci (Union County Engineer's Office)



September 4th, 2019

Bradley Bodenmiller
LUC Regional Planning Commission
9676 E. Foundry St.
East Liberty, OH 43319

RE: URE comments for Glacier Park Neighborhood Section 13 – Preliminary Plat

Brad,

Noted comments per paper drawings received 08/27/19. Drawing set of 18 sheets issued Preliminary Plat for GPN Section 13, Dated August 2019

- 1) Sheet 1 of 18 – Preliminary Plat Total Lots (99) 1 - 99
 - a) URE requires 20 feet easement for primary and secondary facilities per Terms and Conditions for Supplying Electric Service to reach transformer / pedestal locations. Actual location of electrical facilities can be located within a 10 feet easement if adjacent property has additional easements or right of way for ingress and egress totaling a minimum of 20 feet. When on property line require 10 ft easement on each of the adjacent properties. Developer to install creek/stream crossing (directional bore if applicable) 10 feet beyond stream protection easements (when applicable).
- 2) Sheet 2-18
 - a) No New electrical utility easements noted in drawings.
- 3) URE will need easements in the following locations
 - a) From Hyland Croy running parallel and adjacent to Hyland Run on the north side to lot 1.
 - b) North along the East side of lot 1
 - c) Along the North side (rear Lots) of lot 1 - lot 26
 - d) Easement will be required along the eastern edge (rear lot) of lots 27-34
 - e) Easement will be required along the northern edge of Tipperary drive (Street B) from lot 34, to edge of development area
 - f) Easement will be required from the northern side of Tipperary Dr. (street B), along the drive north to Wells Rd.
 - g) Easement will be required along the western border of the development spanning lots 41 – 49 and continuing to the south west corner of the development.
 - h) Easement will be required to the rear of lot 40 and 41 (south side)
 - i) Easement will be required from the south west corner of the development to the south west corner of lot 71 for service to lots 67 - 70
 - j) Easement will be required along the rear lots of 35 – 39, 50 – 60, and 61 – 66
 - i) Easement will be required to connect these easement areas to the road crossings listed below



- 4) URE will Require Road Crossings in the following locations
 - a) Road Crossing will be required across Thomond way (street A) along the rear lots between 15 – 16
 - b) Road Crossing will be required across Tipperary Drive (street B) to connect service for lot 26 to lot 66
 - c) Road Crossing will be required across Limerick Drive (street C) to connect service for lot 60 and 71
 - d) Road Crossing will be required across Tipperary Drive (street B) to connect service from the northern portion of the development to the service for lot 41
 - e) Road Crossing will be required across Clare way (street D) to connect service for lots 67 – 70
- 5) Attached to this email is a drawing to assist in the identification of Easement and road crossing requirements.

Based on existing drawing review set URE requests delay in approving Final Plat until noted discrepancies are resolved.

Please contact me with questions or concerns.

Regards,

Ron McGlone
Engineering
Union Rural Electric Cooperative, Inc.
PO Box 393
15461 US Route 36
Marysville, Ohio 43040
Direct: (937) 645-9263





Staff Report – Jerome Twp Middle School & Elementary School

Applicant:	Dublin City Schools 7030 Coffman Road Dublin, OH 43017 stark_jeff@dublinschools.net EMH&T 5500 New Albany Road Columbus, OH 43054 tcunningham@emht.com
Request:	Approval of the Jerome Township Middle and Elementary School – Preliminary Plat.
Location:	Located in the northwest corner of the intersection of Hyland-Croy Road and Ravenhill Parkway in Jerome Township, Union County.

Staff Analysis:	<p>This Preliminary Plat involves 43.39 acres of land and proposes 1 lot for a middle school and an elementary school.</p> <p>Acreages:</p> <ul style="list-style-type: none">○ The development summary table does not include a break-down of the acreage split between right-of-way and lot area○ 43.39 acres in total site area○ 0.0 acres in open space <p>Proposed utilities:</p> <ul style="list-style-type: none">○ City of Marysville public water system○ Jerome Village collection and City of Marysville public sanitary waste treatment <p>• Union County Engineer's Office</p> <ul style="list-style-type: none">○ The Union County Engineer's Office submitted comments in a letter dated 09-05-19. The Engineer's Office recommended approval subject to modifications and recommendations addressed in the final Construction Drawings or resolved as indicated. Those comments are listed below and summarized for reference. (Please refer to letter for all comments.) <ol style="list-style-type: none">1. A traffic impact study (TIS) is required for this site to analyze local site access mitigation. The TIS is currently in the process of being completed by the
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Staff Report – Jerome Twp Middle School & Elementary School

	<p>site's engineer and will be submitted to our office for review when completed.</p> <ol style="list-style-type: none">2. The majority of infrastructure within this development will be privately owned and maintained. As this is unique compared to the other development pods within Jerome Village, the UCE's Office recommends establishing an infrastructure ownership table to clarify the responsibilities of all right of way, roads, utilities, stormwater infrastructure, etc.3. Provide information regarding any master trails and/or Jerome Village/School District maintained fencing or landscaping in the Construction Drawings.4. All stormwater infrastructure will be reviewed in more detail during the final Construction Drawing review process.5. Detail all flood routing swales, including 100 year water surface elevations, ensuring at least 1' of freeboard between the 100 year water surface and the finished grade elevations of all building structures.6. Provide a stormwater management report for review.7. Provide detailed construction drawings to private utility providers. <p>• Union County Soil & Water Conservation District</p> <ul style="list-style-type: none">○ No comments received as of 09-04-19. <p>• Union County Health Department</p> <ul style="list-style-type: none">○ No comments received as of 09-04-19. Standard comments from the Health Department are below:<ol style="list-style-type: none">1. "All efforts should be made to provide a point of connection (via easements and/or services lines) to both water and sewer to any adjacent home, business, or any other facility that is serviced by a private water system (PWS) and or sewage treatment system (STS)."2. "Any home, business, or other structure that is currently being serviced by a private STS and ends up being situated within 200' of a sanitary sewer easement, shall be brought to the attention of the Union County Health Department."
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Staff Report – Jerome Twp Middle School & Elementary School

	<p>3. "If at any time during development of the subdivision a PWS (well, cistern, etc.) or STS is found, our office shall be immediately contacted for inspection. Proper permitting must be obtained for sealing and or abandonment of a PWS and STS."</p> <ul style="list-style-type: none">• City of Marysville<ul style="list-style-type: none">○ The City of Marysville submitted comments in an letter dated 09-05-19. The City recommended approval.• Jerome Township<ul style="list-style-type: none">○ No comments received as of 09-04-19.• ODOT District 6<ul style="list-style-type: none">○ No comments received as of 09-04-19.• Ohio Edison<ul style="list-style-type: none">○ No comments received as of 09-04-19.• LUC Regional Planning Commission<ol style="list-style-type: none">1. As a reminder, easements for water and sewer must be a minimum for 20' and 10' for other utilities (§313, 12.; §414).2. A letter from Jerome Township certifying that the Final Plat conforms with the Township's zoning is required before any approval of the Final Plat may be granted (§401; §412, 1.; §413, 2.).3. All bonds, surety, letters of credit, etc. shall be approved by the County Commissioners before any approval of the Final Plat may be granted (§326).
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Staff Recommendations:	Staff recommends APPROVAL of Jerome Township Middle School and Elementary School – Preliminary Plat with the condition that all comments/modifications from LUC and reviewing agencies shall be incorporated into the Construction Drawings and Final Plat. The developer shall ensure that prior to Final Plat submittal, all requirements and items outlined in the Union County Subdivision Regulations are incorporated in the Final Plat prior to submittal.
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Logan-Union-Champaign
regional planning commission

Staff Report – Jerome Twp Middle School & Elementary School

Z&S Committee Recommendations:	
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Logan-Union-Champaign regional planning commission

Director: Bradley J. Bodenmiller

Application for Preliminary Plat Approval

Date: August 21, 2019

Name of Subdivision: Jerome Township Middle and Elementary School

Location: US 42

Township: Jerome

Military Survey: 3005

Complete Parcel(s) Identification Number (PIN): 1700100180010, 1700100180020

Have **ALL** Sketch Plan review letters been obtained? Yes (Engineer, SWCD, Board of Health)

Name of Applicant: Dublin City Schools

Address: 7030 Coffman Road

City: Dublin

State: Ohio

Zip: 43017

Phone: 614-760-4355

Fax: _____

Email: Stark_Jeff@Dublinschools.net

Name of Owner of property to be subdivided: Board of Education of the Dublin City School District

Address: 7030 Coffman Road

City: Dublin

State: Ohio

Zip: 43017

Phone: 614-760-4355

Fax: _____

Email: Stark_Jeff@Dublinschools.net

Name of Applicant's Surveyor or Engineer: EMH&T

Address: 5500 New Albany Road

City: Columbus

State: OH

Zip: 43054

Phone: 614-775-4500

Fax: _____

Email: tcunningham@emht.com

Proposed Acreage to be Subdivided: 43.39 Acres

Current Zoning Classification: PD (Planned Development District)

Proposed Zoning Changes: None

Proposed Land Use: Residential (School)

Development Characteristics

Number of proposed lots: 1

Typical lot width (feet): N/A

Number of proposed units: 0

Typical lot area (sq. ft.): N/A

Single Family Units: 0

Multi-Family Units: 0

Acreage to be devoted to recreation, parks or open space: 0

10820 St Rt 347, PO Box 219

East Liberty, Ohio 43319

• Phone: 937-666-3431 •

• Email: luc-rpc@lucplanning.com • Web: www.lucplanning.com



Logan-Union-Champaign regional planning commission

Director: Bradley J. Bodenmiller

Recreation facilities to be provided: No

Do you propose deed restrictions? (If yes, attach a copy): Yes No X

1. Proposed method of Supplying Water Service: Ex. 16 Inch Water Main operated by City of Marysville

2. Proposed method of Sanitary Waste Disposal: Existing 30 Inch Gravity Sewer operated by City of Marysville
(If on-site disposal systems are proposed, please attach letter certifying the County Board of Health approval)

3. Requests for Variances from Subdivision Regs: No
(If yes, please explain variances and reason for variances)

List all proposed improvements and utilities and state your intention to install or provide a guarantee prior to final plat approval:

<u>Improvement</u>	<u>Installation</u>	<u>Guarantee</u>
a. <u>Elementary School</u>	<u>Private Install</u>	
b. <u>Middle School</u>	<u>Private Install</u>	
c. <u>Parking and Stormwater Collection System</u>	<u>Private Install</u>	
d. <u>8" Sewer Mainline Extension ~1060 L.F</u>	<u>Private Install</u>	
e. <u>Water Meter/Backflow Prevention ~1625 L.F.</u>	<u>Private Install</u>	

For Official Use

Date filed: Filing Fee:

Date of Meeting of Planning Commission:

Action by Planning Commission:

If rejected, reason(s) for:



Logan-Union-Champaign regional planning commission

Director: Bradley J. Bodenmiller

Preliminary Plat Review Checklist

#	Required Item Description	Have	Need
1	Drawn at a scale not less than 1:100 and shall be on one or more sheets 24" X 36"	X	
2	Proposed name of the subdivision, which shall not duplicate or closely approximate the name of any other subdivision in the county.	X	
3	Location by section, range, and township or Virginia Military Survey (VMS).	X	
4	Names, addresses and telephone numbers of the owner, subdivider, and professional surveyor or professional engineer who prepared the plat; and the name, address and telephone number of the professional surveyor who performed the boundary survey.	X	
5	Date of survey.	X	
6	Scale of the plat, north point, and date.	X	
7	Boundaries of the subdivision and its acreage.	X	
8	Names of adjacent subdivisions, owners of record of adjoining parcels of unsubdivided land, and the location of their boundary lines.	X	
9	Locations, widths, and names of existing streets, railroad rights-of-way, easements, parks, permanent buildings, and corporation and township lines; location of wooded areas and other significant natural features; soil types and soil type limits; limits of Flood Hazard zones.	X	
10	Zoning classification of the tract and adjoining properties.	X	
11	Existing contours (USGS datum) at an interval of not greater than two feet if the slope of the ground is fifteen percent or less; and not greater than five feet where the slope is more than fifteen percent.	X	
12	Existing sewers, water and gas mains, culverts and other underground structures, and electric and telephone poles and lines and other above ground structures within and adjacent to the tract.	X	
13	Layout, names and widths of proposed streets and easements.	N/A	
14	Building setback lines with dimensions.	X	
15	Layout and dimensions of all proposed water and sewer lines, showing their connections with the existing systems, and all proposed easements for utility, water and sewer lines.	X	
16	Layout, numbers and approximate dimensions of each lot. When lots are located on a curve or when side lot lines are not at ninety degree angles, the width at the building line shall be shown, if it is less than the frontage width. Location of access from lots to the proposed streets shall be shown.	N/A	
17	Parcels of land to be reserved for public use or to be reserved by covenant for residents of the subdivision.	N/A	

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Logan-Union-Champaign regional planning commission

Director: Bradley J. Bodenmiller

18	The limits of all Flood Hazard Areas (zone A, AE, B, and X) as determined by the Federal Emergency Management Agency (show the FEMA map number and date). The Base Flood Elevation shall be determined and shown. Minimum first floor elevations shall be shown for all lots located within Flood Hazard Areas.	N/A	
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Supplementary Information			
19	Statement of proposed use of lots, giving the type and number of dwelling units; and type of business or industry if use is not residential.	X	
20	Description of proposed covenants and restrictions.	N/A	
21	Description of proposed zoning changes.	N/A	
22	Typical sections and tentative profiles of streets and other related improvements as required in Article 5. Calculations as required to justify horizontal and vertical curves, pipe sizes, etc. The County Engineer shall have approved the layout and design of the lots, streets and other improvements prior to the Preliminary Plat approval.	N/A	
23	A preliminary drainage plan which shall identify adequate drainage outlets and shall contain adequate measures for control of erosion and siltation and for surface water management in accordance with Article 5 and the Technical Design Standards. The County Soil and Water Conservation District shall have approved the preliminary drainage plan prior to Preliminary Plat approval.	X	
24	If the subdivider proposes individual household sewage systems, the County Board of Health or the OEPA shall have approved the use of individual household sewage systems prior to the Preliminary Plat approval.	N/A	
25	If the subdivider proposes individual household wells, the subdivider shall supply evidence acceptable to the County Board of Health of the availability of satisfactory water. The County Board of Health or the OEPA shall have approved the use of individual household wells prior to the Preliminary Plat approval.	N/A	
26	Letters from utility companies, as required, indicates approval of easement locations and widths prior to the Preliminary Plat approval.	N/A	
27	A vicinity map at scale of generally not more than six thousand feet to an inch shall be shown on, or shall accompany, the Preliminary Plat. This map shall show all existing subdivisions, roads, and tract lines, together with the names of the owners of land immediately adjoining the proposed subdivision and between it and the nearest existing thoroughfares. It shall also show the most advantageous connections between the roads in the proposed subdivision and those of the neighboring areas.	X	
28	Preliminary Plat Fees: Payment/Check made out to LUC Regional Planning Commission, based on the current fee schedule.	X	

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JEROME TOWNSHIP, UNION COUNTY, OHIO
PRELIMINARY PLAT

FOR

2019

Title Sheet	1
Existing Conditions Plan	2
Overall Site	3
Overall Utility	4
Overall Grading	5

According to the Federal Emergency Management Agency's Flood Insurance Rate Map (dated 12/16/2008), the subject parcel shown hereon is located within Zone X: Areas determined to be outside of the 0.2% annual chance floodplain, Community Panel 39159C0390D, effective date December 16, 2008.

**APPLICANT/OWNER**

ENGINEER
EMHT Inc.
Todd Cunningham
5500 New Albany Road
Columbus, Ohio 43054
Tel: (614) 775-4500



OHIO811.org
Before You Dig

GRAPHIC SCALE

DUBLIN CITY SCHOOLS

JEROME TOWNSHIP, UNION COUNTY, OHIO
FOR
PRELIMINARY PLAT

JEROME TOWNSHIP MIDDLE SCHOOL
AND ELEMENTARY SCHOOL
HYLAND-CROY ROAD

TITLE SHEET

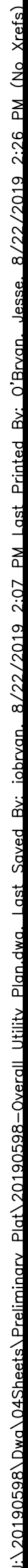


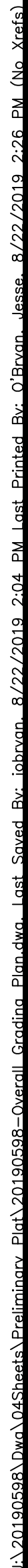
DATE _____

SCALE

JOB NO.

SHEET







Engineers, Surveyors, Planners, Scientists

August 22, 2019

Mr. Bradley J. Bodenmiller
Executive Director
LUC Regional Planning Commission
10820 St. Rt. 347, PO Box 219
East Liberty, Ohio 43319

Subject: Jerome Township Middle and Elementary School Preliminary Plat
Soils and Flood Hazard Area Clarification

Dear Mr. Bodenmiller,

Our office represents the applicant, Dublin City Schools, for the development of the Jerome Township Middle and Elementary Schools located on PID: 1700100180010 and 1700100180020 in Jerome Township, Union County, Ohio. We are preparing this letter on their behalf in accordance with Section 416 of the LUC Regional Planning Commission Regulations – “Flood Hazard Areas / Areas with Poor Drainage or Unacceptable Drainage Outlets.”

1. Flood Hazard Areas

According to FEMA Flood Insurance Rate Map (FIRM) Panel #39159C0390D (effective date December 16, 2008), the entire site is located in Zone X – Areas determined to be outside of the 0.2% annual chance floodplain. Therefore, there are no special considerations or procedures that need to be implemented in the design of the site to account for loss of flood storage.

2. Soils

According to the Natural Resources Conservation Service Web Soil Survey, the property contains three (3) soil types:

- Blg1A1 - Blount Silt Loam, Ground Moraine, 0 to 2 percent slopes
- PK - Pewamo Silty Clay Loam, 0 to 1 percent slopes
- WE - Wetzel Silty Clay Loam

EMH&T acknowledges the existence of these soils within the development area. The soil types are commonly found within areas with poor drainage and/or in drainage courses. In this case, the soils are mostly along low lying area within an open farm field and treeline. This area will be open space, buildings and parking lots. The development will install a storm sewer drainage system to provide adequate drainage to the area developed.

Section 416 designates areas with the soil types as requiring improvements to render the area acceptable for the intended use. The developer is aware and acknowledges this requirement. The intended use is for residential (schools). Providing an adequate drainage system to the area shall remedy any poorly drained areas, thus rendering the area acceptable for the use. A storm sewer system is being designed to convey all surface runoff to underground stormwater management systems. Any and all subsurface tiles encountered during the construction of the development shall be connected to said storm sewer as to promote an adequate drainage system.

Please feel free to contact me if you should have any questions at 614.775.4350,

Todd Cunningham, PE
Director of Development

TRANSFERRED

NOV 02 2017

ANDREA WEAVER, AUDITOR
This conveyance has been examined and the Grantor
complied with Section 319.202 of the Revised Code

FEE \$

EXEMPT

41.00
T₁



201711020009159 11/2/2017

Pages: 15 F: \$132.00 1:32 PM

Teresa Markham T20170006370

Union County Recorder DOC: DEED

LIMITED WARRANTY DEED
(with restrictions and reservation of easements)

JEROME VILLAGE COMMUNITY AUTHORITY, a new community authority created and existing pursuant to Chapter 349 of the Ohio Revised Code ("Grantor"), for valuable consideration paid, grants, with limited warranty covenants, to **THE BOARD OF EDUCATION OF THE DUBLIN CITY SCHOOL DISTRICT**, an Ohio public school district and political subdivision of the State of Ohio, whose tax mailing address is 7030 Coffman Road, Dublin, Ohio 43017, all of Grantor's interest in and to the following real property situated in the Township of Jerome, County of Union, State of Ohio (the "Property"):

See Exhibit "A" attached hereto and made a part hereof.

Map No.: Part of 116-00-00-037.001; part of 116-00-00-059.000; part of 126-00-00-016.001; and part of 126-00-00-016.000.

Auditor's Parcel No.: Part of 17-0010018.0010; part of 17-0010015.0010; part of 17-0010020.1000; and part of 17-0010020.0000.

Prior Instrument Reference: Instrument No. 201708180006759, Recorder's Office, Union County, Ohio.

The foregoing conveyance is made subject to (a) taxes and assessments not yet due and payable; (b) legal highways; (c) zoning ordinances; and (d) easements, conditions, restrictions and other matters of record, including but not limited to (i) that certain Declaration of Covenants, Restrictions and Agreements (the "Declaration") for the Jerome Village Community Authority filed on February 26, 2010 at 3:30 p.m. and of record at the Union County, Ohio Recorder's Office as document number 366051 in Volume 859 at Page 275, as amended, establishing on the real property a "community

{00280968-4}

Stewart Title Company
01032-22282 um

development charge" as defined in Section 2.12 of that Declaration, and (ii) that certain Master Deed Declaration, Restrictions and Bylaws of Jerome Village filed on February 23, 2011 and of record at the Union County, Ohio Recorder's Office in Official Record 907, Page 572, as amended.

The foregoing conveyance is further made subject to the following restrictions and reservation of easements. It is intended and agreed that the following restrictions and reservation of easements shall run with the land, and shall, in any event, and without regard to technical classification or designation, legal or otherwise, be binding on the Property and Grantee, and its successors and assigns as the owner, occupant or tenant, as the case may be, of the Property, for the benefit and in favor of, and enforceable by, the Grantor or by any party to whom Grantor assigns such benefits and enforcement rights.

1. Use Restriction. Neither Grantee nor any of Grantee's successors or assigns shall operate or use, or permit any other party to operate or use, the Property (or any portion thereof) for any use other than the operation of an elementary school for children in grades kindergarten through eighth grade and/or a middle school for children up to eighth grade (which may be built at separate times and in any order), together with ancillary parking lots, athletic fields and green space ("Permitted School Facilities"). Notwithstanding the foregoing, until such time as Grantee commences construction of the Permitted School Facilities, Grantee shall be permitted to maintain the Property as undeveloped green space or for agricultural use.
2. Sanitary Sewer Easement. Grantor does hereby reserve for its use and benefit and the use and benefit of any party to whom Grantor assigns such rights, a non-exclusive easement (the "Sanitary Sewer Easement") in, under, and through the real estate described in Exhibit "B", which is attached hereto and made a part hereof (the "Sanitary Sewer Easement Area"), for the purposes of laying, constructing, maintaining, inspecting, operating, repairing, replacing, changing, adding and/or removing an underground sanitary sewer line or lines with all incidental equipment and appurtenances (such incidental equipment and appurtenances, other than manhole covers, to be installed underground), and the hereinafter described erosion control measures (collectively hereinafter called "Sanitary Sewer Improvements"). The Sanitary Sewer Easement includes, without limitation, (a) the right at any time in the future to lay, construct, maintain, inspect, operate, change, repair, replace and/or remove the Sanitary Sewer Improvements within the Sanitary Sewer Easement Area, and (b) reasonable ingress and egress over the Property for purposes of accessing the Sanitary Sewer Easement and enjoying all rights and benefits thereto. For erosion control purposes, the Sanitary Sewer Easement also includes the right at any time in the future to construct, inspect, operate, maintain, repair, replace, change, add and/or remove concrete, rock rip-rap or other forms of Sanitary Sewer Improvements to protect existing and future pipelines within the

Sanitary Easement Area. The physical limits of the Sanitary Sewer Improvements shall be entirely confined to the Sanitary Sewer Easement Area.

Upon entry by Grantor for the purpose of laying, constructing, maintaining, inspecting, operating, repairing, replacing, changing, adding and/or removing the Sanitary Sewer Improvements, Grantor will restore Grantee's Property to its former condition as nearly as is reasonably possible after completion of the particular work being performed. The restoration of Grantee's Property within the Sanitary Sewer Easement Area is limited to returning the subject property to its former grade and restoring the surface area to its former condition as nearly as is reasonably possible.

The Sanitary Sewer Easement shall have a term commencing upon Grantor's execution hereof and terminating upon the removal of the Sanitary Sewer Improvements from the Sanitary Sewer Easement Area and failure to reconstruct said Sanitary Sewer Improvements within twelve (12) months of such removal.

3. Landscaping Easement. Grantor does hereby reserve for its use and benefit and the use and benefit of any party to whom Grantor assigns such rights, a non-exclusive easement (the "Landscaping Easement") to, at Grantor's expense, construct, install, maintain, inspect, operate, repair, replace, change, add and/or remove any and all landscaping and fencing (collectively, the "Landscaping Improvements") in, on, over, through, under, and across a portion of the Property, as more particularly described on Exhibit "C" (the "Landscaping Easement Area"), attached hereto and incorporated herein. The Landscaping Easement includes, without limitation, (a) the right at any time in the future to construct, install, maintain, inspect, operate, change, repair, replace, add and/or remove the Landscaping Improvements within the Landscaping Easement Area, and (b) reasonable ingress and egress over the Property for purposes of accessing the Landscaping Easement and enjoying all rights and benefits thereto. All Landscaping Improvements installed by Grantor on, across, under, or through the Landscaping Easement Area shall remain the property of Grantor. Grantor shall, at its sole cost and expense, be responsible for the maintenance, repair, and replacement of the Landscaping Improvements constructed, added, or otherwise placed within the Landscaping Easement Area by the Grantor.

Upon entry by Grantor for the purpose of constructing, installing, maintaining, inspecting, operating, repairing, replacing, changing, adding and/or removing the Landscaping Improvements, Grantor will restore Grantee's Property to its former condition as nearly as is reasonably possible after completion of the particular work being performed.

Notwithstanding the foregoing, by acceptance of this deed Grantee agrees that, for any reason, should its use of its Property result in any damage, alterations or removal to the Landscaping Improvements, Grantee, at its expense, will restore the Landscaping Improvements within and around the Landscaping Easement Area to their former condition as nearly as is reasonably possible.

Signature Page Follows

IN WITNESS WHEREOF, Grantor has caused this instrument to be executed as of the
 _____ day of October, 2017.

JEROME VILLAGE COMMUNITY
 AUTHORITY,
 a new community authority created and existing
 pursuant to Chapter 349 of the Ohio Revised Code

By: Ray Maloney
 Name: Robert J. Maloney
 Title: Vice Chair

STATE OF OHIO)
 COUNTY OF Franklin) SS:

The foregoing instrument was acknowledged before me this 30th day of October, 2017,
 by Robert J. Maloney, Vice Chair of
 Jerome Village Community Authority, a new community authority created and existing pursuant
 to Chapter 349 of the Ohio Revised Code, on behalf of such community authority.

Adam Spradlin

Notary Public

This Instrument Prepared by:

Robert S. Ryan, Esq.
 Kephart Fisher LLC
 207 North Fourth Street
 Columbus, Ohio 43215



ADAM SPRADLIN
 Notary Public, State of Ohio
 My Commission Expires 04-18-2021

EXHIBIT "A"

Legal Description of the Property

[See attached]



**AMERICAN
LAND
SURVEYORS**

*Focused
on
Excellence*

February 21, 2017

**DESCRIPTION OF 39.804 ACRES
NORTH OF RAVENHILL PARKWAY (80' R/W)
WEST OF HAYLAND-CROY ROAD (80' R/W)
JEROME TOWNSHIP, UNION COUNTY, OHIO**

Situated in the State of Ohio, County of Union, Jerome Township, Virginia Military Survey No. 3005, being 39.804 acres of land of which 34.422 acres is located in that 39.800 acre tract of land as described in a deed to Jerome Village Community Authority, of record in Instrument No. 201603040001558, 5.195 acres is located in the remainder of that 194.363 acre tract of land as described in a deed to Jerome Village Company, LLC, of record in Official Record 672, Page 527, 0.133 acre is located in the remainder of that 29.000 acre tract described as Tract 2, of record in Official Record 722, Page 832 in a deed to said Jerome Village Company, LLC and 0.054 acre is located in the remainder of that 23.968 acre tract of land as described in a deed to said Jerome Village Company, LLC, of record in Official Record 739, Page 121, all references herein being to the records located in the Recorder's Office, Union County, Ohio and being more particularly described as follows;

Beginning **FOR REFERENCE** at a 5/8" iron pin found at the southwesterly corner of Virginia Military Survey No. 3005, also being the northwesterly corner of Virginia Military Survey No. 2991, a point in the easterly line of Virginia Military Survey No. 5234, the southwesterly corner of the remainder of a 23.968 acre tract of land as described above and a point in the easterly line of a 193.75 acre tract of land, being the remainder of a 236.57 acre tract of land described as Tract No. 1 in a deed to Select Sires, of record in Deed Volume 251, Page 498; Thence North 6° 25' 30" West, along the westerly line of said Virginia Military Survey No. 3005, the easterly line of Virginia Military Survey No. 5234, the westerly line of said 23.968 acre tract, the easterly line of said 193.75 acre tract, the westerly line of the remainder of a 14.926 acre tract of land as described in a deed to said Jerome Village Company, LLC, of record in Official Record 755, Page 179 and the westerly line of the remainder of a 19.467 acre tract as described in a deed to Jerome Village Community Authority, of record in Instrument No. 2014-1040007860, passing a 5/8" iron pin found at a distance of 479.12 feet in the northwesterly corner of said 23.968 acre tract (southwesterly corner of said 14.926 acre tract), a total distance of 847.36 feet to an iron pin set in the westerly line of said 14.926 acre tract, being the northwesterly corner of said 19.467 acre tract, the southwesterly corner of said 39.800 acre tract and the **TRUE PLACE OF BEGINNING**;

Thence North 6° 25' 30" West, continuing along the westerly line of said Virginia Military Survey No. 3005, the easterly line of said Virginia Military Survey No. 5234, the easterly line of said 193.75 acre tract and the westerly line of said 39.800 acre tract, passing a stone found at a distance of 110.88 feet at the northwesterly corner of said 14.926 acre tract, a total distance of 334.77 feet to a stone found at a corner of said 39.800 acre tract;

2346 Hemlock Court N.E. • Lancaster, Ohio 43130 • 740-654-0600 (Lancaster Voice) • 740-654-0604 (fax)
614-837-0800 (Columbus Voice) • 740-670-0800 (Newark Voice) • 740-455-2200 (Zanesville Voice)
EMAIL: land@americanlandsurveyors.com WEBSITE: www.americanlandsurveyors.com



Thence North $6^{\circ} 25' 30''$ West, continuing along the westerly line of said Virginia Military Survey No. 3005 and the easterly line of said Virginia Military Survey No. 5234, through said 39.800 acre tract, with a new line of division, a distance of 468.13 feet to an iron pin set in the northerly line of said 39.800 acre tract;

Thence along northerly lines of said 39.800 acre tract, through said 194.363 and 29.000 acre tracts, with new lines of division, the following courses:

1. North $83^{\circ} 35' 08''$ East, a distance of 1303.62 feet to an iron pin set;
2. North $5^{\circ} 51' 45''$ West, a distance of 243.53 feet to an iron pin set;
3. North $83^{\circ} 34' 51''$ East, a distance of 654.79 feet to an iron pin set;
4. South $6^{\circ} 25' 09''$ East, a distance of 1046.31 feet to an iron pin set in the northerly right-of-way line of Ravenhill Parkway as shown and delineated on the plat entitled "Hyland-Croy Phase 4 and Ravenhill Phase 1", a subdivision of record in Plat Book 5, Pages 401A-401C;

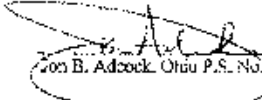
Thence South $83^{\circ} 34' 51''$ West, along said northerly right-of-way line and along the northerly line of the remainder of said 19.467 acre tract, the southerly line of the remainder of said 29.000 acre tract, the southerly line of the remainder of said 23.968 acre tract and the southerly line of said 39.800 acre tract, a distance of 1960.69 feet to the TRUE PLACE OF BEGINNING and containing 39.804 acres of land.

Bearings herein are based on GPS observations in conjunction with the Ohio Department of Transportation VRS network, being the Ohio State Plane Coordinate System, North Zone, NAD 1983.

Iron pins set consist of a $\frac{5}{8}$ " x 30" rebar with a plastic cap inscribed "Jon Adcock S-8461."

This description was prepared by American Land Surveyors, LLC, by Jon B. Adcock, Ohio P.S. No. 8461 and is based on a field survey performed in December, 2015.

34.422 acres is located in Auditor's Parcel No. 17-0010018.0010, 5.195 acres is located in Auditor's Parcel 17-0010015.0010, 0.133 acre is located in Auditor's Parcel No. 17-0010020.1000 and 0.054 acre is located in Auditor's Parcel No. 17-0010020.0000.

 2/21/17
Jon B. Adcock, Ohio P.S. No. 8461 Date



1346 Hemlock Court N.E. • Lancaster, Ohio 43130 • 740-654-0600 (Lancaster Voice) • 740-654-0604 (fax)
614-837-0800 (Columbus Voice) • 740-670-0800 (Newark Voice) • 740-455-2200 (Zanesville Voice)
EMAIL: jon@adcocklandsurveyors.com WEBSITE: www.adcocklandsurveyors.com

EXISTING DESCRIPTION

ACCEPTABLE FOR TRANSFER

DATE 11-2-17 MLK
JEFF STAUCH, UNION CO. ENG.

EXHIBIT "B"

Legal Description and Depiction of Sanitary Sewer Easement Area

[See attached]



**AMERICAN
LAND
SURVEYORS**

*Focused
on
Excellence*

August 25, 2017

**DESCRIPTION OF A SANITARY SEWER EASEMENT
NORTH OF RAVENHILL PARKWAY (80' R/W)
WEST OF HYLAND-CROY ROAD (80' R/W)
JEROME TOWNSHIP, UNION COUNTY, OHIO**

Situated in the State of Ohio, County of Union, Jerome Township, Virginia Military Survey No. 3005 and Virginia Military Survey No. 5234, being in part a 60 foot wide strip of land and in part a 30 foot wide strip of land located in that 39.804 acre tract of land as described in a deed to Jerome Village Community Authority, of record in Instrument No. 201708180006759 and also being located in a 5.378 acre tract of land, being a remainder of that 39.000 acre tract of land as described in a deed to Jerome Village Company, LLC, of record in Instrument No. 201708180006758, all references herein being to the records located in the Recorder's Office, Union County, Ohio and being more particularly described as follows;

BEGINNING at the southwesterly corner of said 39.804 acre tract of land, also being a point in the northerly right-of-way line of proposed Ravenhill Parkway;

Thence **North 6° 25' 30" West**, with the westerly line of said 39.804 acre tract, along the easterly line of said Virginia Military Survey No. 5234 (westerly line of Virginia Military Survey No. 3005), a distance of **772.90 feet**, to a point;

Thence **South 83° 35' 08" West**, through said 5.378 acre tract of land, a distance of **290.38 feet** to a point on the westerly line of the same;

Thence along the westerly and northerly lines of said 5.378 acre tract the following courses;

1. **North 36° 38' 33" East**, a distance of **41.06 feet** to a point;
2. **North 83° 35' 08" East**, a distance of **322.34 feet** to a point;

Thence **South 6° 25' 30" East**, through said 39.804 acre tract, a distance of **802.89 feet**, to a point on the southerly line of the same, also being a point on the northerly right-of-way line of said proposed Ravenhill Parkway;

Thence **South 83° 34' 51" West**, a distance of **60.00 feet** to the **PLACE OF BEGINNING** and containing **1.296 acres** of land.

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614-837-0800 (Columbus-Voice) • 740-670-0800 (Newark-Voice) • 740-455-2200 (Zanesville-Voice)
EMAIL: jadcock@americanlandsurveyors.com WEBSITE: www.americanlandsurveyors.com



Bearings herein are based on GPS observations in conjunction with the Ohio Department of Transportation VRS network, being the Ohio State Plane Coordinate System, North Zone, NAD 1983.

This description was prepared by American Land Surveyors, LLC, by Jon B. Adcock, Ohio Licensed Professional Surveyor No. 8461.

 8/25/17
Jon B. Adcock, Ohio P.S. No. 8461 Date



1346 Hemlock Court N.E. • Lancaster, Ohio 43130 • 740-654-0600 (Lancaster Voice) • 740-654-0604 (fax)
614-837-0800 (Columbus-Voice) • 740-670-0800 (Newark-Voice) • 740-455-2200 (Zanesville-Voice)
EMAIL: jadcock@americanlandsurveyors.com WEBSITE: www.americanlandsurveyors.com

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1348 Hemlock Court N.E.
Lancaster, Ohio 43130
(740) 651-0800 - Lancaster
(614) 657-0800 - Columbus
(740) 670-0800 - Newark
(740) 455-2200 - Zanesville
(740) 854-0504 - Fax
Contact: Brett Adcock

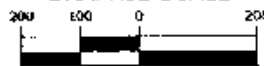
EASEMENT EXHIBIT

SANITARY SEWER AND UTILITY EASEMENTS
LOCATED IN
VIRGINIA MILITARY SURVEYS No. 5234 AND 3005
JEROME TOWNSHIP, UNION COUNTY, OHIO

S6° 25' 09"E
15.00'



GRAPHIC SCALE

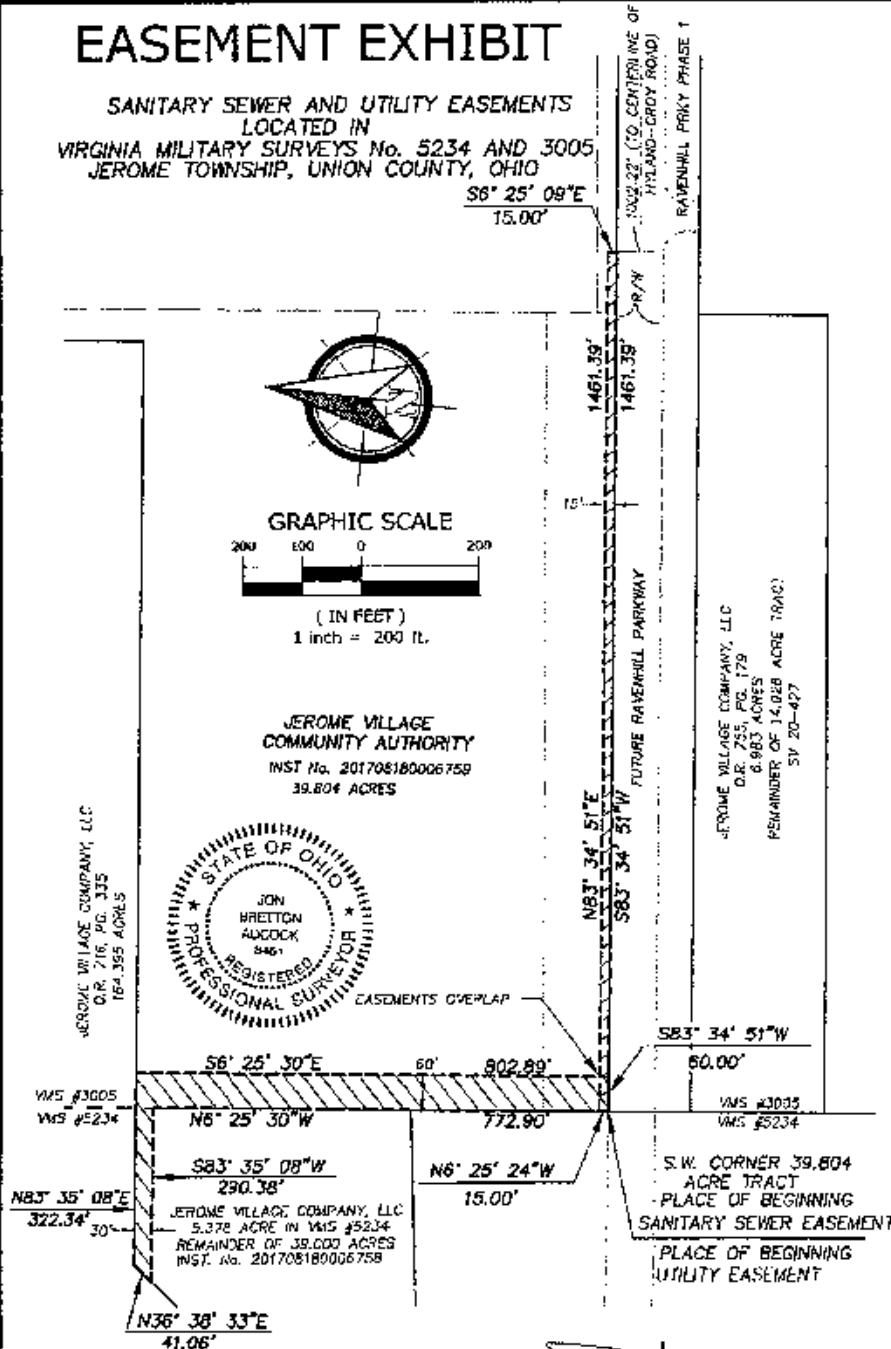


(IN FEET)
1 inch = 200 ft.

JEROME VILLAGE
COMMUNITY AUTHORITY
INST. No. 201708180006758
39.804 ACRES



EASEMENTS OVERLAP



SURV'D	DRAW	GR/YES
BA	BA	BA

SCALE: 1"=200'
DATE 06/25/17 *ssg* 16-001

BY *[Signature]* 8461
REGISTERED SURVEYOR No.

EXHIBIT "C"

Legal Description and Depiction of Landscaping Easement Area

[See attached]



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on
Excellence

August 25, 2017

**DESCRIPTION OF A LANDSCAPE EASEMENT
NORTH OF RAVENHILL PARKWAY (80' R/W)
WEST OF HYLAND-CROY ROAD (80' R/W)
JEROME TOWNSHIP, UNION COUNTY, OHIO**

Situated in the State of Ohio, County of Union, Jerome Township, Virginia Military Survey No. 3005, being a 10 foot wide strip of land located in that 39.804 acre tract of land as described in a deed to Jerome Village Community Authority, of record in Instrument No. 201708180006759, all references herein being to the records located in the Recorder's Office, Union County, Ohio and being more particularly described as follows;

BEGINNING at the southwesterly corner of said 39.804 acre tract, also being a point in the northerly right-of-way line of future Ravenhill Parkway and a point in the westerly line of Virginia Military Survey No. 3005;

Thence **North 6° 25' 30" West**, with the westerly line of said 39.804 acre tract and the westerly line of said Virginia Military Survey No. 3005, a distance of **10.00 feet** to a point;

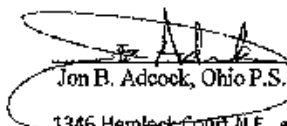
Thence through said 39.804 acre tract the following courses;

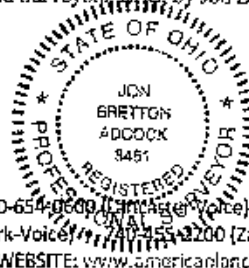
1. **North 83° 34' 51" East**, along a line 10.00 feet northerly of and parallel to the southerly line of said 39.804 acre tract, a distance of **1960.69 feet** to a point in the easterly line of said 39.804 acre tract;
2. **South 6° 25' 09" East**, along said easterly line, a distance of **10.00 feet** to a point at the southeasterly corner of said 39.804 acre tract, being a point in the northerly right-of-way line of Ravenhill Parkway as shown and delineated on the plat entitled "Hyland-Croy Phase 4 and Ravenhill Phase 1", a subdivision of record in Plat Book 5, Pages 401A-401C;

Thence **South 83° 34' 51" West**, along the southerly line of said 39.804 acre tract, the northerly right-of-way line of said Existing Ravenhill Parkway and the northerly right-of-way line of said proposed Ravenhill Parkway, a distance of **1960.69 feet** to the **PLACE OF BEGINNING** and containing **0.450 acre** of land.

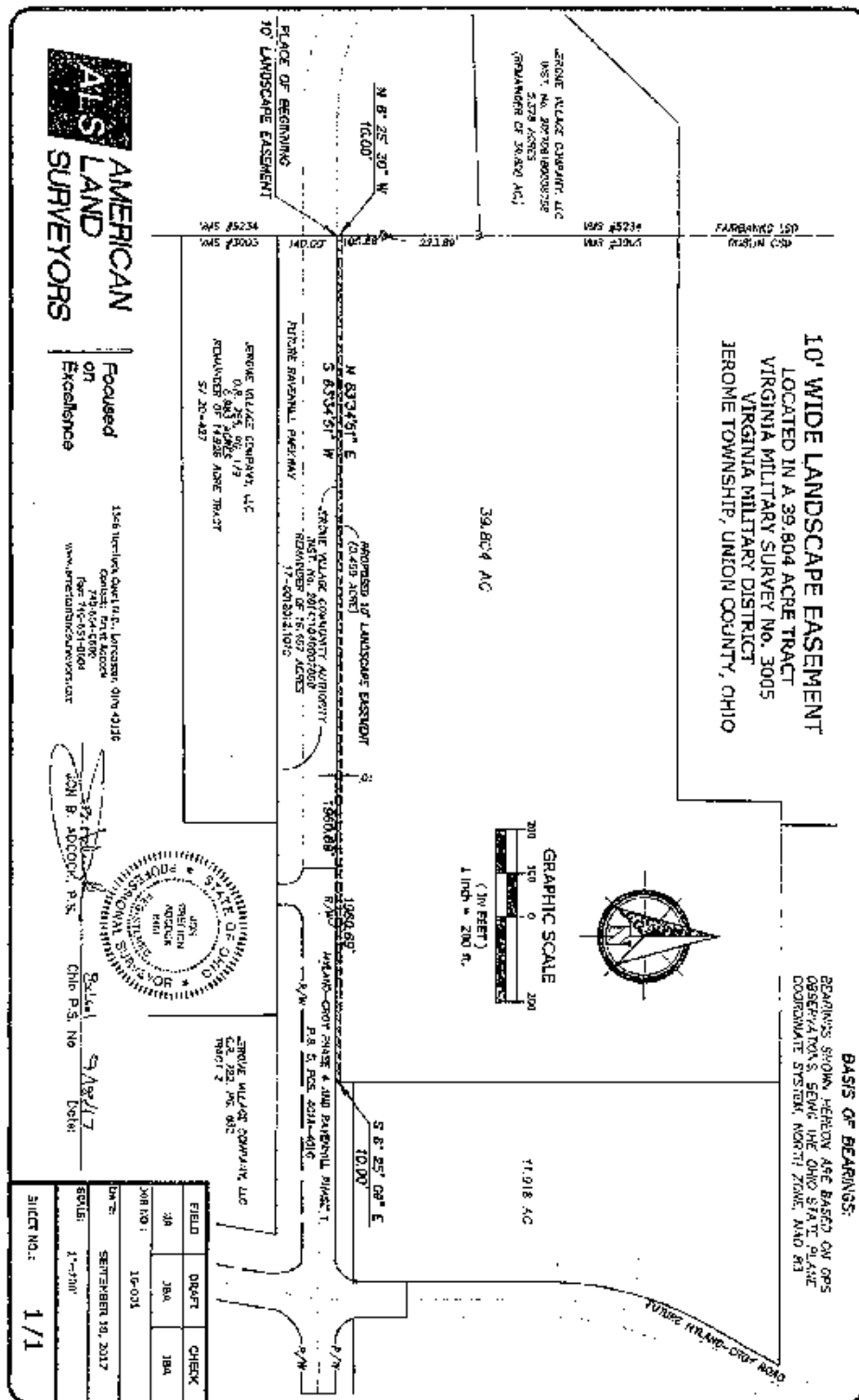
Bearings herein are based on GPS observations, being the Ohio State Plane Coordinate System, North Zone, NAD 1983.

This description was prepared by American Land Surveyors, L.L.C. by Jon B. Adcock, Ohio Licensed Professional Surveyor No. 8461.

 9/18/17
Jon B. Adcock, Ohio P.S. No. 8461 Date



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EMAIL: jadcock@americanlandsurveyors.com WEBSITE: www.americanlandsurveyors.com





**County Engineer
Environmental Engineer
Building Department**
233 W. Sixth Street
Marysville, Ohio 43040
P 937. 645. 3018
F 937. 645. 3161
www.co.union.oh.us/engineer

Marysville Operations Facility
16400 County Home Road
Marysville, Ohio 43040
P 937. 645. 3017
F 937. 645. 3111

Richwood Outpost
190 Beatty Avenue
Richwood, Ohio 43344

September 5, 2019

Public Service with integrity

Bradley Bodenmiller
LUC Regional Planning Commission
Box 219
East Liberty, Ohio 43319

Re: Jerome Township Middle and Elementary School – Preliminary Plat

Brad,

We have completed our review for the above preliminary plat, received by our office on August 27, 2019. We recommend it be approved with the below modifications and recommendations. Items listed below should be addressed in the final construction drawings, or resolved as indicated.

1. A traffic impact study (TIS) is required for this site to analyze local site access mitigation. That TIS is currently in the process of being completed by the site's engineer and will be submitted to our office for review when completed.
2. The majority of infrastructure within this development will be privately owned and maintained. As this is unique compared to the other development pods within Jerome Village, we recommend establishing an infrastructure ownership table to clarify the responsibilities of all right of way, roads, utilities, stormwater infrastructure, etc.
3. Provide information regarding any master trails and/or Jerome Village/School District maintained fencing or landscaping in the construction drawings.
4. All stormwater infrastructure and will be reviewed in more detail during the final construction drawing review process.
5. Detail all flood routing swales, including 100 year water surface elevations, ensuring at least 1' of freeboard between the 100 year water surface and the finished grade elevations of all building structures.
6. Provide a stormwater management report for review.
7. Provide detailed construction drawings to private utility providers.

In accordance with the Subdivision Regulations of Union County, additional information is required from the developer prior to final plat approvals, including but not limited to final construction documents. It is the responsibility of the developer to become familiar with the regulations and file requisite information within the time frames outlined in the regulations. Should you have any questions or concerns, feel free to contact me at (937) 645-3165.



Bill Narducci, P.E.
Assistant County Engineer
Union County Engineer

Cc: Matt Rotar, Union County Engineer's Office (via email)
Jeremy Burrey, USWCD (via email)



Engineering, Planning and Zoning
City Hall, 209 South Main Street
Marysville, Ohio 43040-1641
(937) 645-7350
FAX (937) 645-7351
www.marysvilleohio.org

September 5, 2019

Bradley J. Bodenmiller
LUC Regional Planning Commission
10820 St. Rt. 347, PO Box 219
East Liberty OH 43319

**Subject: Jerome Township Middle School and Elementary School
Preliminary Plat Comments**

The City of Marysville has reviewed the Preliminary Plat for Jerome Township Middle School and Elementary School and recommends approving the Preliminary Plat.

Please contact us if you need additional clarification or wish to discuss further.

Sincerely,

Chad Green, P.E.
Assistant City Engineer

cc. Jeremy Hoyt, P.E. (City of Marysville)
Mike Andrako, P.E. (City of Marysville),
Scott Sheppard (City of Marysville)
Rich Felton (City of Marysville)
Bill Narducci (Union County Engineer's Office)



Logan-Union-Champaign regional planning commission

Staff Report – New California Hills XIII

Applicant:	Evergreen Land Company c/o Wade Dunham 6295 Cosgray Road Dublin, OH 43016 wdunham@shepherdexcavating.com Diamond V, LLC c/o Steve Lamphear 8205 Smith Calhoun Road Plain City, OH 43064 steve.l@diamondvllc.com
Request:	Approval of the New California Hills XIII – Preliminary Plat.
Location:	Located just off of US Hwy 42 on the east side of New California Drive in Jerome Township, Union County.

Staff Analysis:	<p>This Preliminary Plat involves 20.286 acres of land and 38 single-family residential lots.</p> <p>Acreages:</p> <ul style="list-style-type: none">○ 5.541 acres of open space○ Acreage splits of right-of-way and single-family residential lots were not provided <p>Proposed utilities:</p> <ul style="list-style-type: none">○ City of Marysville public water○ City of Marysville public sewer <p>• Union County Engineer's Office</p> <ul style="list-style-type: none">○ The Union County Engineer's Office submitted comments in a letter dated 09-04-19. The Engineer's Office recommended approval subject to modifications and recommendations addressed in the final Construction Drawings or resolved as indicated. Some of those comments are listed below and summarized for reference. (Please refer to letter for all comments.)1. A traffic impact study (TIS) is not being required as part of the development process for this site. However, we are requiring that the developer contribute to the cost of the intersection improvement at US 42 and Industrial Parkway,
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	<p>based on the amount of traffic generated by this phase that utilizes that intersection in the peak hours.</p> <ol style="list-style-type: none">2. Provide information regarding any master trails and HOA maintained fencing or landscaping in the Construction Drawings.3. Provide a drainage easement (minimum width of 20') for all drainage infrastructure outside of the right-of-way.4. All stormwater infrastructure and drainage easements will be reviewed in more detail during the final Construction Drawing review process.5. Provide a 15' wide mowable (10% or flatter) berm around the retention basins to be included within the drainage easement.6. Further discussion will be needed during final design to discuss the protection from encroachment into the retention basin adjacent to the existing playground.7. Detail all flood routing swales, including 100 year water surface elevations, ensuring at least 1 foot of freeboard between the 100 year water surface and the finished grade elevations of building structures.8. Provide a stormwater management report for review.9. Provide detailed construction drawings to private utility providers. <p>• Union County Soil & Water Conservation District</p> <ul style="list-style-type: none">○ No comments received as of 09-04-19. <p>• Union County Health Department</p> <ul style="list-style-type: none">○ No comments received as of 09-04-19. Standard comments from the Health Department are below:<ol style="list-style-type: none">1. "All efforts should be made to provide a point of connection (via easements and/or services lines) to both water and sewer to any adjacent home, business, or any other facility that is serviced by a private water system (PWS) and or sewage treatment system (STS)."2. "Any home, business, or other structure that is currently being serviced by a private STS and ends up being situated within 200' of a sanitary sewer
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	<p>easement, shall be brought to the attention of the Union County Health Department.”</p> <p>3. “If at any time during development of the subdivision a PWS (well, cistern, etc.) or STS is found, our office shall be immediately contacted for inspection. Proper permitting must be obtained for sealing and or abandonment of a PWS and STS.”</p> <p>• City of Marysville</p> <ul style="list-style-type: none">○ The City of Marysville submitted comments in a letter dated 08-30-19. The City recommended approval subject to the applicant addressing its comments as part of the final Construction Drawings. <u>Some</u> of those comments are listed below and summarized for reference. (Please refer to letter for all comments.)1. Sheet 4: Label all easements.2. Wastewater: All sanitary laterals are to be a minimum of 10 feet from the nearest manhole.3. Wastewater: The sanitary sewer shall be a maximum of five feet outside the proposed right-of-way. Dimensions (or a station and offset) shall be provided at each manhole.4. Wastewater: Sanitary laterals are to stop at the right-of-way. Connections from the right-of-way to the building shall be made when the building is constructed.5. Water: Water system appurtenances will not be permitted within the concrete sidewalk or driveway approaches.6. Water: Water services are to stop at the curb box. A continuous run of copper service shall be installed from the curb box to the building when the building is constructed. <p>• Jerome Township</p> <ul style="list-style-type: none">○ No comments received as of 09-04-19. <p>• ODOT District 6</p> <ul style="list-style-type: none">○ No comments received as of 09-04-19. <p>• Union Rural Electric</p> <ul style="list-style-type: none">○ URE submitted comments in a letter dated 09-03-19. <u>Some</u> of those comments are listed below and
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Staff Report – New California Hills XIII

	<p>summarized for reference. (Please refer to letter for all comments.)</p> <ol style="list-style-type: none">1. URE requires 20' easements for primary and secondary facilities. Electrical facilities can be located within 10' easements if adjacent property has additional easements or right-of-way for ingress egress totaling a minimum of 20'. Developer to install creek/stream crossings (directional bore if applicable) 10' beyond stream protection easements (when applicable).2. URE proposed several easements and provided an illustrative depiction of its request.3. Need to define the noted utility easements for clarity.4. URE requested these discrepancies be resolved prior to approving the future Final Plat. <p>• LUC Regional Planning Commission</p> <ol style="list-style-type: none">1. Sheet 1: Please note surveyor address and phone number (§313, 3.).2. Sheet 4: Please add any missing dimensions along north side of Sacramento Court (§313, 12.).3. Label easements and widths. Easements for water and sewer must be a minimum for 20' and 10' for other utilities (§313, 12.; §414).4. A letter from Jerome Township certifying that the Final Plat conforms with the Township's zoning is required before any approval of the Final Plat may be granted (§401; §412, 1.; §413, 2.).5. All bonds, surety, letters of credit, etc. shall be approved by the County Commissioners before any approval of the Final Plat may be granted (§326).
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Staff Recommendations:	<p>Staff recommends APPROVAL of New California Hills XIII – Preliminary Plat with the condition that all comments/modifications from LUC and reviewing agencies shall be incorporated into the Construction Drawings and Final Plat. The developer shall ensure that prior to Final Plat submittal, all requirements and items outlined in the Union County Subdivision Regulations are incorporated in the Final Plat prior to submittal.</p>
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Logan-Union-Champaign
regional planning commission

Staff Report – New California Hills XIII

Z&S Committee Recommendations:	
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EVERGREEN LAND COMPANY

6295 COSGRAY ROAD • DUBLIN, OHIO 43016
(614) 889-5510 • FAX(614) 889-6680

Letter of Transmittal

To: LUC Regional Planning Commission

10820 State Route 347

East Liberty, Ohio 43319

Date: August 21, 2019

Re: New California Hills 13

Attention: Brad Bodenmiller

We are sending you:

Copies	Date	No.	Item Description
1 Ea.			Check for Application Fee (\$2,590.00, Check #5744)
1 Ea.			Application Form
1 Ea.			Preliminary Plat Review Checklist
14 Ea.			Copies of Preliminary Plat 24"x36"
1 Ea.			Copy of deed
1 Ea.			Copy of previous New California Hills Declaration (deed restrictions)
1 Ea.			Electronic copy (DVD) of all submittal documents
1 Ea.			Copy of Columbia Gas letter

These are transmitted as checked below:

<input checked="" type="checkbox"/> For approval	<input type="checkbox"/> Approved as submitted	<input type="checkbox"/> Resubmit ___ copies for approval
<input type="checkbox"/> For your use	<input type="checkbox"/> Approved as noted	<input type="checkbox"/> Submit ___ copies for distribution
<input type="checkbox"/> As requested	<input type="checkbox"/> Returned for correction	<input type="checkbox"/> Return ___ corrected prints
<input checked="" type="checkbox"/> For review and comment		

Remarks: Please contact me if you have any questions, or need further information. Thank you.

wdunham@shepherdexcavating.com

Copy to:

Signed:

Wade Dunham

If enclosures are not as noted, kindly notify us at once.



Logan-Union-Champaign regional planning commission

Director: Bradley J. Bodenmiller

Application for Preliminary Plat Approval

Date: August 21, 2019

Name of Subdivision: New California Hills Section 13

Location: Behind Jerome Twp. Fire Station near intersection of Route 42 & New California Drive

Township: Jerome Military Survey: VMS 1440

Complete Parcel(s) Identification Number (PIN): 1500070481000

Have **ALL** Sketch Plan review letters been obtained? In Process (Engineer, SWCD, Board of Health)

Name of Applicant: Evergreen Land Company

Address: 6295 Cosgray Road

City: Dublin State: Ohio Zip: 43016

Phone: 614-889-5510 Fax: 614-889-6680 Email: wdunham@shepherdexcavating.com

Name of Owner of property to be subdivided: Shepherd Land Holding Company

Address: 6295 Cosgray Road

City: Dublin State: Ohio Zip: 43016

Phone: 614-889-5510 Fax: 614-889-6680 Email: wdunham@shepherdexcavating.com

Name of Applicant's Surveyor or Engineer: Diamond V, LLC / Steve Lamphear

Address: 8205 Smith Calhoun Road

City: Plain City State: Ohio Zip: 43064

Phone: 614-620-0331 Fax: 614-873-5769 Email: steve.l@diamondvllc.com

Proposed Acreage to be Subdivided: 20.286 acres (will not be subdivided)

Current Zoning Classification: PD (Planned Development District)

Proposed Zoning Changes: None (zoning previously amended)

Proposed Land Use: Single Family Residential

Development Characteristics

Number of proposed lots: 38 Typical lot width (feet): 70' min. at front bldg. setback

Number of proposed units: 38 Typical lot area (sq. ft.): 10,290 s.f. minimum

Single Family Units: 38 Multi-Family Units: N/A

Acreage to be devoted to recreation, parks or open space: 5.541

10820 St Rt 347, PO Box 219

East Liberty, Ohio 43319

• Phone: 937-666-3431 •

• Email: luc-rpc@lucplanning.com • Web: www.lucplanning.com



Logan-Union-Champaign regional planning commission

Director: Bradley J. Bodenmiller

Recreation facilities to be provided: Retention ponds, open spaces

Do you propose deed restrictions? (If yes, attach a copy): Yes ☒ No ☐

1. Proposed method of Supplying Water Service: Marysville public water

2. Proposed method of Sanitary Waste Disposal: Marysville public sewer
(If on-site disposal systems are proposed, please attach letter certifying the County Board of Health approval)

3. Requests for Variances from Subdivision Regs: None
(If yes, please explain variances and reason for variances)

List all proposed improvements and utilities and state your intention to install or provide a guarantee prior to final plat approval:

	Improvement	Installation	Guarantee
a.	Streets	Yes	
b.	Storm sewers / drainage system	Yes	
c.	Sanitary sewers		Yes
d.	Water lines		Yes
e.			

For Official Use

Date filed: _____ Filing Fee: _____

Date of Meeting of Planning Commission: _____

Action by Planning Commission: _____

If rejected, reason(s) for: _____

10820 St Rt 347, PO Box 219

East Liberty, Ohio 43319

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Logan-Union-Champaign regional planning commission

Director: Bradley J. Bodenmiller

Preliminary Plat Review Checklist

#	Required Item Description	Have	Need
1	Drawn at a scale not less than 1:100 and shall be on one or more sheets 24" X 36"	✓	
2	Proposed name of the subdivision, which shall not duplicate or closely approximate the name of any other subdivision in the county.	✓	
3	Location by section, range, and township or Virginia Military Survey (VMS).	✓	
4	Names, addresses and telephone numbers of the owner, subdivider, and professional surveyor or professional engineer who prepared the plat; and the name, address and telephone number of the professional surveyor who performed the boundary survey.	✓	
5	Date of survey.	✓	
6	Scale of the plat, north point, and date.	✓	
7	Boundaries of the subdivision and its acreage.	✓	
8	Names of adjacent subdivisions, owners of record of adjoining parcels of unsubdivided land, and the location of their boundary lines.	✓	
9	Locations, widths, and names of existing streets, railroad rights-of-way, easements, parks, permanent buildings, and corporation and township lines; location of wooded areas and other significant natural features; soil types and soil type limits; limits of Flood Hazard zones.	✓	
10	Zoning classification of the tract and adjoining properties.	✓	
11	Existing contours (USGS datum) at an interval of not greater than two feet if the slope of the ground is fifteen percent or less; and not greater than five feet where the slope is more than fifteen percent.	✓	
12	Existing sewers, water and gas mains, culverts and other underground structures, and electric and telephone poles and lines and other above ground structures within and adjacent to the tract.	✓	
13	Layout, names and widths of proposed streets and easements.	✓	
14	Building setback lines with dimensions.	✓	
15	Layout and dimensions of all proposed water and sewer lines, showing their connections with the existing systems, and all proposed easements for utility, water and sewer lines.	✓	
16	Layout, numbers and approximate dimensions of each lot. When lots are located on a curve or when side lot lines are not at ninety degree angles, the width at the building line shall be shown, if it is less than the frontage width. Location of access from lots to the proposed streets shall be shown.	✓	
17	Parcels of land to be reserved for public use or to be reserved by covenant for residents of the subdivision.	✓	

10820 St Rt 347, PO Box 219

East Liberty, Ohio 43319

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Logan-Union-Champaign regional planning commission

Director: Bradley J. Bodenmiller

18	The limits of all Flood Hazard Areas (zone A, AE, B, and X) as determined by the Federal Emergency Management Agency (show the FEMA map number and date). The Base Flood Elevation shall be determined and shown. Minimum first floor elevations shall be shown for all lots located within Flood Hazard Areas.	✓	
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Supplementary Information			
19	Statement of proposed use of lots, giving the type and number of dwelling units; and type of business or industry if use is not residential.	✓	
20	Description of proposed covenants and restrictions.	✓	
21	Description of proposed zoning changes.	✓	
22	Typical sections and tentative profiles of streets and other related improvements as required in Article 5. Calculations as required to justify horizontal and vertical curves, pipe sizes, etc. The County Engineer shall have approved the layout and design of the lots, streets and other improvements prior to the Preliminary Plat approval.	✓	
23	A preliminary drainage plan which shall identify adequate drainage outlets and shall contain adequate measures for control of erosion and siltation and for surface water management in accordance with Article 5 and the Technical Design Standards. The County Soil and Water Conservation District shall have approved the preliminary drainage plan prior to Preliminary Plat approval.	✓	
24	If the subdivider proposes individual household sewage systems, the County Board of Health or the OEPA shall have approved the use of individual household sewage systems prior to the Preliminary Plat approval.	✓	
25	If the subdivider proposes individual household wells, the subdivider shall supply evidence acceptable to the County Board of Health of the availability of satisfactory water. The County Board of Health or the OEPA shall have approved the use of individual household wells prior to the Preliminary Plat approval.	✓	
26	Letters from utility companies, as required, indicates approval of easement locations and widths prior to the Preliminary Plat approval.	✓	
27	A vicinity map at scale of generally not more than six thousand feet to an inch shall be shown on, or shall accompany, the Preliminary Plat. This map shall show all existing subdivisions, roads, and tract lines, together with the names of the owners of land immediately adjoining the proposed subdivision and between it and the nearest existing thoroughfares. It shall also show the most advantageous connections between the roads in the proposed subdivision and those of the neighboring areas.	✓	
28	Preliminary Plat Fees: Payment/Check made out to LUC Regional Planning Commission, based on the current fee schedule.	✓	

10820 St Rt 347, PO Box 219

East Liberty, Ohio 43319

• Phone: 937-666-3431 •

• Email: luc-rpc@lucplanning.com • Web: www.lucplanning.com

L.U.C. REGIONAL PLAN COMM

Check Number 5744

Check Date Aug 16, 2019

Check Amount \$2,590.00

Discount Take Amount Pai

Item to be Paid - Description

APPLICATION FEE - NCH 13 - PRELIMINARY PLAT

2,590.00

THE FACE OF THIS DOCUMENT HAS A COLORED BACKGROUND ON WHITE PAPER

EVERGREEN LAND COMPANY

6295 COSGRAY ROAD
DUBLIN, OHIO 43016
(614) 889-5510
(614) 791-3008 FAXTHE RICHWOOD BANKING COMPANY
PLAIN CITY, OHIO

56-658/441

5744

"Void After 90 Days"

Memo:

DATE

AMOUNT

Aug 16, 2019

*****\$2,590.00

PAY *****Two Thousand Five Hundred Ninety and 00/100 Dollars

TO THE
ORDER
OF*****
L.U.C. REGIONAL PLAN COMM
East Liberty, OH
USA

THE BACK OF THIS DOCUMENT CONTAINS CHECK SECURITY WATERMARK AND COIN REACTIVE INK

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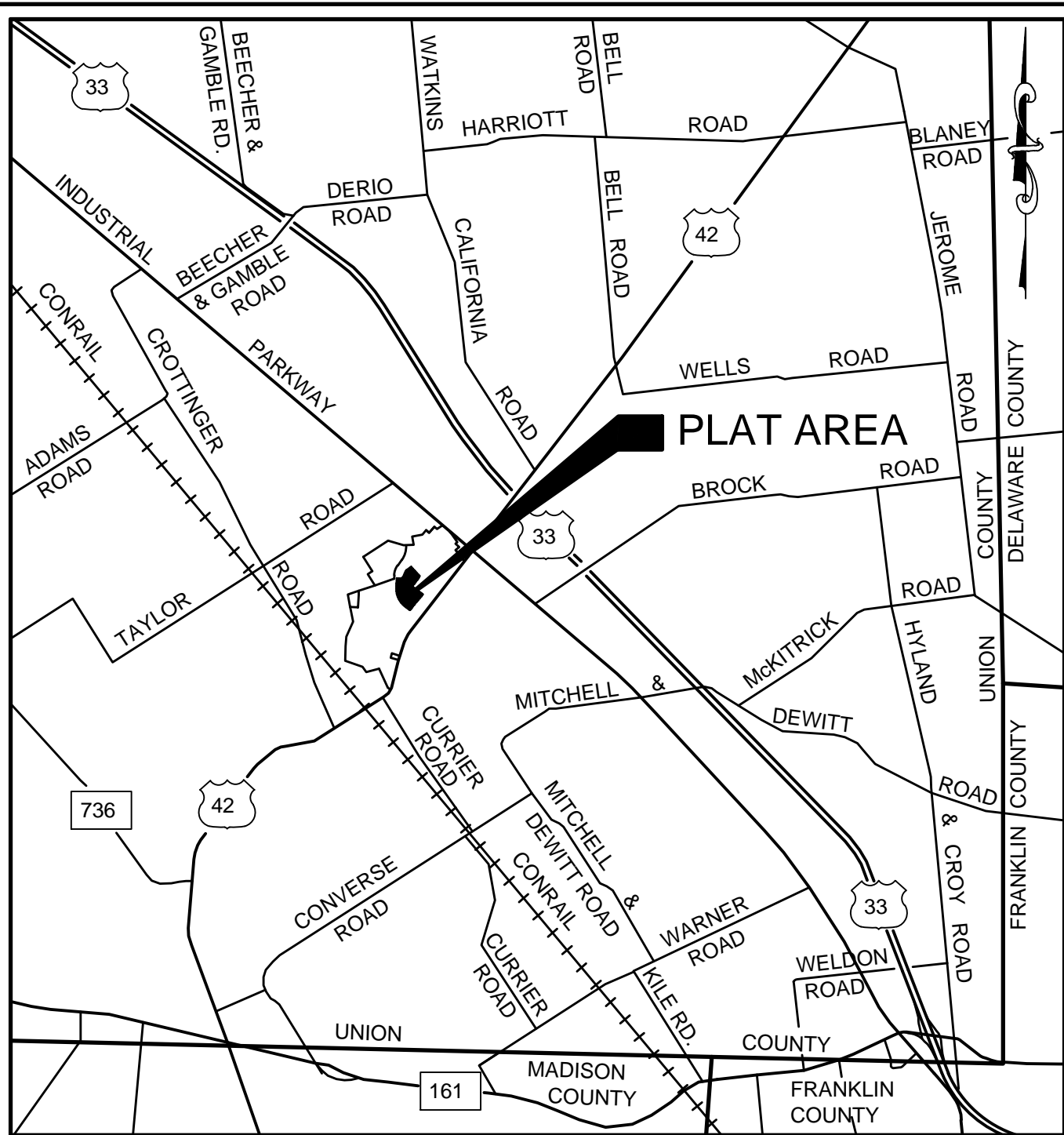
WZ478513-03-14

Security Features Included Details on back

JEROME TOWNSHIP, UNION COUNTY, OHIO
NEW CALIFORNIA HILLS XIII
PRELIMINARY PLAT

2019

VIRGINIA MILITARY SURVEY 1440



VICINITY MAP
SCALE: 1"=1 MILE

STANDARD DEED RESTRICTIONS FOR UNION COUNTY
THERE SHALL BE NO DISCHARGE INTO ANY STREAMS OR STORM WATER OUTLETS OF ANY WASTE MATERIALS IN VIOLATION OF APPLICABLE STATE OR FEDERAL REGULATIONS.

NO PERMANENT STRUCTURES, PLANTING, ETC. SHALL BE PERMITTED IN EASEMENT AREAS.

MAINTENANCE OF DRAINAGE DITCHES SHALL BE THE RESPONSIBILITY OF THE OWNERS AFFECTED. IF ANY OWNER DAMAGES A DITCH, THAT OWNER SHALL BE RESPONSIBLE FOR THE REPAIR. REPAIRS SHALL BE MADE IMMEDIATELY. EXISTING DRAIN TILES WITHIN NEW CALIFORNIA HILLS SUBDIVISION SHALL BE RE-ROUTED SO THAT DRAINAGE ENTERING TILES WILL CONTINUE TO FLOW FREELY.

NO CONSTRUCTION MAY BEGIN OR BUILDING STARTED WITHOUT THE INDIVIDUAL LOT OWNER OBTAINING ZONING, BUILDING, WATER & SEWER TAP AND DRIVEWAY PERMITS. ZONING PERMITS ARE OBTAINED FROM THE TOWNSHIP ZONING INSPECTOR. BUILDING PERMITS ARE OBTAINED FROM THE UNION COUNTY BUILDING REGULATION DEPARTMENT AND DRIVEWAY PERMITS ARE OBTAINED FROM THE UNION COUNTY ENGINEER'S OFFICE. WATER & SEWER TAP PERMITS ARE OBTAINED FROM THE APPLICABLE SERVICE PROVIDER.

THE LOT OWNER AND HIS SUCCESSORS AND ASSIGNS AGREE TO ASSUME ANY AND ALL SANITARY SEWER AND WATER SERVICE CHARGES WHICH ARE ESTABLISHED BY THE APPLICABLE SERVICE PROVIDER.

THE LOT OWNER AND HIS SUCCESSORS AND ASSIGNS AGREE TO ASSUME ANY AND ALL DITCH MAINTENANCE CHARGES WHICH ARE ESTABLISHED BY THE UNION COUNTY COMMISSIONERS FOR THIS SUBDIVISION.

THE REAR YARDS OF LOTS 336, 351, 352, 353 & 373 ABUT AN EXISTING STORMWATER RETENTION BASIN. MOWING OF THE BASIN WILL BE PERFORMED AS PART OF THE ANNUAL COUNTY DITCH MAINTENANCE ASSESSMENT. MOWING WILL OCCUR APPROXIMATELY 2 TIMES PER YEAR TO KEEP THE BASIN FUNCTIONAL. PROPERTY OWNERS MAY MOW THE BASIN MORE FREQUENTLY AT THEIR OWN EXPENSE.

GRADING OF THE STORM WATER RETENTION AREAS SHALL NOT BE CHANGED.

ALL CONSTRUCTION SHALL MEET THE REQUIREMENTS OF JEROME TOWNSHIP, UNION COUNTY, THE CITY OF MARYSVILLE (PROVIDER OF WATER AND SANITARY SEWER) AND OTHER APPLICABLE CODE AUTHORITIES.

NOTES

1. NEW CALIFORNIA HILLS SECTION 13 SHALL BE SUBJECT TO THE SAME DEED RESTRICTIONS AS PREVIOUS SECTIONS 2-12.
2. NEW CALIFORNIA HILLS SECTION 13 PROPERTY OWNERS SHALL BE INCLUDED IN THE EXISTING "NEW CALIFORNIA HILLS HOMEOWNERS ASSOCIATION" (HOA).
3. PARK/OPEN SPACE AREAS SHALL BE DEEDED TO THE TOWNSHIP. IF THE TOWNSHIP DOES NOT WISH TO ACCEPT THEM, THESE AREAS WILL BE DEEDED TO THE HOA AND WILL BE OWNED AND MAINTAINED BY THE HOA.

ENGINEER

PIZZINO ENGINEERING
& CONSULTING, LLC
9495 STATE ROUTE 161
PLAIN CITY, OHIO 43064
(614) 325-2464

ORIGINAL SURVEY

DATE OF SURVEY: 12-31-1997
SURVEY BOOK 16, PAGE 96
BY M-E CIVIL ENGINEERING INC.
(NOW IBI GROUP)

SURVEYOR:

 **Diamond V, LLC**
Surveyors & Engineers

8205 SMITH CALHOUN RD.
PLAIN CITY, OH 43064
FAX: 614-873-5769
PHONE: 614-620-0331
www.diamondvllc.com

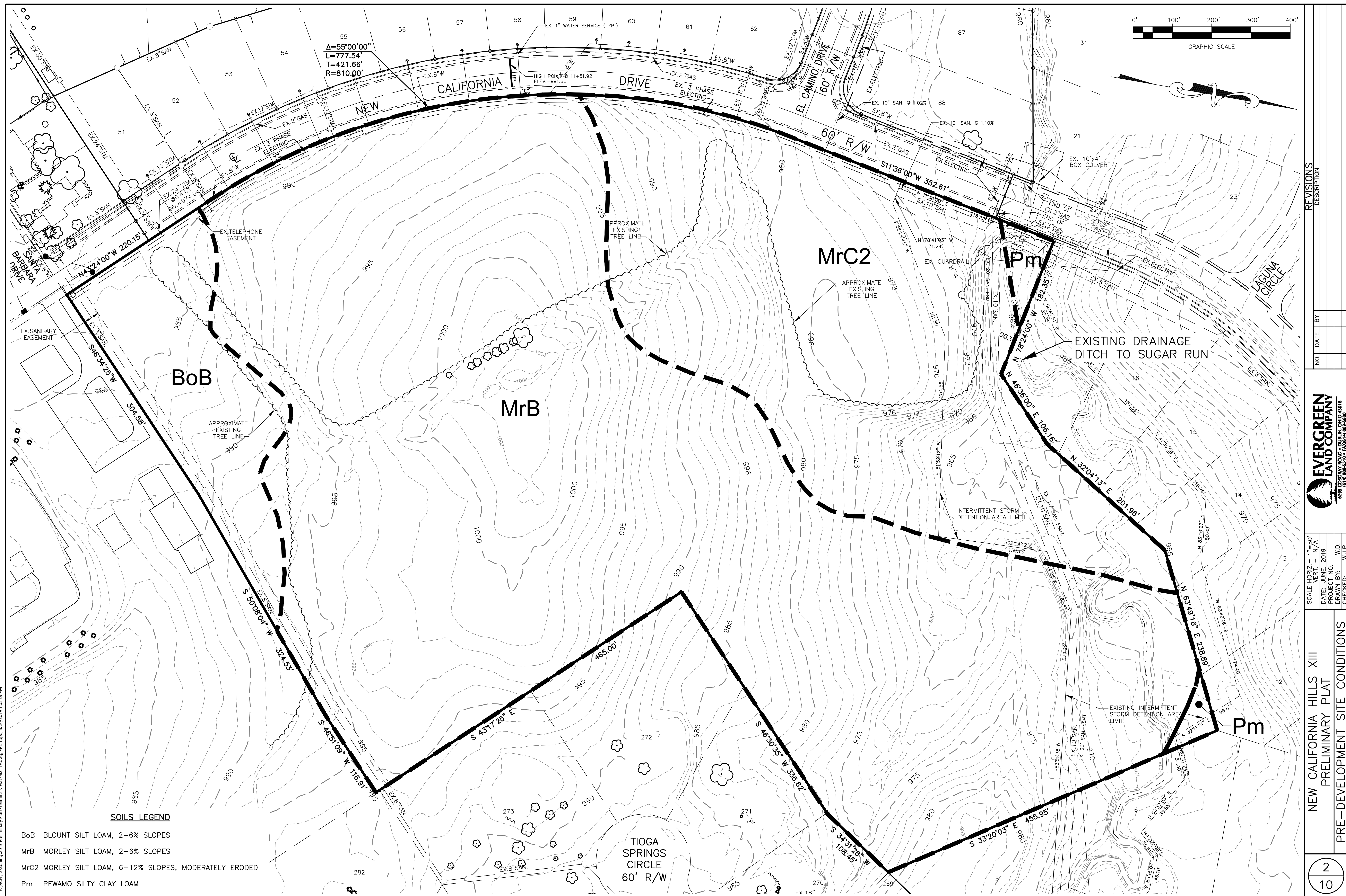
OWNER


SHEPHERD LAND HOLDING COMPANY
6295 COSGRAY ROAD
DUBLIN, OHIO 43016
614-889-5510

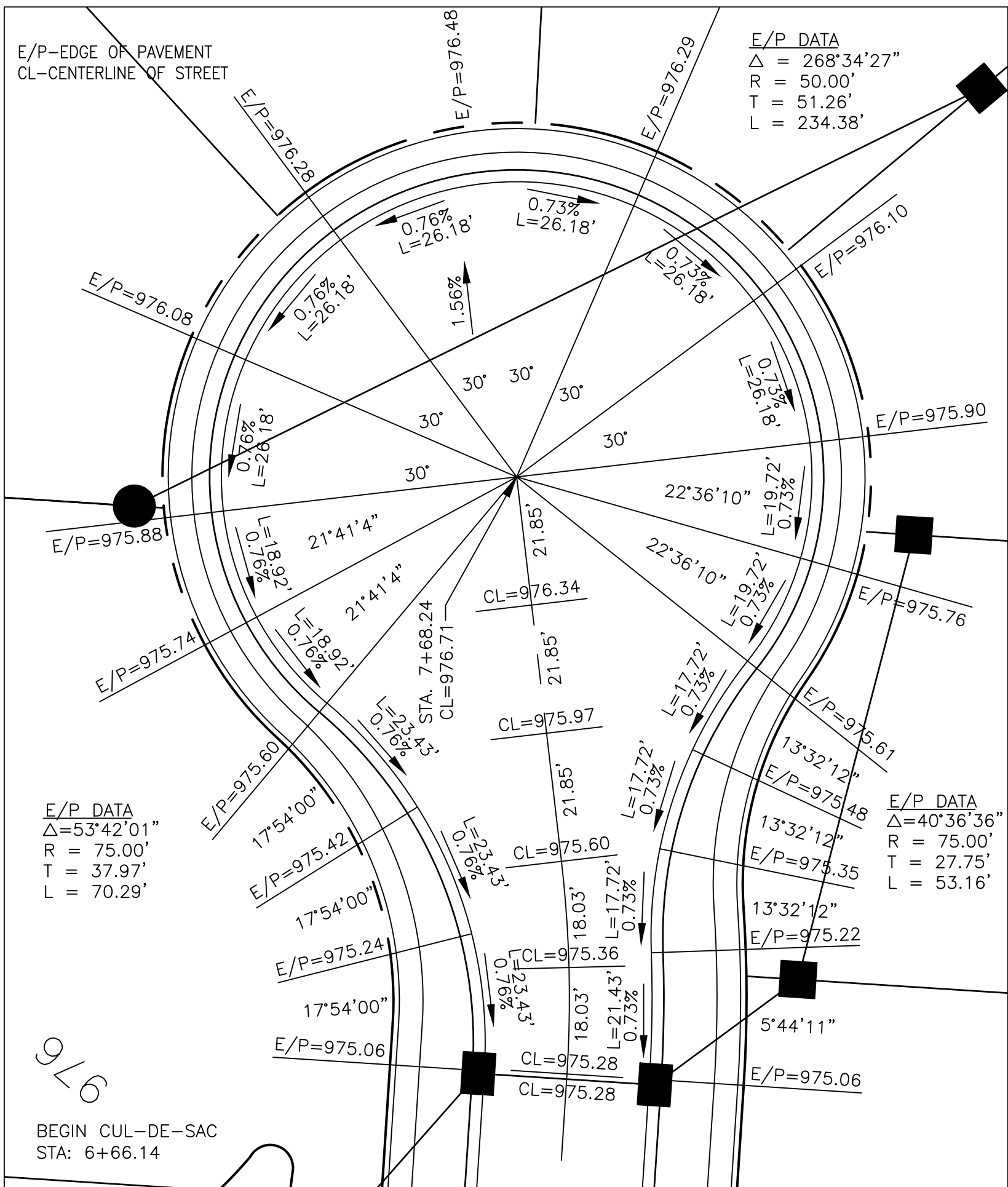
(PROPERTY TO BE TRANSFERRED TO
EVERGREEN LAND COMPANY PRIOR TO
COMMENCEMENT OF CONSTRUCTION)

DEVELOPED AND DESIGNED BY:

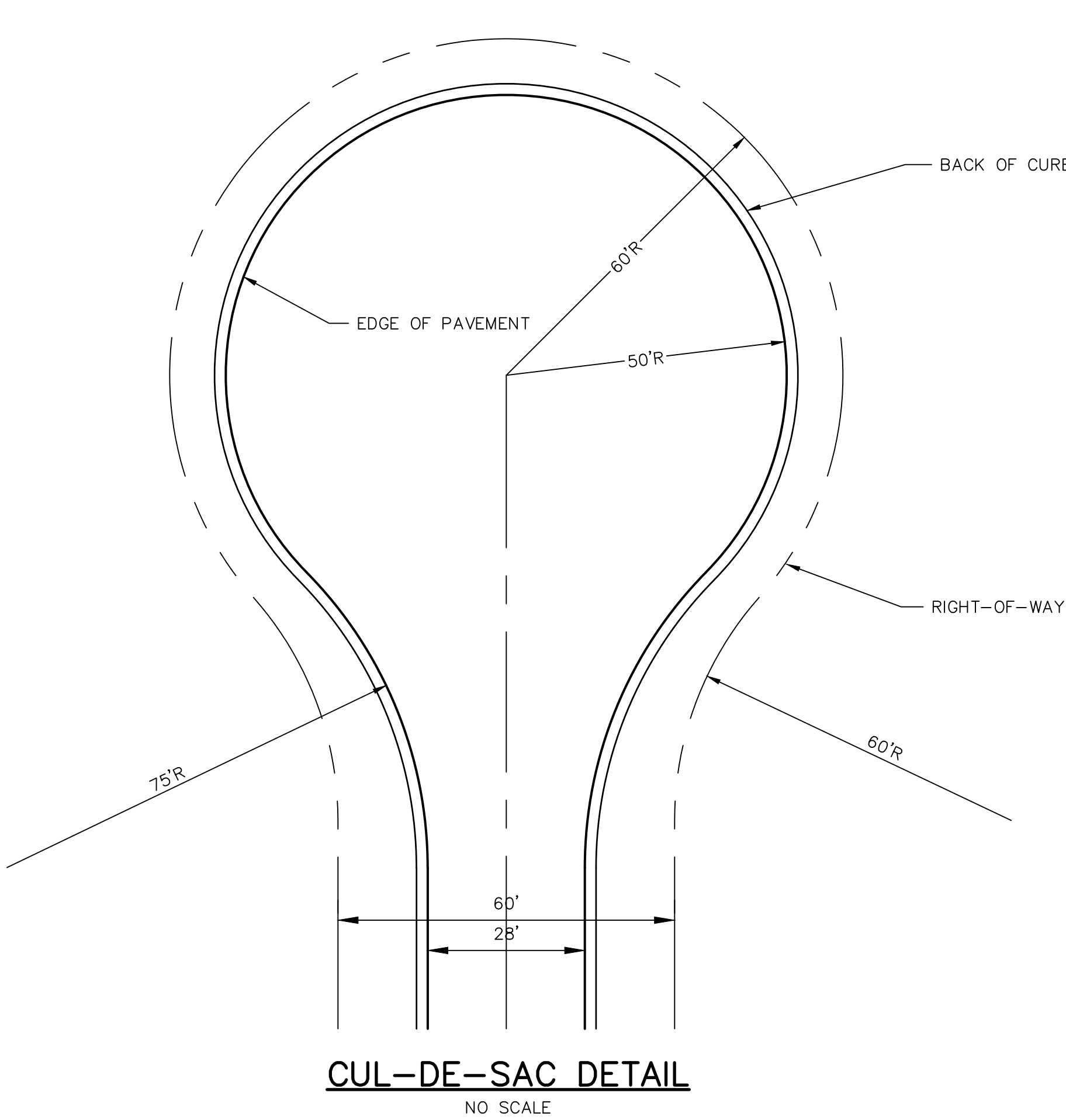
 **EVERGREEN
LAND COMPANY**
6295 COSGRAY ROAD • DUBLIN, OHIO 43016
(614) 889-5510 • FAX(614) 889-6680



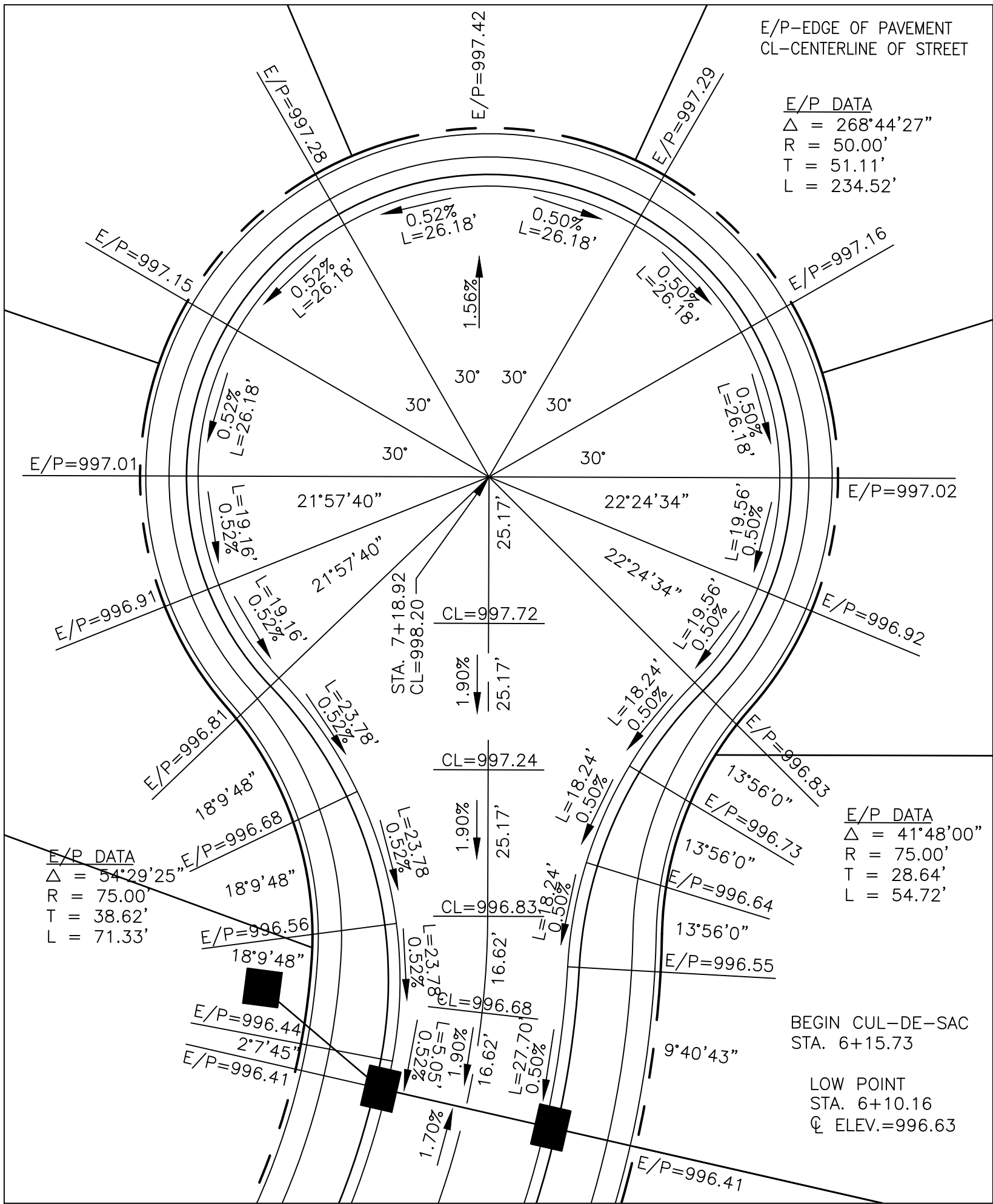
<div><div><div>2</div><div>10</div></div></div>	NEW CALIFORNIA HILLS XIII PRELIMINARY PLAT	SCALE: HORIZ - 1"=50' VERT. - N/A	<div><div><div></div><div><div>EVERGREEN LAND COMPANY</div><div>6285 COSGRAV ROAD • DUBLIN, OHIO 43016 (614) 885-5310 • FAX (614) 885-6680</div></div></div></div>	<table><thead><tr><th>NO.</th><th>DATE</th><th>BY</th><th>REVISIONS DESCRIPTION</th></tr></thead><tbody><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr></tbody></table>	NO.	DATE	BY	REVISIONS DESCRIPTION																
	NO.	DATE			BY	REVISIONS DESCRIPTION																		
	PRE-DEVELOPMENT SITE CONDITIONS	DATE: JUNE, 2019																						
		PROJECT NO:																						
		DRAWN BY: W.D.																						
		CHECKED: W.J.P.																						



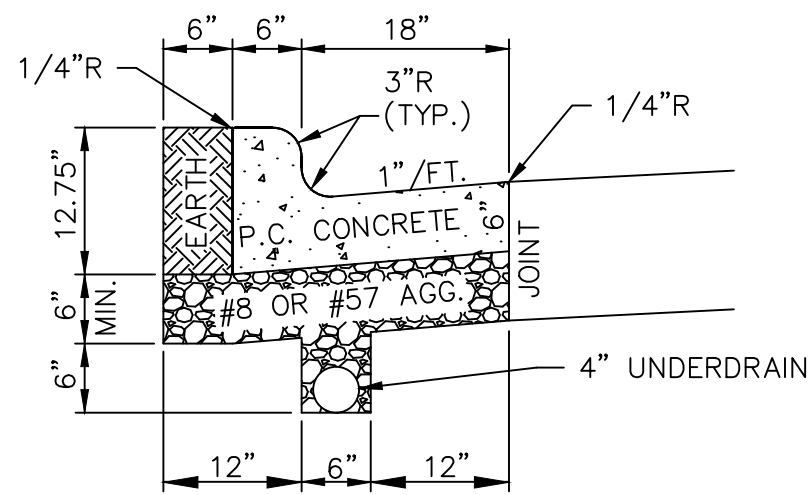
SACRAMENTO COURT DETAIL
SCALE: 1"=20'



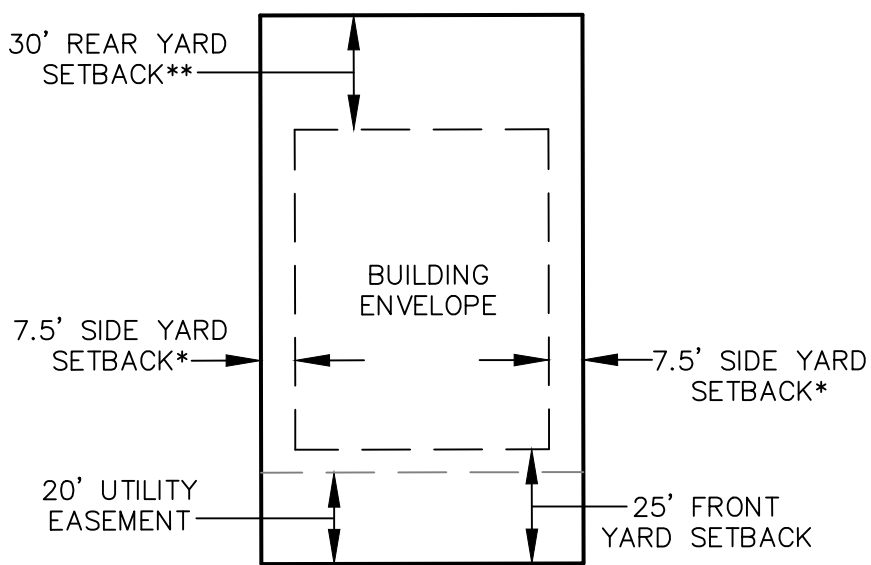
CUL-DE-SAC DETAIL
NO SCALE



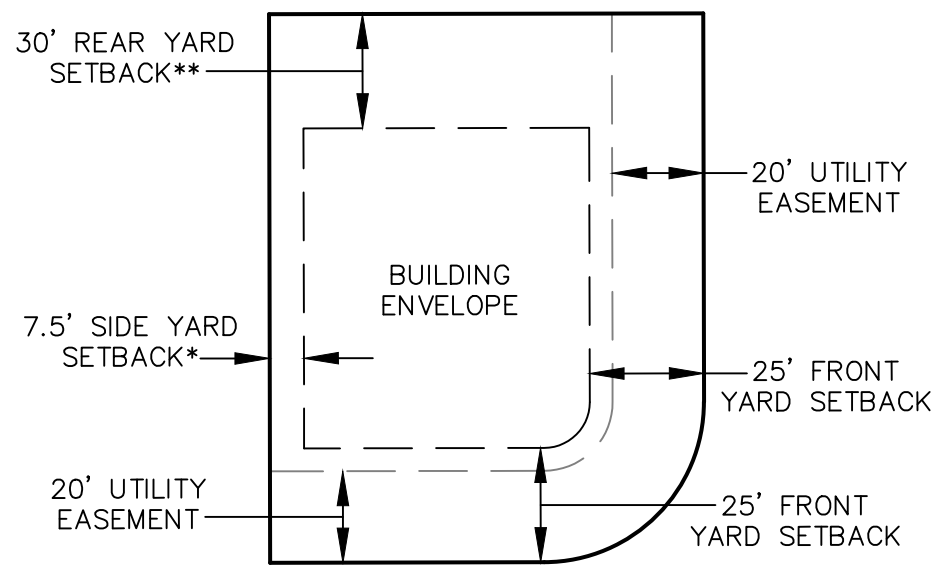
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SCALE: 1"=20'



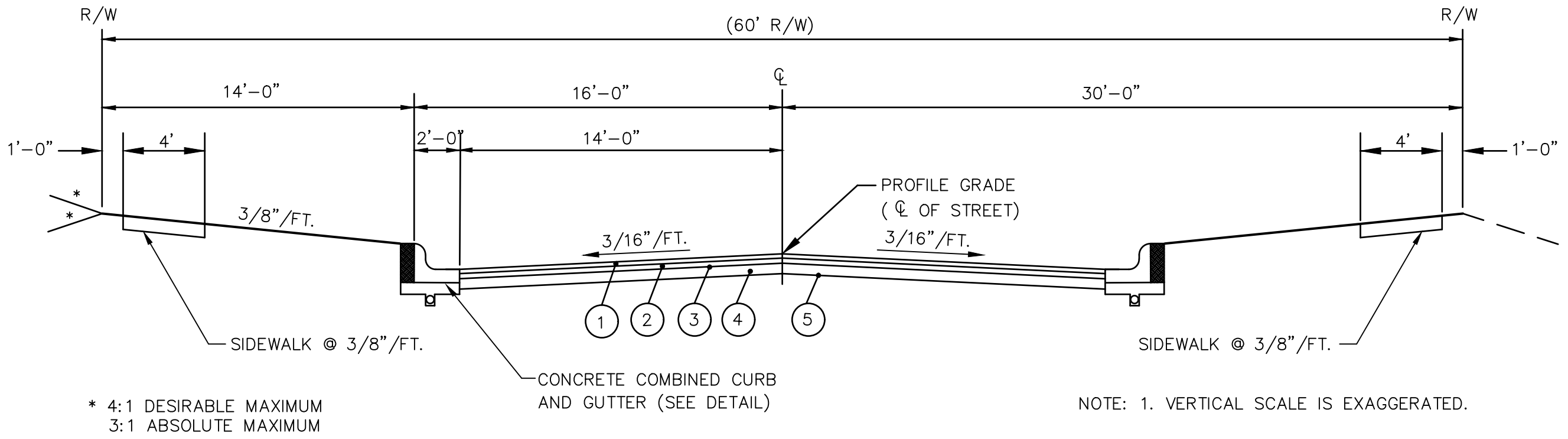
CONCRETE COMBINED CURB AND GUTTER
NO SCALE



TYPICAL LOT SETBACKS
NO SCALE



TYPICAL CORNER LOT SETBACKS
NO SCALE



LOCAL STREET WITH CURB AND GUTTER
NO SCALE

- ① 1.25\"/>

GRADING NOTE
28' WIDE PAVEMENT
TYPICAL EDGE OF PAVEMENT IS 0.22' BELOW CENTERLINE GRADE
TOP OF CURB ELEVATION IS 0.16' ABOVE CENTERLINE GRADE
RIGHT-OF-WAY ELEVATION IS 0.60' ABOVE CENTERLINE GRADE
F.G. ELEVATION IS 1.50' ABOVE RIGHT-OF-WAY ELEVATION AT HIGH SIDE OF LOT

36' WIDE PAVEMENT (EXISTING NEW CALIFORNIA DRIVE)
TYPICAL EDGE OF PAVEMENT IS 0.2813' BELOW CENTERLINE GRADE
TOP OF CURB ELEVATION IS 0.0937' ABOVE CENTERLINE GRADE
RIGHT-OF-WAY ELEVATION IS 0.41' ABOVE CENTERLINE GRADE
F.G. ELEVATION IS 1.50' ABOVE RIGHT-OF-WAY ELEVATION AT HIGH SIDE OF LOT

(Based on Ground Water Recharge Table 2, Hydrologic Soils Group "C")
Formula: $Vre = A \cdot Dre / 12$
A = Acres
Dre = Recharge in Inches

Predeveloped			
Acres	Land Use	Dre	Vre
11.09	Wood/Forest	10.7	9.89
0	Brush	10.7	0.00
0	Meadow	10.6	0.00
0	Managed Wood	10	0.00
6.68	Pasture	9.9	5.51
0	Row Crop	9	0.00
0	Urban Grasses	10.3	0.00
0	Low Density Residential	10.3	0.00
0	Low Density Residential	9	0.00
0	Medium Density Residential	7.8	0.00
0	Medium Density Residential	7.6	0.00
0	Medium Density Residential	6.5	0.00
0	High Density Residential	5	0.00
0	Commercial	2.9	0.00
17.77		15.40	Total Inches

Developed			
Acres	Land Use	Dre	Vre
0	Wood/Forest	10.7	0.00
0	Brush	10.7	0.00
0	Meadow	10.6	0.00
3	Managed Wood	10	2.50
0	Pasture	9.9	0.00
0	Row Crop	9	0.00
0	Urban Grasses	10.3	0.00
0	Low Density Residential	10.3	0.00
0	Low Density Residential	9	0.00
0	Medium Density Residential	7.8	0.00
14.77	Medium Density Residential	7.6	9.35
0	Medium Density Residential	6.5	0.00
0	High Density Residential	5	0.00
0	Commercial	2.9	0.00
17.77		11.85	Total Inches

Mitigation			
Acres	Land Use	Dre	Vre
0	Wood/Forest	10.7	0.00
3.98	Brush	10.7	3.55
0	Meadow	10.6	0.00
0	Managed Wood	10	0.00
0	Pasture	9.9	0.00
0	Row Crop	9	0.00
0	Urban Grasses	10.3	0.00
0	Low Density Residential	10.3	0.00
0	Low Density Residential	9	0.00
0	Medium Density Residential	7.8	0.00
0	Medium Density Residential	7.6	0.00
0	Medium Density Residential	6.5	0.00
0	High Density Residential	5	0.00
0	Commercial	2.9	0.00
3.98		3.55	Total Inches

DEFICIT WILL BE MITIGATED USING PARCEL #1500070511000

GROUNDWATER RECHARGE CALCULATIONS
NO SCALE

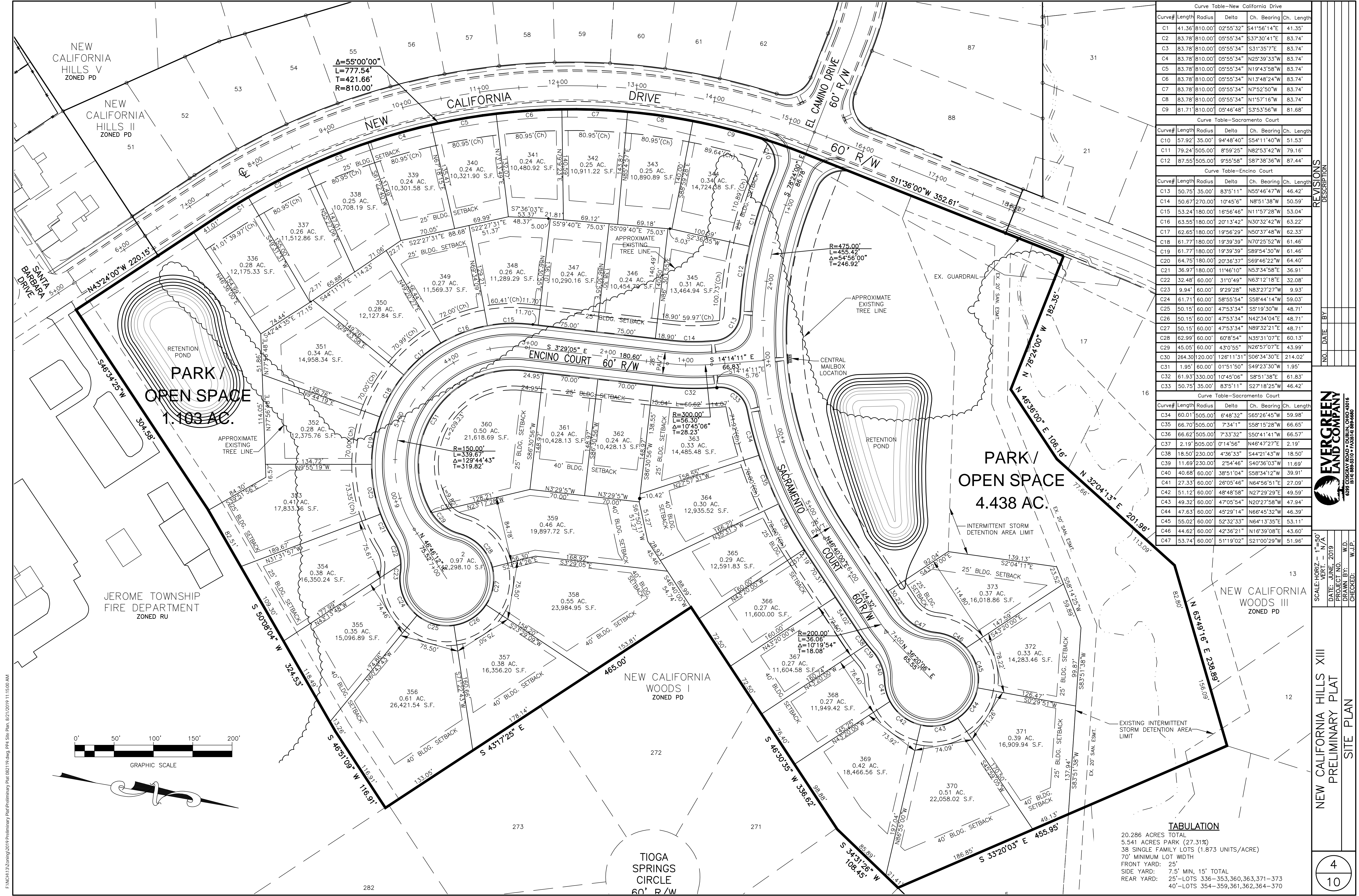
REVISIONS
DESCRIPTION

NO. DATE BY



SCALE: HORIZ. - N/A
VERT. - N/A
DATE: JUNE, 2019
PROJECT NO.
DRAWN BY: W.D.
CHECKED: W.J.P.

NEW CALIFORNIA HILLS XIII
PRELIMINARY PLAT
TYPICAL DETAILS



Curve Table-New California Drive						
Curve#	Length	Radius	Delta	Ch. Bearing	Ch. Length	
C1	41.36'	810.00'	02°55'32"	S41°56'14"E	41.35'	
C2	83.78'	810.00'	05°55'34"	S37°30'41"E	83.74'	
C3	83.78'	810.00'	05°55'34"	S31°35'7"E	83.74'	
C4	83.78'	810.00'	05°55'34"	N25°39'33"W	83.74'	
C5	83.78'	810.00'	05°55'34"	N19°43'58"W	83.74'	
C6	83.78'	810.00'	05°55'34"	N13°48'24"W	83.74'	
C7	83.78'	810.00'	05°55'34"	N7°52'50"W	83.74'	
C8	83.78'	810.00'	05°55'34"	N1°57'16"W	83.74'	
C9	81.71'	810.00'	05°46'48"	S3°53'56"W	81.68'	
Curve Table-Sacramento Court						
Curve#	Length	Radius	Delta	Ch. Bearing	Ch. Length	
C10	57.92'	35.00'	94°48'40"	S54°11'40"W	51.53'	
C11	79.24'	505.00'	8°59'25"	N82°53'42"W	79.16'	
C12	87.55'	505.00'	9°55'58"	S87°38'36"W	87.44'	
Curve Table-Encino Court						
Curve#	Length	Radius	Delta	Ch. Bearing	Ch. Length	
C13	50.75'	35.00'	83°5'11"	N55°46'47"W	46.42'	
C14	50.67'	270.00'	10°45'6"	N8°51'38"W	50.59'	
C15	53.24'	180.00'	16°56'46"	N11°57'28"W	53.04'	
C16	63.55'	180.00'	20°13'42"	N30°32'42"W	63.22'	
C17	62.65'	180.00'	19°56'29"	N50°37'48"W	62.33'	
C18	61.77'	180.00'	19°39'39"	N70°25'52"W	61.46'	
C19	61.77'	180.00'	19°39'39"	S89°54'30"W	61.46'	
C20	64.75'	180.00'	20°36'37"	S69°46'22"W	64.40'	
C21	36.97'	180.00'	11°46'10"	N53°34'58"E	36.91'	
C22	32.48'	60.00'	31°0'49"	N63°12'18"E	32.08'	
C23	9.94'	60.00'	9°29'28"	N8°32'27"W	9.93'	
C24	61.71'	60.00'	58°55'54"	S58°44'14"W	59.03'	
C25	50.15'	60.00'	47°53'34"	S5°19'30"W	48.71'	
C26	50.15'	60.00'	47°53'34"	N42°34'04"E	48.71'	
C27	50.15'	60.00'	47°53'34"	N89°32'21"E	48.71'	
C28	62.99'	60.00'	60°8'54"	N35°31'07"E	60.13'	
C29	45.05'	60.00'	43°0'55"	N26°57'07"E	43.99'	
C30	264.30'	120.00'	126°11'31"	S06°34'30"E	214.02'	
C31	1.95'	60.00'	01°51'50"	S49°23'30"W	1.95'	
C32	61.93'	330.00'	10°45'06"	S8°51'38"E	61.83'	
C33	50.75'	35.00'	83°5'11"	S27°18'25"W	46.42'	
Curve Table-Sacramento Court						
Curve#	Length	Radius	Delta	Ch. Bearing	Ch. Length	
C34	60.01'	505.00'	6°48'32"	S65°26'45"W	59.98'	
C35	66.70'	505.00'	7°34'1"	S58°15'28"W	66.65'	
C36	66.62'	505.00'	7°33'32"	S50°41'41"W	66.57'	
C37	2.19'	505.00'	01°4'56"	N46°47'27"E	2.19'	
C38	18.50'	230.00'	4°36'33"	S44°21'43"W	18.50'	
C39	11.69'	230.00'	2°54'46"	S40°36'03"W	11.69'	
C40	40.68'	60.00'	38°51'04"	S58°34'12"W	39.91'	
C41	27.33'	60.00'	26°05'46"	N64°56'51"E	27.09'	
C42	51.12'	60.00'	48°48'58"	N27°29'29"E	49.59'	
C43	49.32'	60.00'	47°05'54"	N20°27'58"W	47.94'	
C44	47.63'	60.00'	45°29'14"	N66°45'32"E	46.39'	
C45	55.02'	60.00'	52°32'33"	N64°13'35"E	53.11'	
C46	44.62'	60.00'	42°36'21"	N16°39'08"E	43.60'	
C47	53.74'	60.00'	51°19'02"	S21°00'29"W	51.96'	

TABULATION	
20.286 ACRES TOTAL	
5.541 ACRES PARK (27.31%)	
38 SINGLE FAMILY LOTS (1.873 UNITS/ACRE)	
70' MINIMUM LOT WIDTH	
FRONT YARD: 25'	
SIDE YARD: 7.5' MIN, 15' TOTAL	
REAR YARD: 25'-LOTS 336-353,360,363,371-373	
40'-LOTS 354-359,361,362,364-370	

REVISIONS

NO.	DATE	BY	DESCRIPTION

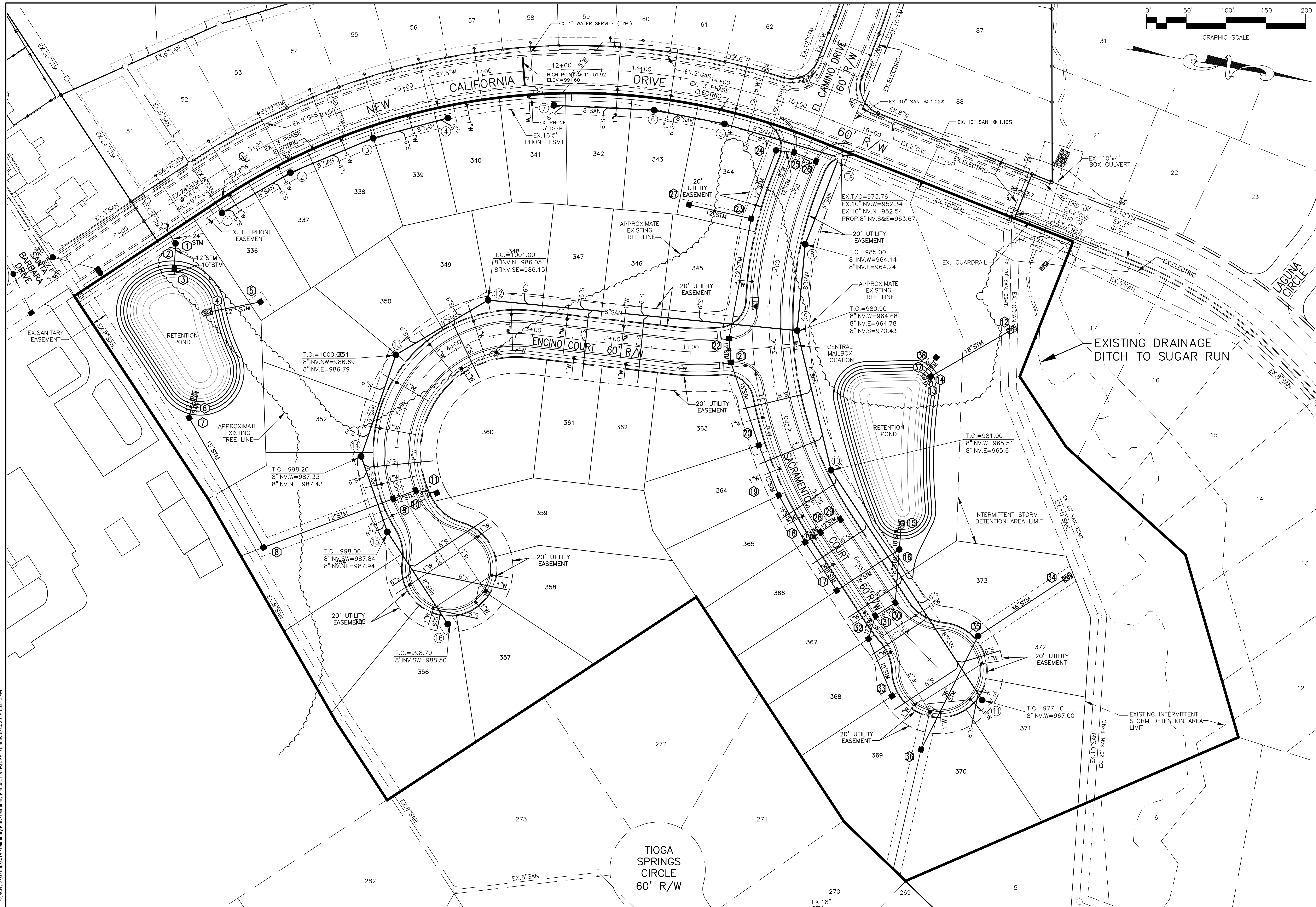
EVERGREEN LAND COMPANY
6395 COSGROVE ROAD • DUBLIN, OHIO 43016
(614) 885-9310 • FAX (614) 885-5860

NEW CALIFORNIA HILLS XIII
PRELIMINARY PLAT
SITE PLAN

SCALE: HORIZ. - 1"=50'
VERT. - N/A
DATE: JUNE, 2019
PROJECT NO.
DRAWN BY: W.J.P.
CHECKED:

4
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REVISIONS

DESCRIPTION

NO. DATE BY

EVERGREEN LAND COMPANY
6395 COSGAY ROAD • DUBLIN, OHIO 43016
(614) 885-5310 • FAX (614) 885-5560

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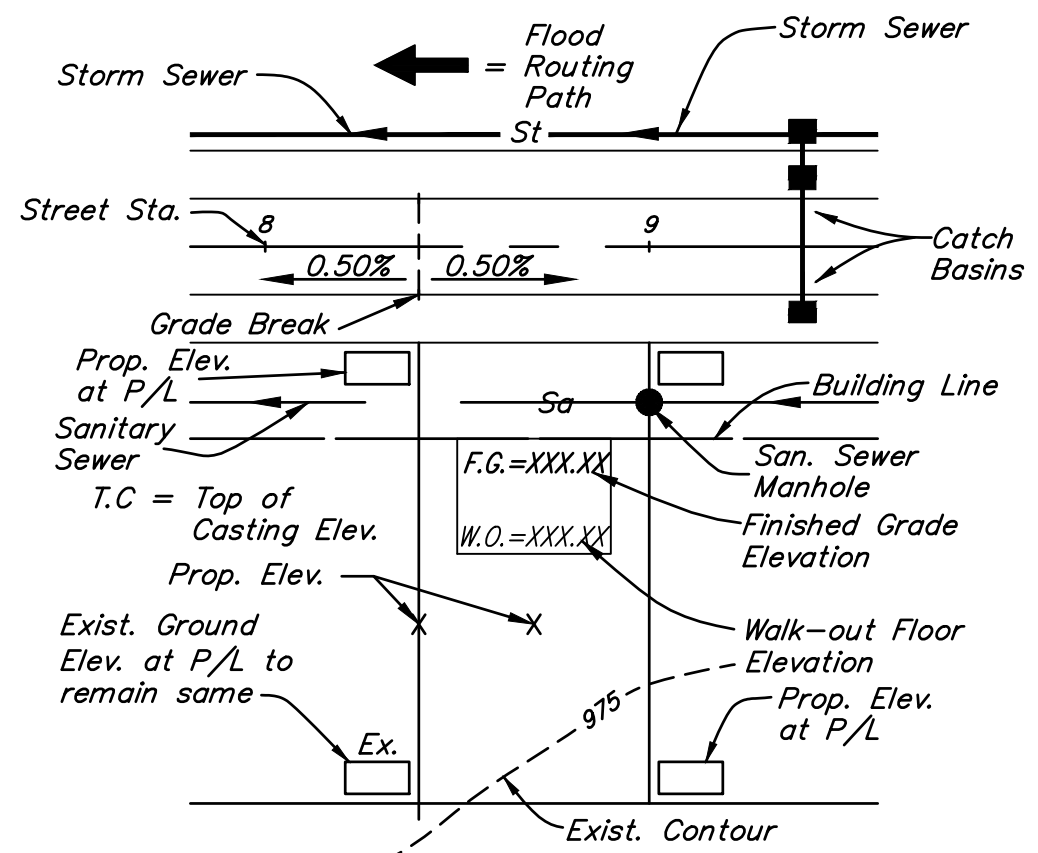
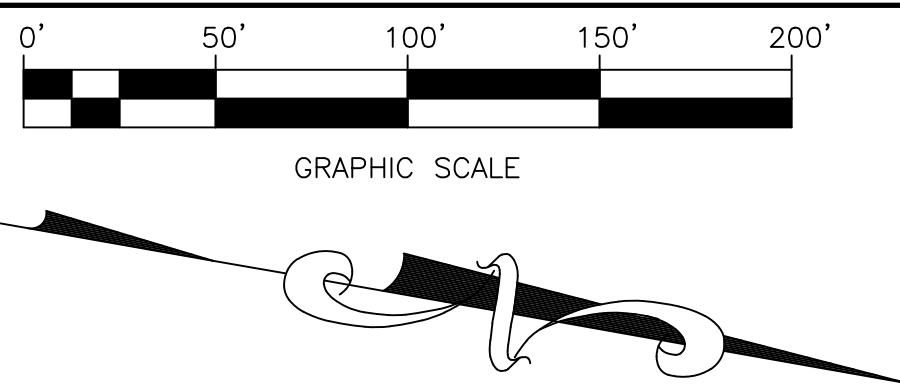
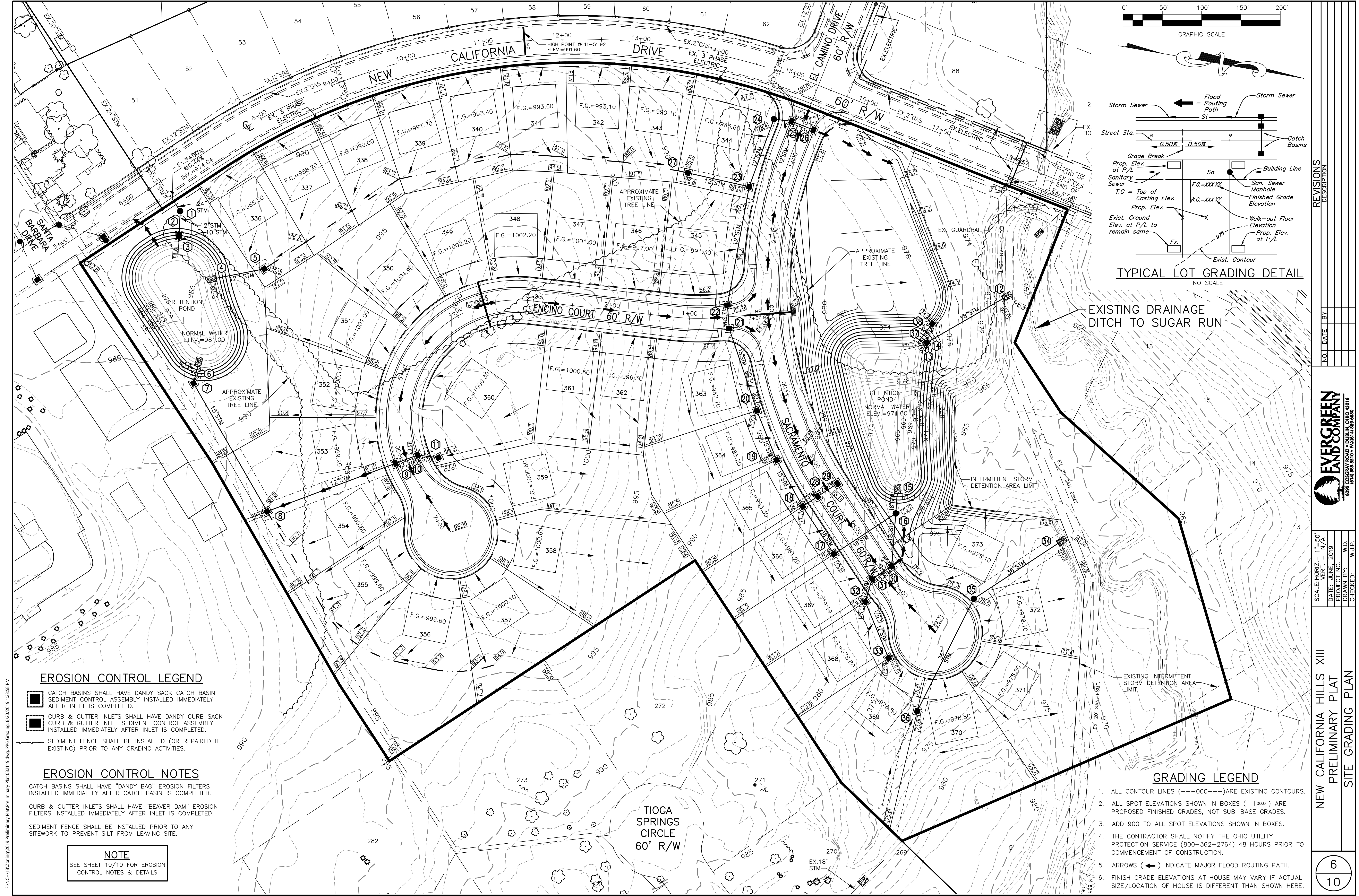
NEW CALIFORNIA HILLS XIII

PRELIMINARY PLAT

SITE UTILITIES PLAN

5

10



TYPICAL LOT GRADING DETAIL
NO SCALE

EXISTING DRAINAGE
DITCH TO SUGAR RUN

EROSION CONTROL LEGEND


- CATCH BASINS SHALL HAVE DANDY SACK CATCH BASIN SEDIMENT CONTROL ASSEMBLY INSTALLED IMMEDIATELY AFTER INLET IS COMPLETED.
- CURB & GUTTER INLETS SHALL HAVE DANDY CURB SACK CATCH BASIN SEDIMENT CONTROL ASSEMBLY INSTALLED IMMEDIATELY AFTER INLET IS COMPLETED.
- SEDIMENT FENCE SHALL BE INSTALLED (OR REPAIRED IF EXISTING) PRIOR TO ANY GRADING ACTIVITIES.

EROSION CONTROL NOTES


- CATCH BASINS SHALL HAVE "DANDY BAG" EROSION FILTERS INSTALLED IMMEDIATELY AFTER CATCH BASIN IS COMPLETED.
- CURB & GUTTER INLETS SHALL HAVE "BEAVER DAM" EROSION FILTERS INSTALLED IMMEDIATELY AFTER INLET IS COMPLETED.
- SEDIMENT FENCE SHALL BE INSTALLED PRIOR TO ANY SITEWORK TO PREVENT SILT FROM LEAVING SITE.

NOTE
SEE SHEET 10/10 FOR EROSION
CONTROL NOTES & DETAILS

GRADING LEGEND

- ALL CONTOUR LINES (---000---) ARE EXISTING CONTOURS.
- ALL SPOT ELEVATIONS SHOWN IN BOXES () ARE PROPOSED FINISHED GRADES, NOT SUB-BASE GRADES.
- ADD 900 TO ALL SPOT ELEVATIONS SHOWN IN BOXES.
- THE CONTRACTOR SHALL NOTIFY THE OHIO UTILITY PROTECTION SERVICE (800-362-2764) 48 HOURS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- ARROWS () INDICATE MAJOR FLOOD ROUTING PATH.
- FINISH GRADE ELEVATIONS AT HOUSE MAY VARY IF ACTUAL SIZE/LOCATION OF HOUSE IS DIFFERENT THAN SHOWN HERE.

REVISIONS	
NO.	DATE



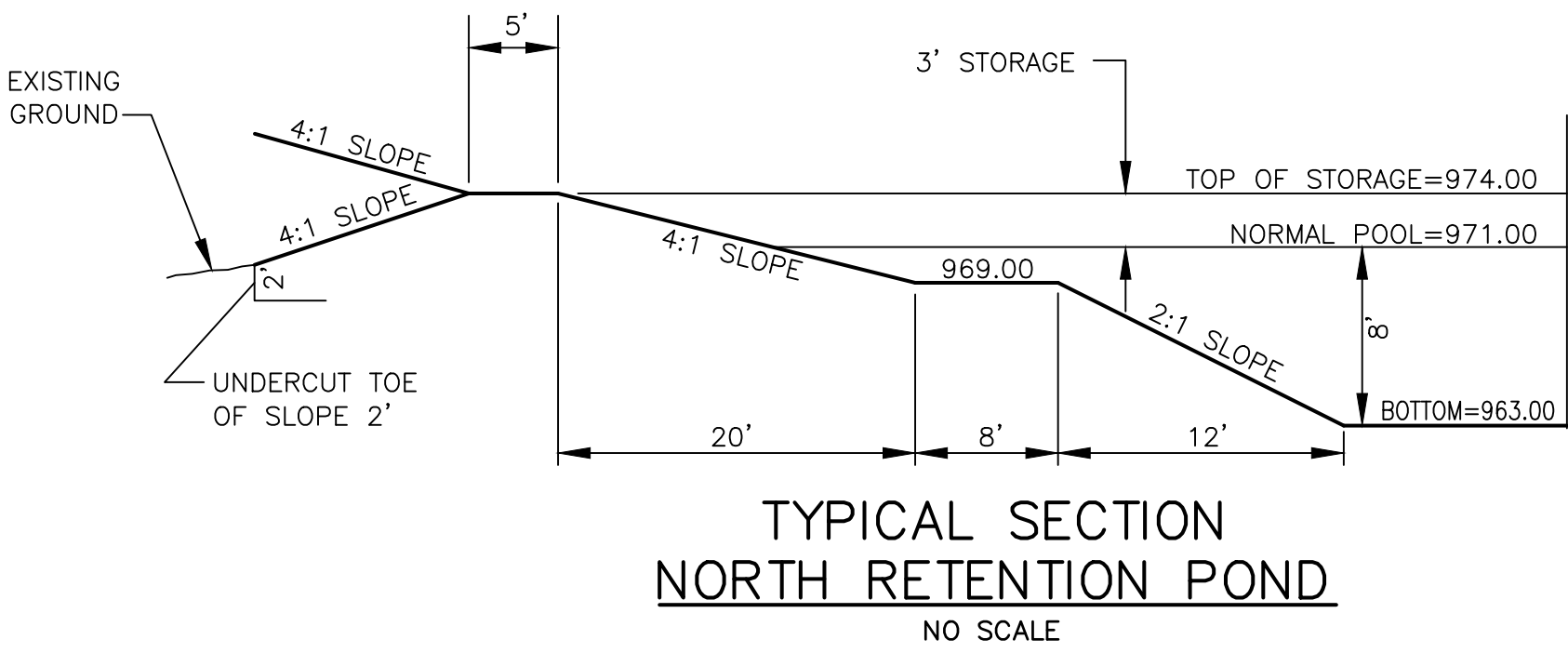
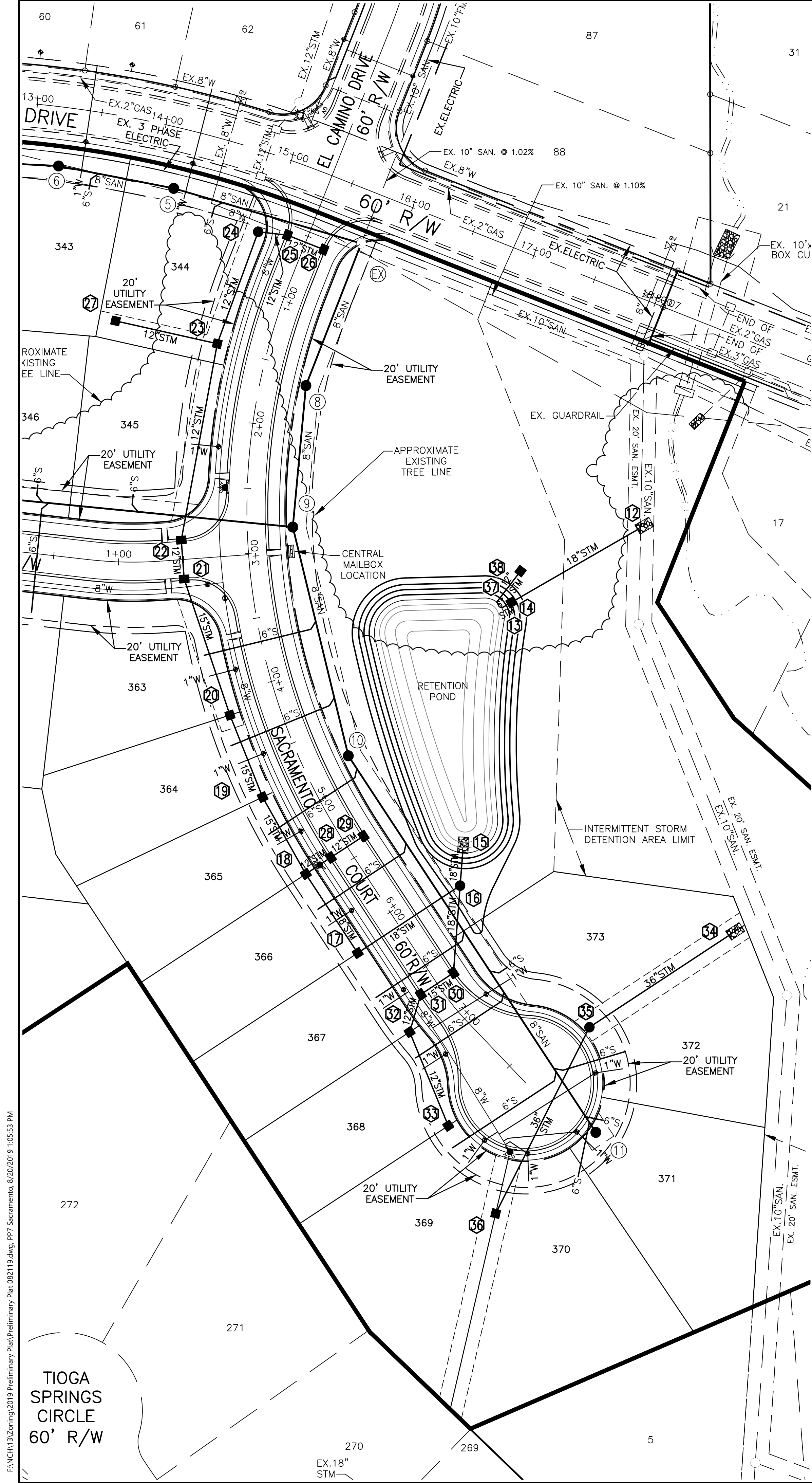
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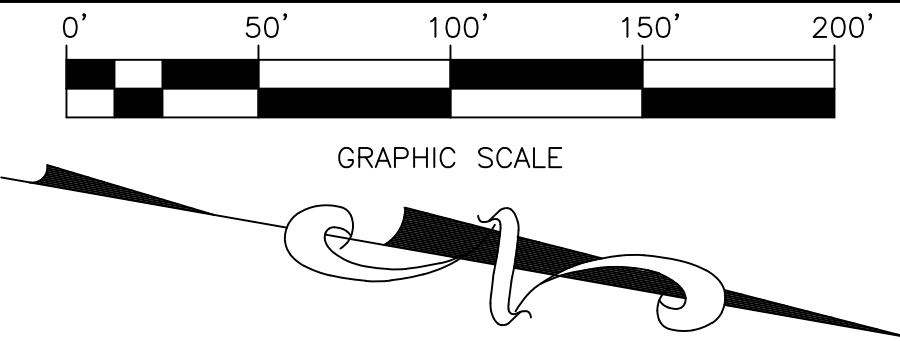
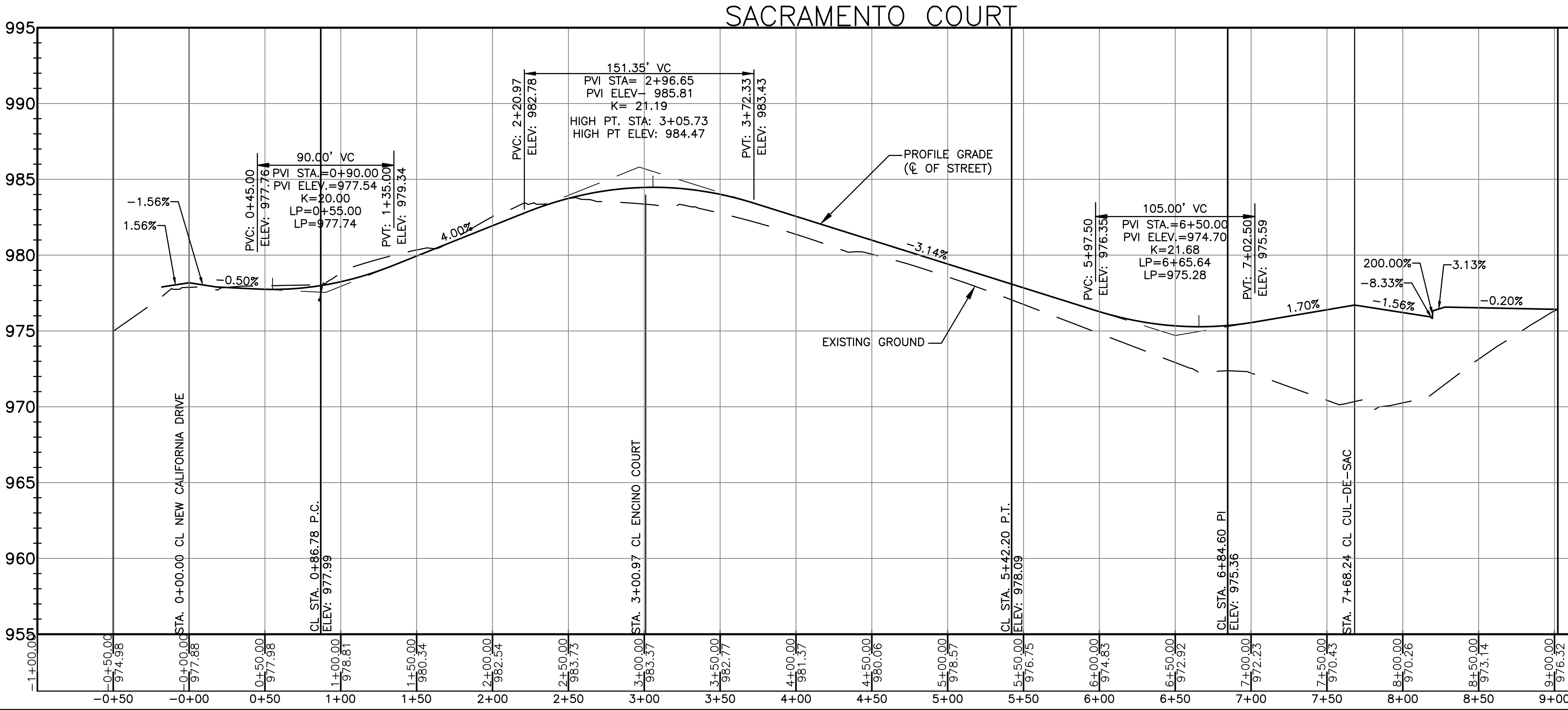
NEW CALIFORNIA HILLS XIII
PRELIMINARY PLAT
SITE GRADING PLAN

6

10



North Retention Pond Runoff Summary							
	1 year	2 year	5 year	10 year	25 year	50 year	100 year
Predeveloped (inc. Direct Runoff area)	3.66	6.17	10.26	13.98	19.51	24.20	29.40
Offsite	0.25	0.43	0.71	0.96	1.34	1.66	2.02
Total (inc. offsite)	3.91	6.60	10.97	14.94	20.85	25.86	31.42
Developed (not inc. Direct Runoff)	8.46	12.31	18.15	23.23	30.59	36.68	43.31
NOTE: "Developed" is that area tributary to detention basin							
Developed (inc. offsite) Routed Through Basin	0.61	0.82	1.15	3.70	10.20	13.20	14.64
Direct Runoff	1.10	1.67	2.57	3.37	4.53	5.50	6.56
Total (inc. Direct Runoff)	1.71	2.49	3.72	7.07	14.73	18.70	21.20
*Critical Storm is 5 Year							
All numbers are cubic feet per second (C.F.S.)							
As required by the Union County Technical Design Standards, the Developed runoff from the Critical Storm does not exceed that of the Predeveloped runoff from the 1 year storm.							



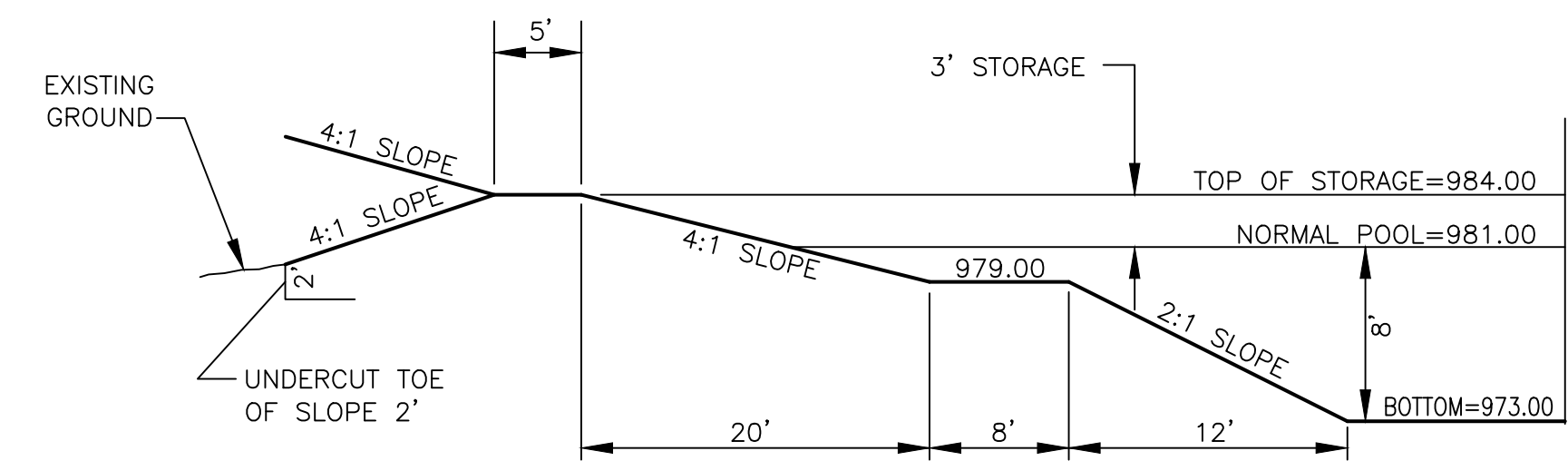
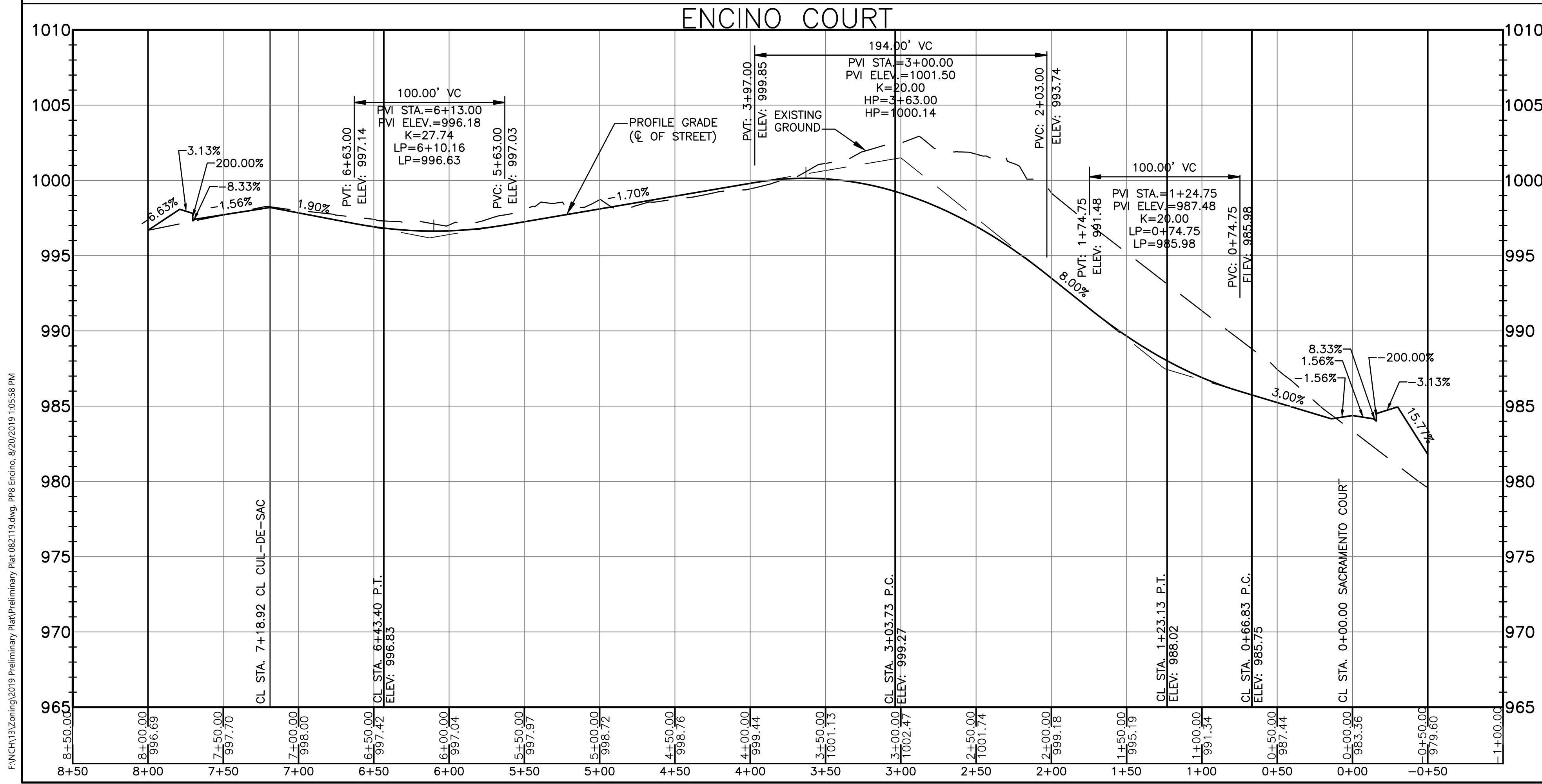
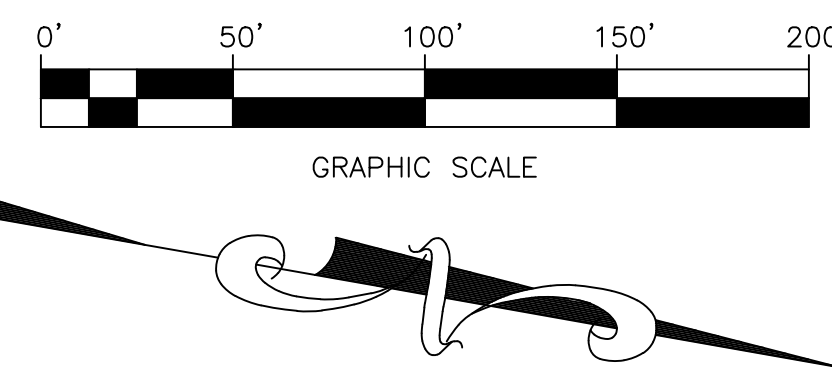
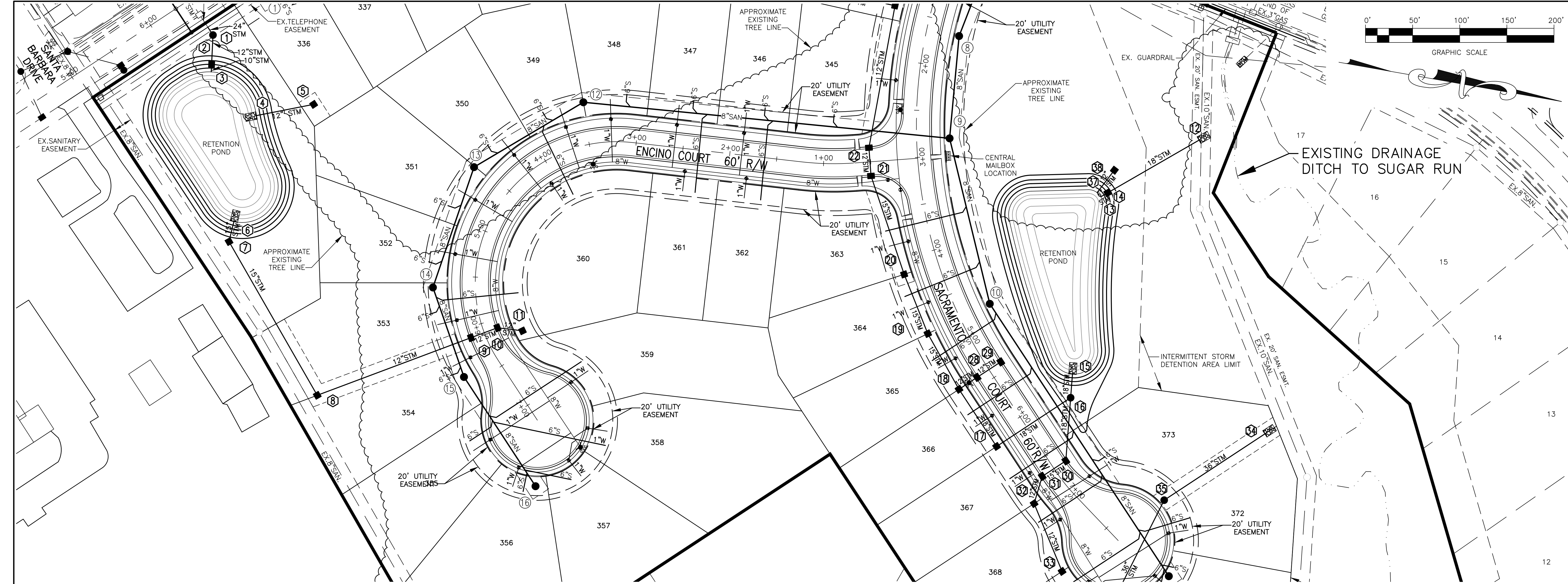
REVISIONS
DESCRIPTION

NO. DATE BY



SCALE: HORIZ. - 1"=50'
VERT. - N/A
DATE: JUNE, 2019
PROJECT NO.
DRAWN BY: W.D.
CHECKED: W.J.P.

NEW CALIFORNIA HILLS XIII
PRELIMINARY PLAT
SACRAMENTO COURT PLAN & PROFILE



South Retention Pond Runoff Summary							
	1 year	2 year	5 year	10 year	25 year	50 year	100 year
Predeveloped (inc. Direct Runoff area)	5.15	8.04	12.57	16.64	22.60	27.60	33.09
Developed (not inc. Direct Runoff)	6.59	9.45	13.77	17.53	22.90	27.34	32.15
NOTE: "Developed" is that area tributary to detention basin							
Developed Routed Through Basin	0.78	1.35	2.81	4.14	5.42	6.28	7.07
Direct Runoff	0.77	1.11	1.62	2.06	2.69	3.22	3.78
Total (inc. Direct Runoff)	1.55	2.46	4.43	6.20	8.11	9.50	10.85
*Critical Storm is 5 Year							
All numbers are cubic feet per second (C.F.S.)							

As required by the Union County Technical Design Standards, the Developed runoff from the Critical Storm does not exceed that of the Predeveloped runoff from the 1 year storm.

REVISIONS

NO.	DATE	BY	DESCRIPTION

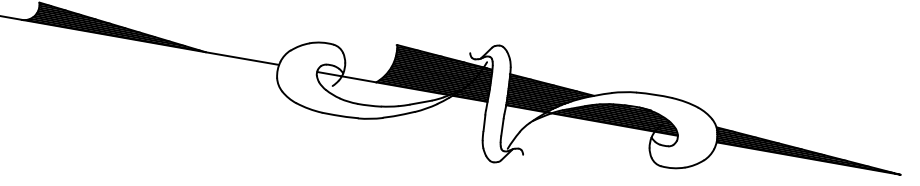
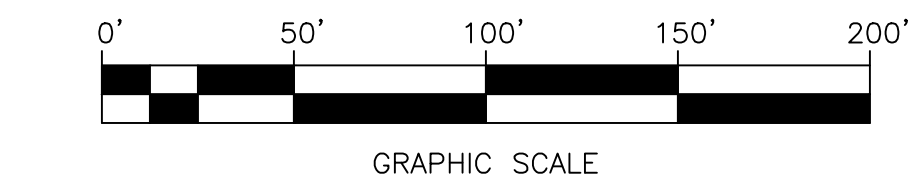
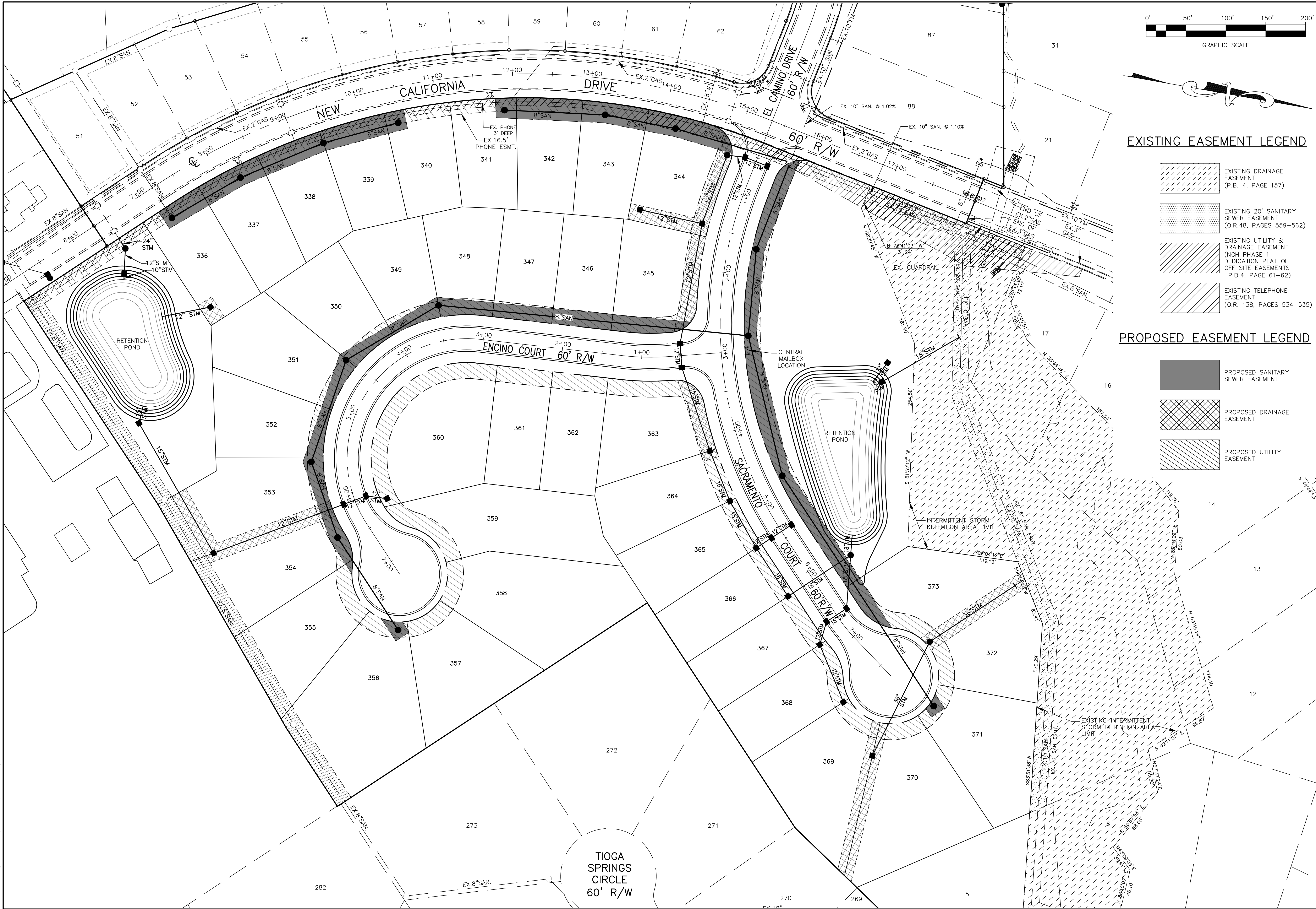
EVERGREEN
LAND COMPANY
6395 COSGAY ROAD • DUBLIN, OHIO 43016
(614) 885-5510 • FAX (614) 885-5560

SCALE: HORIZ. - 1"=50'
VERT. - N/A
DATE: JUNE, 2019
PROJECT NO.
DRAWN BY: W.D.
CHECKED: W.J.P.

NEW CALIFORNIA HILLS XIII
PRELIMINARY PLAT
ENCINO COURT PLAN & PROFILE

8
10

F:\NCH\13\Zoning\2019 Preliminary Plan\2019 Preliminary Plan\082119.dwg, PP9 Easements, 8/20/2019 10:02 PM



EXISTING EASEMENT LEGEND

- EXISTING DRAINAGE EASEMENT (P.B. 4, PAGE 157)
- EXISTING 20" SANITARY SEWER EASEMENT (O.R.48, PAGES 559-562)
- EXISTING UTILITY & DRAINAGE EASEMENT (NCH PHASE 1 DEDICATION PLAT OF OFF SITE EASEMENTS P.B.4, PAGE 61-62)
- EXISTING TELEPHONE EASEMENT (O.R. 138, PAGES 534-535)

PROPOSED EASEMENT LEGEND

- PROPOSED SANITARY SEWER EASEMENT
- PROPOSED DRAINAGE EASEMENT
- PROPOSED UTILITY EASEMENT

REVISIONS

NO.	DATE	BY	DESCRIPTION



SCALE: HORIZ. - 1"=50'
VERT. - N/A
DATE: JUNE, 2019
PROJECT NO.
DRAWN BY: W.D.
CHECKED: W.J.P.

NEW CALIFORNIA HILLS XIII
PRELIMINARY PLAT
EASEMENT PLAN

SEDIMENT & EROSION CONTROL GENERAL NOTES

THE CONTRACTOR SHALL IMPLEMENT SOIL EROSION AND SEDIMENTATION CONTROL MEASURES DURING CONSTRUCTION TO THE STANDARDS AND SPECIFICATIONS OF THE STATE OF OHIO AND THEY ARE TO REMAIN IN EFFECT UNTIL AREAS ARE PERMANENTLY STABILIZED.

THE CONTRACTOR SHALL PLACE STRAW BALES FOR EROSION CONTROL IMMEDIATELY AFTER CONSTRUCTION OF CATCH BASINS.

THE CONTRACTOR SHALL MAKE DAILY INSPECTIONS OF THE SITE TO INSURE EFFECTIVENESS OF EROSION AND SEDIMENTATION CONTROL MEASURES, AND WILL IMMEDIATELY MAKE NECESSARY REPAIRS IN ACCORDANCE WITH THE MAINTENANCE SCHEDULE SHOWN ON THIS PLAN.

IT MAY BECOME NECESSARY TO REMOVE PORTIONS OF THE BARRIER DURING CONSTRUCTION TO FACILITATE THE GRADING OPERATIONS IN CERTAIN AREAS. HOWEVER, THE BARRIER SHALL BE IN PLACE IN THE EVENING OR DURING ANY INCLEMENT WEATHER.

EROSION AND ANY SEDIMENTATION FROM THE WORK ON THIS SITE SHALL BE CONTAINED ON THE SITE AND NOT ALLOWED TO COLLECT IN ANY OFF-SITE DRAINAGE COURSE, WHETHER NATURAL OR MAN-MADE.

ALL EARTH CHANGES SHALL BE CONSTRUCTED AND COMPLETED IN SUCH A MANNER TO LIMIT THE EXPOSED AREA OF ANY DISTURBED LAND FOR THE SHORTEST PERIOD OF TIME.

ALL CONSTRUCTION TRAFFIC SHALL ENTER AND LEAVE BY THE DESIGNATED ENTRANCE. THIS ENTRANCE SHALL BE CONSTRUCTED OF CRUSHED STONE TO HELP FREE TIRES OF SOIL WHEN LEAVING THE SITE. THE CONTRACTOR SHALL INSTRUCT ALL VEHICLES TO CLEAN SOIL, MISCELLANEOUS DEBRIS, OR OTHER MATERIAL SPILLED, DUMPED OR OTHERWISE DEPOSITED ON PUBLIC STREETS, HIGHWAYS, SIDEWALKS OR OTHER PUBLIC THOROUGHFARES DURING TRANSIT TO AND FROM THE SITE.

THE CONTRACTOR SHALL INSTALL TEMPORARY EROSION AND SEDIMENTATION DEVICES AS SHOWN AND REQUIRED BY THESE PLANS. THESE DEVICES SHALL REMAIN IN PLACE AND BE MAINTAINED UNTIL PERMANENT STABILIZATION OF SLOPES, DITCHES AND OTHER EARTH CHANGES HAVE BEEN ACCOMPLISHED.

CATCH BASINS LOCATED IN THE STREET OR NEAR THE SITE WILL BE PROTECTED TO PREVENT SEDIMENTATION FROM ENTERING FACILITY. THE COVERS SHALL BE CHECKED PERIODICALLY AND CLEANED WHENEVER THEY FAIL TO FILTER RUNOFF.

THE LIMITS OF SEEDING AND MULCHING ARE AS SHOWN WITHIN THE PLAN. SEEDING HAS BEEN ASSUMED TO 5' OUTSIDE THE WORK LIMITS OR RIGHT-OF-WAY WHICHEVER IS GREATER. ALL AREAS NOT DESIGNATED TO BE SEEDD SHALL REMAIN UNDER NATURAL GROUND COVER. THOSE AREAS DISTURBED OUTSIDE THE SEEDING LIMITS SHALL BE SEEDD AND MULCHED AT THE CONTRACTOR'S EXPENSE.

THE CONTRACTOR SHALL MAINTAIN A BUFFER STRIP AS DESIGNATED ON THE PLAN TO PREVENT SEDIMENT FROM LEAVING SITE. THIS STRIP SHALL BE MAINTAINED AT ALL TIMES AND NO SOIL SHALL BE PLACED ON THIS STRIP.

ALL SOIL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO, OR IN CONJUNCTION WITH, THE START OF EXCAVATION AND ARE TO REMAIN IN EFFECT UNTIL AREAS ARE STABILIZED. FIELD ADJUSTMENTS WITH RESPECT TO LOCATION AND DIMENSIONS MAY BE MADE BY THE ENGINEER AS REQUIRED.

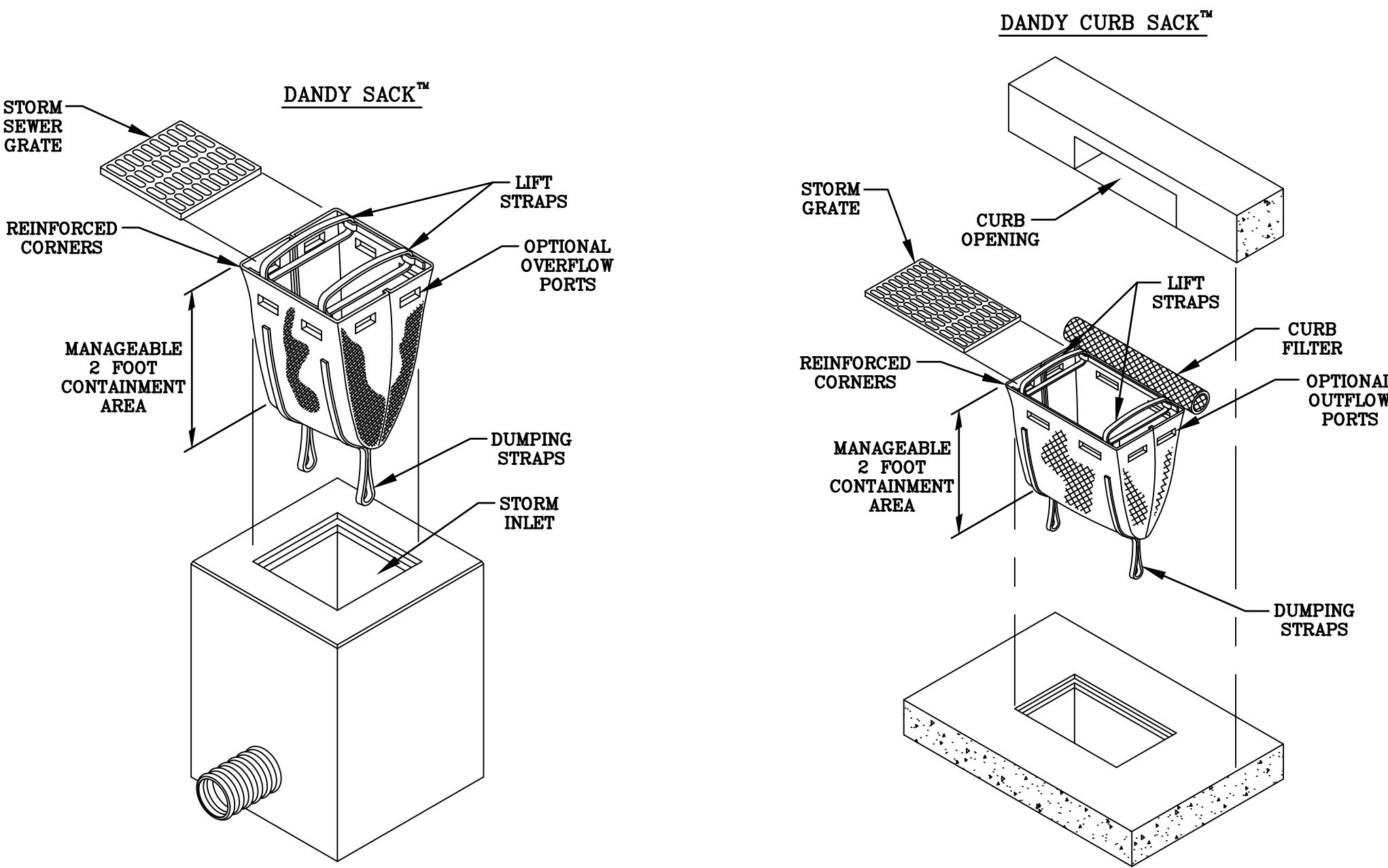
FILTER BARRIERS CONSIST OF EITHER STRAW BALE FILTERS OR FILTER FABRIC AS SHOWN HEREON.

SEQUENCE OF SEDIMENT & EROSION CONTROL OPERATIONS

- A) STRIP TOPSOIL AND UNUSABLE MATERIAL.
- B) INSTALL GRAVEL ACCESS DRIVE AND PERIMETER FILTER (TOPSOIL BERM AND/OR FILTER BARRIER).
- C) INSTALL SANITARY SEWER AND WATERMAIN.
- D) CONSTRUCT STORM DRAIN. DURING CONSTRUCTION OF STORM DRAINS THE ENDS OF ALL OPEN PIPES SHALL BE PROTECTED BY FILTER BARRIERS OR OTHER APPROVED MEANS.
 - 1) PROMPTLY UPON BACKFILL OF STORM STRUCTURES, FILTER BARRIERS SHALL BE PLACED.
 - 2) CONSTRUCT TEMPORARY SWALES TO DRAINAGE STRUCTURES.
 - 3) WHEN FILTER BARRIERS ARE REMOVED FROM AROUND PAVEMENT CATCH BASINS TO ALLOW FOR STRIPPING, GRADING, AND PAVING, STORM STRUCTURES SHALL BE PROTECTED FROM ERODING EARTH AND SEDIMENT AT ALL TIMES.
- E) CONSTRUCT FOUNDATIONS AND ERECT STRUCTURES AND APPURTENANCES.
- F) EXECUTE GRADING AND FILLING OPERATIONS AROUND BUILDINGS AND IN YARD AREAS.
- G) EXCAVATE FOR PARKING AND ROADWAYS. IF PLACEMENT OF AGGREGATE BASE LAGS BEHIND THE FINAL SUB-BASE GRADING BY MORE THAN FIVE DAYS, SUB-BASE SHALL BE SCARIFIED PERPENDICULAR TO THE SLOPE TO PREVENT EROSION.
- H) UPON COMPLETION OF PAVING, THE AREA AROUND PAVEMENT SHALL BE PROTECTED FROM EROSION BY AN APPROVED METHOD CONSISTENT WITH THE GROWING SEASON.
- I) ANY REMAINING EXPOSED AREAS SHALL BE SEEDD AND MULCHED OR SODDED WITHIN 30 DAYS OF FINAL GRADING.

SPECIFICATIONS FOR SEEDING & MULCHING

SEED TYPE	SEEDING RATES	PER 1000 SQ. FT.	PER ACRE
TALL FESCUE & ANNUAL RYEGRASS	MARCH 1 TO SEPTEMBER 15	2 POUNDS & 1/2 POUNDS	80 POUNDS & 20 POUNDS
SMALL GRAIN STRAW		100 POUNDS OR 2 OR 3 BALES	2 TONS OR 50 BALES
FERTILIZER		25 POUNDS OF 12-12-12 OR THE EQUIVALENT	100 POUNDS OF 12-12-12 OR THE EQUIVALENT
TEMPORARY SEEDING			
RYE OR WHEAT	SEPTEMBER 15 TO OCTOBER 30	3 POUNDS	2 BUSHELS
SOIL PROTECTION			
SMALL GRAIN STRAW MULCH	OCTOBER 30 TO MARCH 1	2 TO 3 BALES	2 TONS



CATCH BASIN/CURB INLET FILTER DETAIL

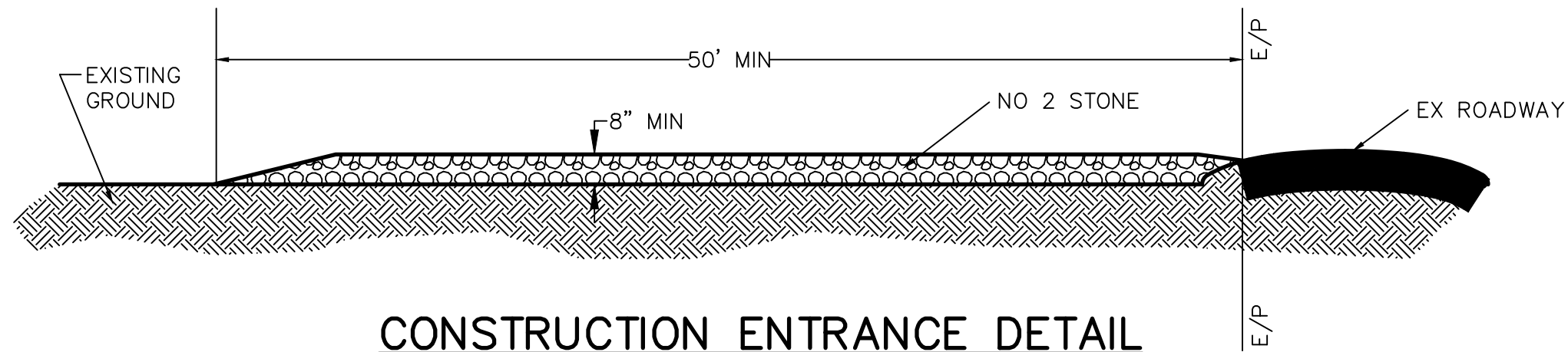
MAINTENANCE

REMOVE ALL ACCUMULATED SEDIMENT AND DEBRIS FROM VICINITY OF THE UNIT AFTER EACH STORM EVENT.

AFTER STORM EVENT AND AT REGULAR INTERVALS, LOOK INTO THE DANDY SACK OR DANDY CURB SACK. IF THE CONTAINMENT AREA IS MORE THAN 1/3 FULL OF SEDIMENT, THE UNIT MUST BE EMPTIED.

TO EMPTY UNIT, SIMPLY LIFT THE UNIT OUT OF THE INLET USING THE LIFTING STRAPS AND REMOVE THE GRATE.

IF USING OPTIONAL ABSORBENTS, REPLACE ABSORBENT PILLOW WHEN NEAR SATURATION.



CONSTRUCTION ENTRANCE DETAIL

CONSTRUCTION SPECIFICATIONS

STONE SIZE- NO. 2 (2-1/2" TO 1-1/2") OR ITS EQUIVALENT.

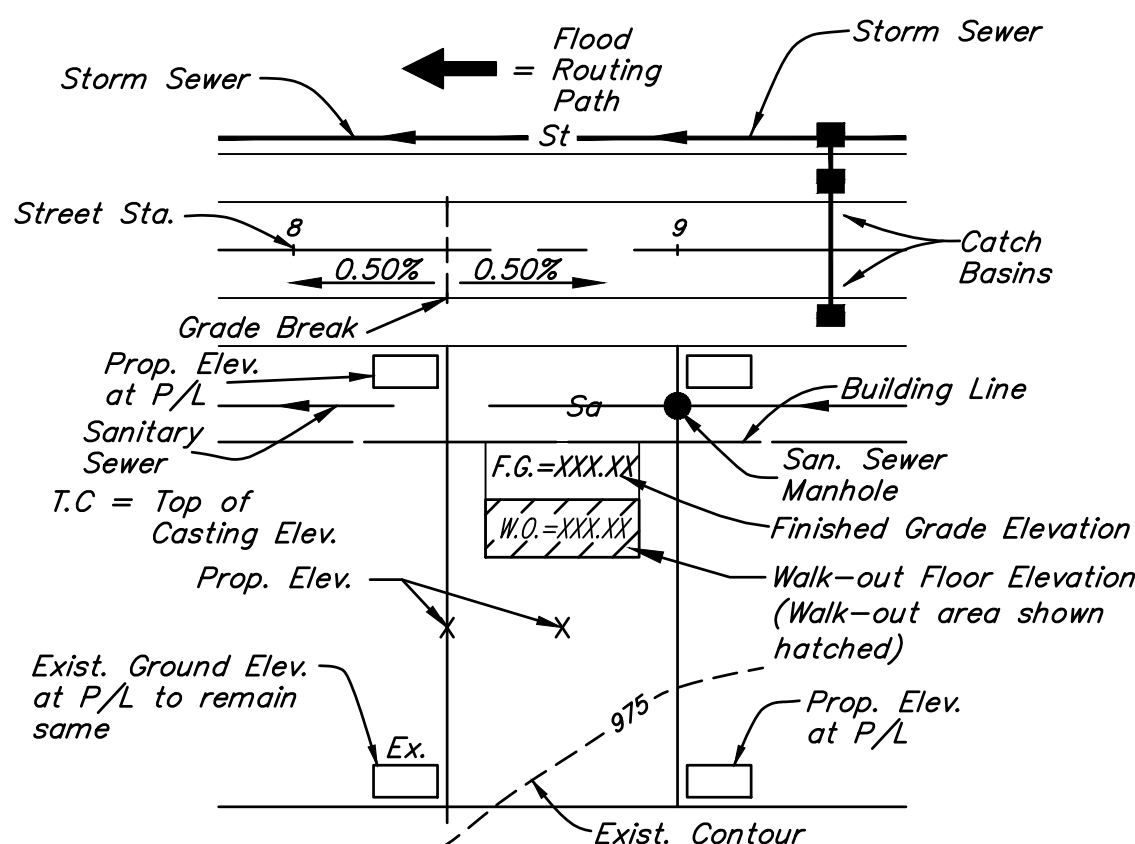
LENGTH - AS EFFECTIVE, BUT NOT LESS THAN 50 FEET.

THICKNESS - NOT LESS THAN EIGHT (8) INCHES.

WIDTH - NOT LESS THAN FULL WIDTH OF ALL POINTS OF INGRESS OR EGRESS.

WASHING - WHEN NECESSARY, WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE WHICH DRAINS INTO AN APPROVED SEDIMENT TRAP. ALL SEDIMENT SHALL BE PREVENTED FROM ENTERING ANY STORM DRAIN, DITCH, OR WATERCOURSE THROUGH USE OF SAND BAGS, GRAVEL, BOARDS OR OTHER APPROVED METHODS.

MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHT-OF-WAY MUST BE REMOVED IMMEDIATELY.



TYPICAL LOT GRADING DETAIL

NO SCALE

SEDIMENT & EROSION CONTROL CRITERIA

IN ORDER TO CONTROL SEDIMENT POLLUTION OF WATER RESOURCES THE OWNER OR PERSON RESPONSIBLE FOR THE DEVELOPMENT AREA SHALL USE CONSERVATION PLANNING AND PRACTICES TO MAINTAIN THE LEVEL OF CONSERVATION ESTABLISHED BY THE FOLLOWING STANDARDS:

TIMING OF SEDIMENT-TAPPING PRACTICES. SEDIMENT CONTROL PRACTICES SHALL BE FUNCTIONAL THROUGHOUT EARTH-DISTURBING ACTIVITY.

SETTLING FACILITIES, PERIMETER CONTROLS, AND OTHER PRACTICES INTENDED TO TRAP SEDIMENT SHALL BE IMPLEMENTED AS THE FIRST STEP OF GRADING AND WITHIN SEVEN DAYS FROM THE START OF GRUBBING. THEY SHALL CONTINUE TO FUNCTION UNTIL THE UPSLOPE DEVELOPMENT AREA IS RESTABILIZED.

STABILIZATION OF STRIPPED AREA. STRIPPED AREAS SHALL HAVE SOIL STABILIZATION APPLIED WITHIN SEVEN DAYS IF THEY ARE TO REMAIN DORMANT FOR MORE THAN FORTY-FIVE DAYS. PERMANENT OR TEMPORARY SOIL STABILIZATION SHALL BE APPLIED TO DENUDED AREAS WITHIN SEVEN DAYS AFTER FINAL GRADE IS REACHED ON ANY PORTION OF THE SITE, AND SHALL ALSO BE APPLIED WITHIN SEVEN DAYS TO DENUDED AREAS WHICH MAY NOT BE AT FINAL GRADE, BUT WILL REMAIN DORMANT (UNDISTURBED) FOR LONGER THAN FORTY-FIVE DAYS.

SEDIMENT BARRIER. STREET FLOW RUNOFF FROM STRIPPED AREAS SHALL BE FILTERED OR DIVERTED TO A SETTLING FACILITY.

STORM SEWER INLET PROTECTION. ALL STORM SEWER INLETS WHICH ACCEPT WATER RUNOFF FROM THE DEVELOPMENT AREA SHALL BE PROTECTED SO THAT SEDIMENT-LADEN WATER WILL NOT ENTER THE STORM SEWER SYSTEM WITHOUT FIRST BEING FILTERED OR OTHERWISE TREATED TO REMOVE SEDIMENT, UNLESS THE STORM SEWER SYSTEM DRAINS TO A SETTLING FACILITY.

WORKING IN OR CROSSING STREAMS :
A. STREAMS INCLUDING BED AND BANKS SHALL BE RESTABILIZED IMMEDIATELY AFTER IN-CHANNEL WORK IS COMPLETED, INTERRUPTED, OR STOPPED.

TO THE EXTENT PRACTICAL, CONSTRUCTION VEHICLES SHALL BE KEPT OUT OF STREAMS. WHERE IN-CHANNEL WORK IS NECESSARY, PRECAUTIONS SHALL BE TAKEN TO STABILIZE THE WORK AREA DURING CONSTRUCTION TO MINIMIZE EROSION.

B. IF A LIVE (WET) STREAM MUST BE CROSSED BY CONSTRUCTION VEHICLES REGULARLY DURING CONSTRUCTION, A TEMPORARY STREAM CROSSING SHALL BE PROVIDED.

CONSTRUCTION ACCESS ROUTES. MEASURES SHALL BE TAKEN TO PREVENT SOIL TRANSPORT ONTO SURFACES WHERE RUNOFF IS NOT CHECKED BY SEDIMENT CONTROLS, OR ONTO PUBLIC ROADS.

SLOUGHING AND DUMPING :
A. NO SOIL, ROCK, DEBRIS, OR ANY OTHER MATERIAL SHALL BE DUMPED OR PLACED INTO A WATER RESOURCE OR INTO SUCH PROXIMITY THAT IT MAY READILY SLOUGH, SLIP, OR ERODE INTO A WATER RESOURCE UNLESS SUCH DUMPING OR PLACING IS AUTHORIZED BY THE CITY ENGINEER AND, WHEN APPLICABLE, THE U.S. ARMY CORPS OF ENGINEERS. FOR SUCH PURPOSES AS, BUT NOT LIMITED TO, CONSTRUCTION BRIDGES, CULVERTS, AND EROSION CONTROL STRUCTURES.

B. UNSTABLE SOILS PRONE TO SLIPPING OR LANDSLIDING SHALL NOT BE GRADED, EXCAVATED, FILLED OR HAVE LOADS IMPOSED UPON THEM UNLESS THE WORK IS DONE IN ACCORDANCE WITH A QUALIFIED PROFESSIONAL ENGINEER'S RECOMMENDATIONS TO CORRECT, ELIMINATE, OR ADEQUATELY ADDRESS THE PROBLEMS.

CUT AND FILL SLOPES. CUT AND FILL SLOPES SHALL BE CONSTRUCTED IN A MANNER WHICH WILL MINIMIZE EROSION. CONSIDERATION SHALL BE GIVEN TO THE LENGTH AND STEEPNESS OF THE SLOPE, SOIL TYPE, UPSLOPE DRAINAGE AREA, GROUNDWATER CONDITIONS, AND SLOPE STABILIZATION.

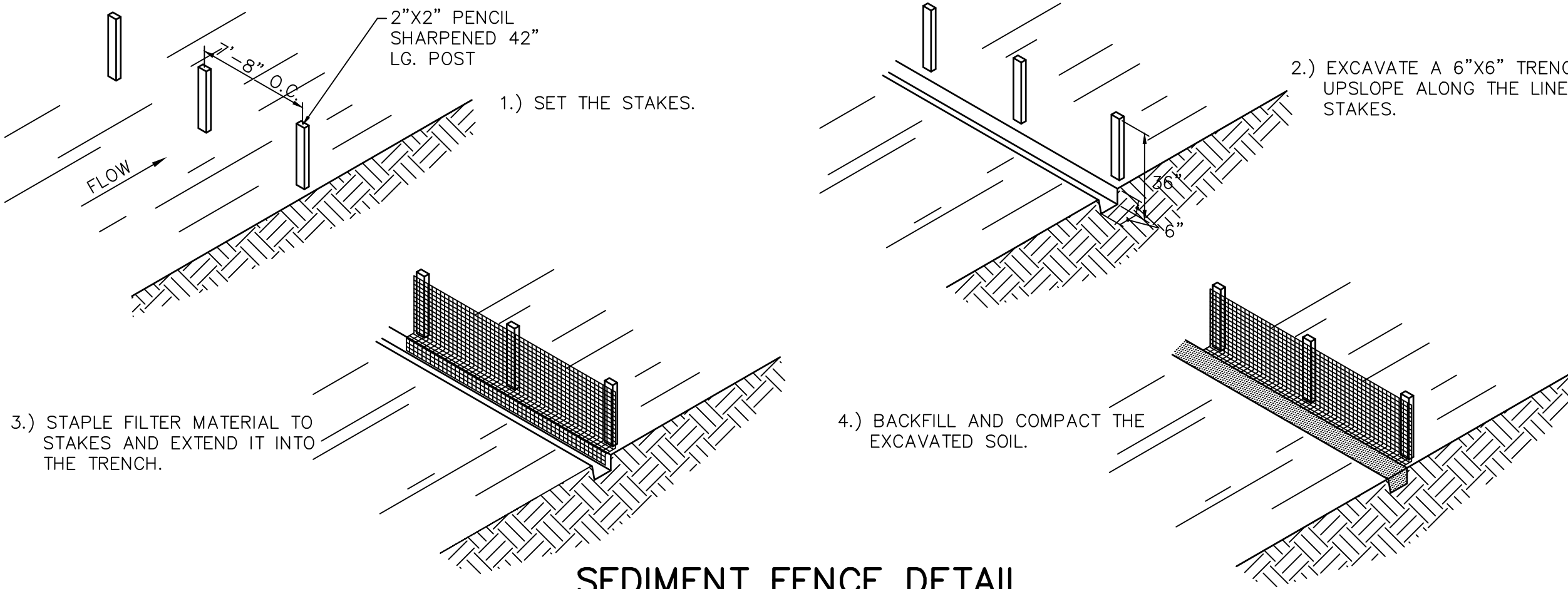
STABILIZATION OF OUTFALLS AND CHANNELS. OUTFALLS AND CONSTRUCTION OF MODIFIED CHANNELS SHALL BE DESIGNED AND CONSTRUCTED TO WITHSTAND THE EXPECTED VELOCITY OF FLOW FROM A POST-DEVELOPMENT, TEN-YEAR FREQUENCY STORM WITHOUT ERODING.

ESTABLISHMENT OF PERMANENT VEGETATION. A PERMANENT VEGETATION SHALL NOT BE CONSIDERED ESTABLISHED UNTIL GROUND COVER IS ACHIEVED WHICH, IN THE OPINION OF THE APPROVING AGENCY, PROVIDES ADEQUATE COVER AND IS MATURE ENOUGH TO CONTROL SOIL EROSION SATISFACTORILY AND TO SURVIVE ADVERSE WEATHER CONDITIONS.

DISPOSITION OF TEMPORARY PRACTICES. ALL TEMPORARY EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE DISPOSED OF WITHIN THIRTY DAYS AFTER FINAL SITE STABILIZATION IS ACHIEVED OR AFTER THE TEMPORARY PRACTICES ARE NO LONGER NEEDED, UNLESS OTHERWISE AUTHORIZED BY THE APPROVING AGENCY. TRAPPED SEDIMENT SHALL BE PERMANENTLY STABILIZED TO PREVENT FURTHER EROSION.

MAINTENANCE. ALL TEMPORARY AND PERMANENT EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE DESIGNED AND CONSTRUCTED TO MINIMIZE MAINTENANCE REQUIREMENTS. THEY SHALL BE MAINTAINED AND REPAIRED AS NEEDED TO ASSURE CONTINUED PERFORMANCE OF THEIR INTENDED FUNCTION. THE PERSON OR ENTITY RESPONSIBLE FOR THE CONTINUED MAINTENANCE OF PERMANENT EROSION CONTROLS SHALL BE IDENTIFIED TO THE SATISFACTION OF THE PLAN-APPROVING AUTHORITY AND IDENTIFIED BY THE SUBDIVIDER'S AGREEMENT.

THE COST FOR TEMPORARY CHANNELS, SEDIMENT DAMS AND OTHER APPURTENANT EARTH MOVING OPERATIONS SHALL BE INCLUDED IN THE PRICE BID FOR EARTHWORK



SEDIMENT FENCE DETAIL

SILT FENCE. THIS SEDIMENT BARRIER UTILIZES STANDARD STRENGTH OR EXTRA STRENGTH SYNTHETIC FILTER FABRICS. IT IS DESIGNED FOR SITUATIONS IN WHICH ONLY SHEET OR OVERLAND FLOWS ARE EXPECTED.

THE HEIGHT OF A SILT FENCE SHALL NOT EXCEED 36 INCHES (HIGHER FENCES MAY IMPOUND VOLUMES OF WATER SUFFICIENT TO CAUSE FAILURE TO THE STRUCTURE.

THE FILTER FABRIC SHALL BE PURCHASED IN A CONTINUOUS ROLL CUT TO THE LENGTH OF THE BARRIER TO AVOID THE USE OF JOINTS. WHEN JOINTS ARE NECESSARY FILTER CLOTH SHALL BE SPLICED TOGETHER ONLY AT A SUPPORT POST WITH A MINIMUM 6-INCH OVERLAPS AND SECURELY SEALED.

WHEN STANDARD STRENGTH FILTER FABRIC IS USED A WIRE MESH SUPPORT FENCE SHALL BE FASTENED SECURELY TO THE UPSLOPE SIDE OF THE POSTS USING HEAVY DUTY WIRE STAPLES AT LEAST 1 INCH LONG, TIE WIRES OR HOG RINGS. THE WIRE SHALL EXTEND INTO THE TRENCH A MINIMUM OF 2 INCHES AND SHALL NOT EXTEND MORE THAN 36 INCHES ABOVE THE ORIGINAL GROUND SURFACE.

POSTS SHALL BE SPACED A MAXIMUM OF 10 FEET APART AT THE BARRIER LOCATION AND DRIVEN SECURELY INTO THE GROUND (MINIMUM OF 12 INCHES). WHEN EXTRA STRENGTH FABRIC IS USED WITHOUT THE WIRE SUPPORT, FENCE POST SPACING SHALL NOT EXCEED 6 FEET.

A TRENCH SHALL BE EXCAVATED APPROXIMATELY 4 INCHES WIDE AND 4 INCHES DEEP ALONG THE LINE OF POSTS AND UPSLOPE FROM THE BARRIER.

THE STANDARD STRENGTH FILTER FABRIC SHALL BE STAPLED OR WIRED TO THE FENCE AND 8 INCHES OF THE FABRIC SHALL BE EXTENDED INTO THE TRENCH. THE FABRIC SHALL NOT EXTEND MORE THAN 36 INCHES ABOVE THE ORIGINAL GROUND SURFACE. FILTER FABRIC SHALL NOT BE STAPLED TO EXISTING TREES.

WHEN EXTRA STRENGTH FILTER FABRIC AND CLOSER POST SPACING ARE USED THE WIRE MESH SUPPORT FENCE MAY BE ELIMINATED IN SUCH A CASE THE FILTER FABRIC IS STAPLED OR WIRED DIRECTLY TO THE POSTS.

THE TRENCH SHALL BE BACKFILLED AND SOIL COMPACTED OVER THE FILTER FABRIC.

SILT FENCES SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFUL PURPOSE BUT NOT BEFORE THE UPSLOPE AREA HAS BEEN PERMANENTLY STABILIZED.

MAINTENANCE

SILT FENCES AND FILTER BARRIERS SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY.

SHOULD THE FABRIC ON A SILT FENCE OR FILTER BARRIER DECOMPOSE OR BECOME INEFFECTIVE PRIOR TO THE END OF THE EXPECTED USABLE LIFE AND THE BARRIER IS STILL NECESSARY, THE FABRIC SHALL BE REPLACED PROMPTLY.

SEDIMENT DEPOSITS SHALL BE REMOVED AFTER EACH STORM EVENT. THEY MUST BE REMOVED WHEN DEPOSITS REACH APPROXIMATELY ONE-HALF THE HEIGHT OF THE BARRIER.

ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE SILT FENCE OR FILTER BARRIER IS NO LONGER REQUIRED SHALL BE DRESSED TO CONFORM WITH THE EXISTING GRADE PREPARED AND SEEDD.

NOTE

SEE SHEETS 6/10 FOR EROSION CONTROL DEVICE LOCATIONS

NO.	DATE	BY	DESCRIPTION



August 20, 2019

Attention: Wade Dunham, Evergreen Land Company
Re: New California Hills 13
Opportunity Id 186429

Columbia Gas of Ohio, Inc. ("Columbia") has reviewed and performed a cost benefit study in regards to providing natural gas service for New California Hills section 13, located in Plain City, Ohio. The cost benefit study compares the capital costs of the project (cost to serve customer) to the projected revenue generated by the customer. The cost benefit study has determined that the projected revenue is sufficient to offset the capital costs and therefore this project does not require a deposit.

The project design was based on the following:

- 29 homes
- 3 year build out
- Job order #19-0133307-00 to install approximately 1975' of main line piping.
- 2 PSIG delivery pressure approved
- Gas needed Spring 2020

Note: Should any of the above information need to be modified, please contact me at 614-623-2644 so that a new cost benefit study may be completed. In the event of such modification, the amount of your Deposit/Aid to Construction may also change.

Your Project requires installation of a gas main line. Our site specialist will release the project for installation of the main based on site readiness as listed below in the attachment. Please note it could take upto 90 days for the Union County permit. When we commence installation of our mainline the sewers need to be unobstructed so that we may camera them and all private utilities need to be marked by the customer.

Included in this communication is a proposed sketch of our facilities design. Please let me know if you have any concerns.

Thank you and we appreciate the opportunity to serve your natural gas needs.

Sincerely,

A handwritten signature in black ink that reads "Donyel Gibson".

Donyel Gibson | New Business Development Manager | Columbia Gas of Ohio, Inc.
290 W. Nationwide Blvd. | Columbus, Ohio 43215 | 614.623.2644

Assurance Title Agency, 2015 W. Fifth Ave., Columbus, Ohio 43212



GENERAL WARRANTY DEED*

Evergreen Land Company

⁽¹⁾, a corporation organized and existing under

the laws of the State of Ohio

for valuable consideration paid, grants, with general warranty covenants, to

Shepherd Land Holding Co.
6295 Cosgray Rd., Dublin, Ohio 43016

, whose tax-mailing address is

the following **REAL PROPERTY**: Situated in the County of Union in the State

of Ohio and in the Township Of Jerome ⁽²⁾

Exhibit "A" attached hereto and made a part hereof, containing 20.281 Acres, more or less.

This deed is executed by Grantors and accepted by Grantees subject to conditions, restrictions, reservations and easements, if any, of record and except taxes and assessments, if any, now a lien.

Prior Instrument Reference: Vol. 328 Page 709 of the Deed Records of Union County, Ohio.

IN WITNESS WHEREOF, grantor has caused its corporate name to be subscribed hereto by Allen S. Shepherd, III, its president, ~~and~~ ~~its secretary~~ thereunto duly authorized by resolution of its board of directors, this 31st day of Dec. 1997.

Signed and acknowledged in the presence of:

WITNESS Stana Krivda
Dianne L. Strunkenburg
WITNESS Dianne L. Strunkenburg

Evergreen Land Company ⁽³⁾
by Allen S. Shepherd, III PRESIDENT
SECRETARY

State of Ohio

County of Franklin

SS.

BE IT REMEMBERED, That on this 31st day of December, 19 97, before me, the subscriber, a Notary Public in and for said state, personally came Allen S. Shepherd, III, president, ~~and~~ ~~secretary~~ of the Grantor in the foregoing Deed, and acknowledged the signing thereof to be their and its voluntary act and deed, pursuant to authority of its board of directors.

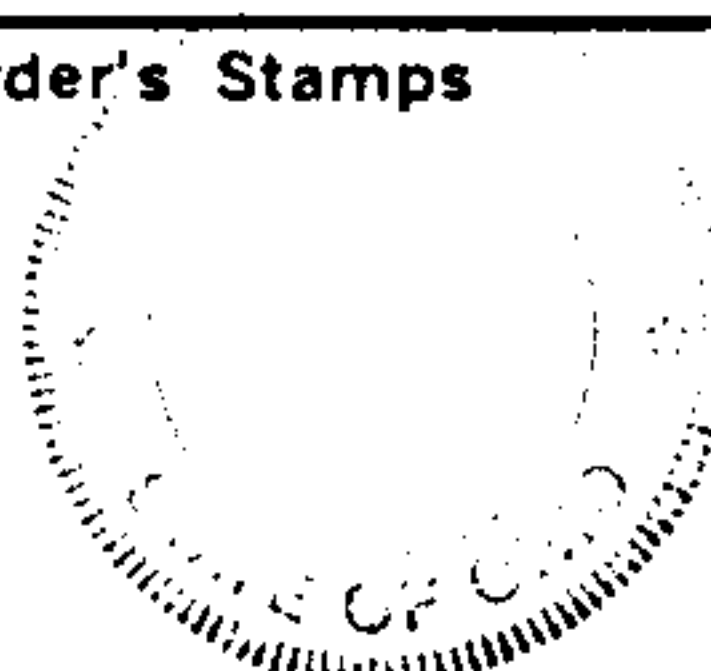
IN TESTIMONY THEREOF, I have hereunto subscribed my name and affixed my seal on this day and year aforesaid.

Stana Krivda

This instrument was prepared by Ronald F. Hartman, Attorney at Law

1. Name of Grantor.
2. Description of land or interest therein, and encumbrances, reservations, exceptions, taxes and assessments, if any.
3. Execution in accordance with Chapter 5301 of the Revised Code of Ohio.

Auditor's and Recorder's Stamps



STANA KRIVDA
NOTARY PUBLIC, STATE OF OHIO
MY COMMISSION EXPIRES MARCH 22, 1999

900506

000507

DESCRIPTION OF A 20.281 ACRE TRACT
IN JEROME TOWNSHIP, UNION COUNTY, OHIO
FOR EVERGREEN LAND COMPANY

Situated in the State of Ohio, County of Union, Township of Jerome, in Virginia Military survey No. 1440 and being part of a 187.390 acre tract conveyed to Evergreen Land Company in Deed Book 328 on Page 709 in the Union County Recorder's Office, and being more particularly described as follows:

Point of Beginning being a monument found, said monument being the northeasterly corner of New California Hills - IA, as shown of record in Plat book 4 on Pages 59-60 in said Recorder's Office;

Thence North 43° 26' 44" West, through said 187.390 acre tract, a distance of 95.13 feet to an iron pin set;

Thence continuing through said 187.390 acre tract the following courses:

Along a curve to the right having a Delta of 55° 00' 00" and a Radius of 810.00 feet, a Chord Bearing of North 15° 54' 00" West and a Chord Distance of 748.03 feet to an iron pin set;

North 11° 36' 00" East a distance of 352.61 feet to an iron pin set, said iron pin being the southwest corner of New California Hills - III, as shown of record in Plat book 4 on Page 157 in said Recorder's Office;

Thence continuing along the subdivision line of New California Hills - III, as shown of record in Plat book 4 on Page 157 in said Recorder's Office the following courses:

South 78° 24' 00" East a distance of 182.35 feet to an iron pin set;

North 46° 36' 00" East a distance of 106.16 feet to an iron pin set;

North 32° 04' 13" East a distance of 201.97 feet to an iron pin set;

North 63° 49' 16" East a distance of 238.89 feet to an iron pin set;

South 33° 20' 03" East a distance of 455.93 feet to an iron pin set, said iron pin being the southeasterly corner of said New California Hills - III, said iron pin also being on the westerly line of New California Hills - I, as shown of record in Plat book 4 on Pages 65-66 in said Recorder's Office;

Thence continuing along the subdivision line of New California Hills - I, as shown of record in Plat book 4 on Pages 65-66 in said Recorder's Office the following courses:

South 34° 23' 26" West a distance of 108.45 feet to an iron pin set;

South 46° 40' 00" West a distance of 338.00 feet to an iron pin found, said iron pin being the southwesterly corner of said New California Hills I;

South 43° 24' 00" East a distance of 464.99 feet to an iron pin set, said iron pin being the northwesterly corner of a tract of land conveyed to the Board of Trustees of Jerome Township in Deed Book 320 on Page 640 in said Recorder's Office;

Thence continuing along the westerly property line of said Board of Trustees tract the following courses:

South 46° 51' 09" West a distance of 116.91 feet to an iron pin found;

JAN 02 1998
 MARY H. SNIDER, AUDITOR
 This conveyance has been examined and the Auditor has
 compared with section 319.202 of the Revised Code.
 FEE \$
 EXEMPT

TRANSFERRED

South 50° 08' 01" West a distance of 324.53 feet to an iron pin found;

South 46° 34' 25" West a distance of 304.58 feet to an iron pin found, said iron pin being on the northerly right-of-way line of New California Drive (60' R/W), said iron pin also being on the northeasterly subdivision line of New California Hills - IA, as shown of record in Plat book 4 on Page 59-60 in said Recorder's Office;

Thence North 43° 26' 44" West, along said northerly right-of-way line, a distance of 125.01 feet to the **Point of Beginning** and containing 20.281 acres of land more or less.

Bearings herein are based upon the bearing South 86° 37' 41" East being the south line of New California Hills - IA, as shown of record in Plat book 4 on Pages 59-60 in said Recorder's Office

Iron pins set consist of a 30" long iron pipe with a 1" (O.D.) with a plastic cap inscribed "M-E ENG/S-6872".

This description was prepared by M-E Civil Engineering, Inc. Based upon information obtained from actual field surveys.

M-E Civil Engineering, Inc.

By

Kevin L. Stacy
Kevin L. Stacy

Registered Surveyor No. 7531



q:\legal\973333b.wpd

DESCRIPTION ACCEPTABLE
20.281 ACRE TRACT(S)
PLANNING COMMISSION APPROVAL
NOT REQUIRED
DATE 12-31-97
STEVE A. STOLTE
UNION COUNTY ENGINEER

BETHEL L. TEMPLE
RECORDER, UNION COUNTY, OHIO
98 JAN -2 AM 11:58
OK VOL 104 PAGE 506
18-00

000508



**County Engineer
Environmental Engineer
Building Department**
233 W. Sixth Street
Marysville, Ohio 43040
P 937. 645. 3018
F 937. 645. 3161
www.co.union.oh.us/engineer

Marysville Operations Facility
16400 County Home Road
Marysville, Ohio 43040
P 937. 645. 3017
F 937. 645. 3111

Richwood Outpost
190 Beatty Avenue
Richwood, Ohio 43344

Public Service with integrity

September 4, 2019

Bradley Bodenmiller
LUC Regional Planning Commission
Box 219
East Liberty, Ohio 43319

Re: New California Hills Phase 13 – Preliminary Plat

Brad,

We have completed our review for the above preliminary plat, received by our office on August 27, 2019. We recommend it be approved with the below modifications and recommendations. Items listed below should be addressed in the final construction drawings, or resolved as indicated.

1. A traffic impact study (TIS) is not being required as part of the development process for this site. However, we are requiring that the developer contribute to the cost of the intersection improvement at US 42 and Industrial Parkway, based on the amount of traffic generated by this phase that utilizes that intersection in the peak hours.
2. Provide intersection site distance exhibits for Sacramento Court on New California Drive.
3. The sidewalk constructed in front of the retention pond along New California Drive should include a handicap ramp to allow for the crossing to the existing ramp on the west side of New California Drive.
4. Provide information regarding any master trails and HOA maintained fencing or landscaping in the construction drawings.
5. Provide a drainage easement (minimum width 20') for all drainage infrastructure outside of the right of way.
6. Consider placement of additional catch basins in rear yards.
7. All stormwater infrastructure and drainage easements will be reviewed in more detail during the final construction drawing review process.
8. Provide a 15' wide mowable (10% or flatter) berm around the retention basins to be included within the drainage easement.
9. Further discussion will be needed during final design to discuss the protection from encroachment into the retention basin adjacent to the existing playground.
10. Detail all flood routing swales, including 100 year water surface elevations, ensuring at least 1' of freeboard between the 100 year water surface and the finished grade elevations of all building structures.
11. Provide a stormwater management report for review.
12. Provide detailed construction drawings to private utility providers.

In accordance with the Subdivision Regulations of Union County, additional information is required from the developer prior to final plat approvals, including but not limited to final construction documents. It is the responsibility of the developer to become familiar with the regulations and file requisite information within the time frames outlined in the regulations. Should you have any questions or concerns, feel free to contact me at (937) 645-3165.



Bill Narducci, P.E.
Assistant County Engineer
Union County Engineer

Cc: Matt Rotar, Union County Engineer's Office (via email)
Jeremy Burrey, USWCD (via email)



September 3rd, 2019

Bradley Bodenmiller
LUC Regional Planning Commission
9676 E. Foundry St.
East Liberty, OH 43319

RE: URE comments for New California Hills Section 13 – Preliminary Plat

Brad,

Noted comments per paper drawings received 08/28/19. Drawing set of 10 sheets issued Preliminary Plat for New California Hills Section 13, Dated June 2019:

- 1) Sheet 1 of 10 – Preliminary Plat
 - a) URE requires 20 feet easement for primary and secondary facilities per Terms and Conditions for Supplying Electric Service to reach transformer / pedestal locations. Actual location of electrical facilities can be located within a 10 feet easement if adjacent property has additional easements or right of way for ingress and egress totaling a minimum of 20 feet. When on property line require 10 ft easement on each of the adjacent properties. Developer to install creek/stream crossing (directional bore if applicable) 10 feet beyond stream protection easements (when applicable).
- 2) Sheet 2 of 10 – Preliminary Plat
 - a) URE existing phone/electric easement is noted on the drawing.
- 3) Sheet 3 of 10 – Preliminary Plat
 - a) No comments
- 4) Sheet 4 of 10 – Preliminary Plat
 - a) No comments
- 5) Sheet 5 of 10 – Preliminary Plat
 - a) 38 residential lots (lots 336-373)
 - b) URE proposes additional 10' easement in front of park/open space parallel to New California Drive. (1.103 acres)
 - c) URE proposes additional 20' easement along the south side of lot 336 and open space/park. (1.103 acres)
 - d) URE proposes rear lot easements from lot 352-345, 336-344.
 - e) URE proposes additional 10' easement parallel to New California Drive in the park. (4.438 acres)
 - f) URE proposes additional 10' easement along Sacramento Court to lot 373

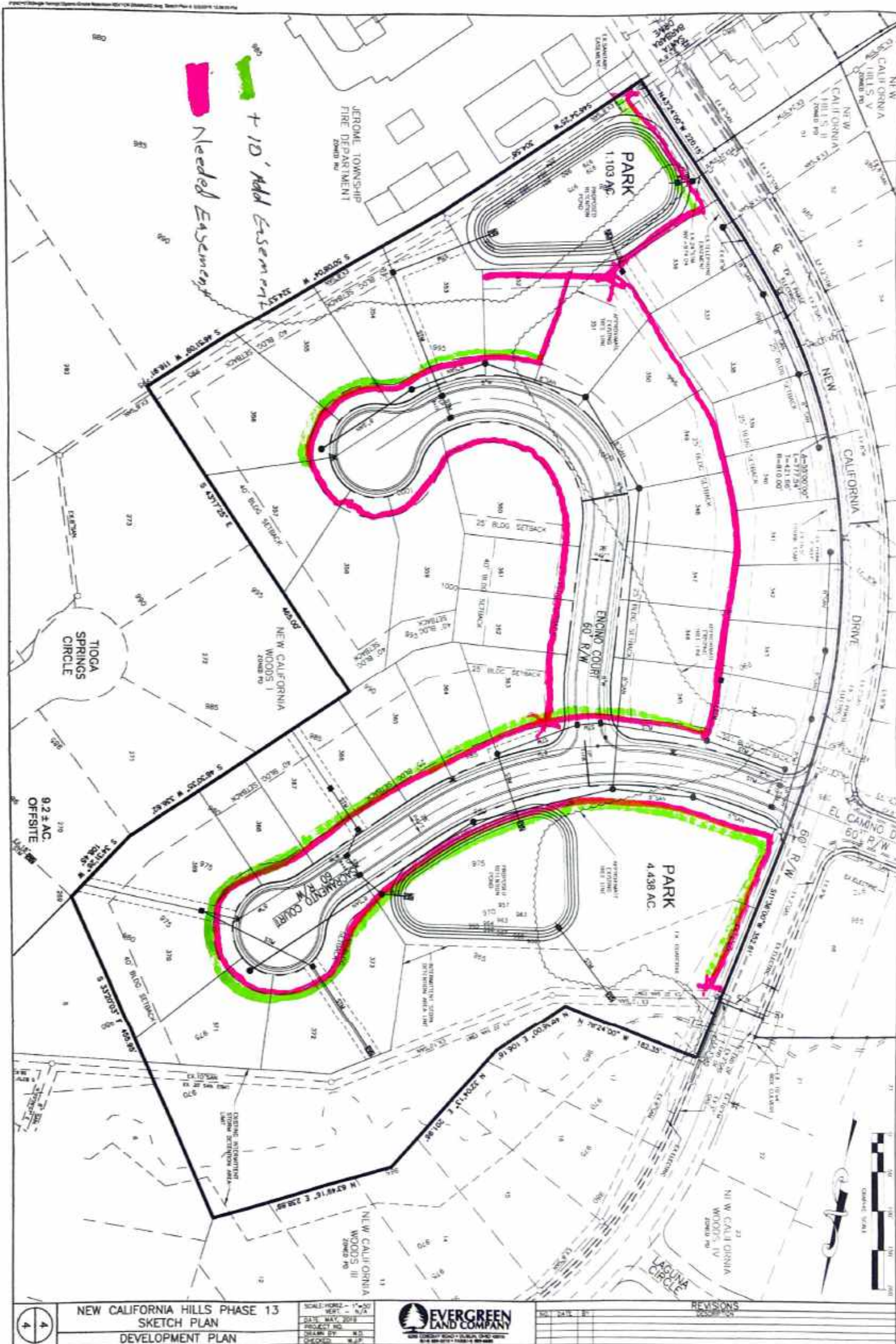
- g) URE proposes additional 10' easement from lot 373 to lot 363.
 - h) URE proposes additional 10' easement parallel to Sacramento Court along lot 345.
 - i) URE proposes additional 10' easement along lots 356-352.
 - j) URE proposes additional 20' side lot easement between lot 351-352.
 - k) Need to define the noted utility easements for clarity.
- 6) Sheet 6 - 8 – Preliminary Plat
- a) No comments
- 7) Sheet 9 of 10 – Preliminary Plat
- a) 38 residential lots (lots 336-373)
 - b) URE proposes additional 10' easement in front of park/open space parallel to New California Drive. (1.103 acres)
 - c) URE proposes additional 20' easement along the south side of lot 336 and open space/park. (1.103 acres)
 - d) URE proposes rear lot easements from lot 352-345, 336-344.
 - e) URE proposes additional 10' easement parallel to New California Drive in the park. (4.438 acres)
 - f) URE proposes additional 10' easement along Sacramento Court to lot 373
 - g) URE proposes additional 10' easement from lot 373 to lot 363.
 - h) URE proposes additional 10' easement parallel to Sacramento Court along lot 345.
 - i) URE proposes additional 10' easement along lots 356-352.
 - j) URE proposes additional 20' side lot easement between lot 351-352.
 - k) Need to define the noted utility easements for clarity.
- 8) Sheet 10 of 10 – Preliminary Plat
- a) No comments

Based on existing drawing review set URE requests delay in approving Final Plat until noted discrepancies are resolved.

Please contact me with questions or concerns.

Thanks,

Ron McGlone
Union Rural Electric Cooperative, Inc.
PO Box 393
15461 US Route 36
Marysville, Ohio 43040
Cell: (937) 594-3787
Direct: (937) 645-9263





Engineering, Planning and Zoning
City Hall, 209 South Main Street
Marysville, Ohio 43040-1641
(937) 645-7350
FAX (937) 645-7351
www.marysvilleohio.org

August 30, 2019

Bradley J. Bodenmiller
LUC Regional Planning Commission
10820 St. Rt. 347, PO Box 219
East Liberty OH 43319

**Subject: New California Hills XIII
Preliminary Plat Comments**

The City of Marysville has reviewed the Preliminary Plat for the New California Hills XIII development and recommends approving the Preliminary Plat upon addressing the following comments as part of the final engineering process:

General:

1. Label all easements on Sheet 4.

Wastewater:

1. All sanitary laterals are to be a minimum of 10-feet from the nearest manhole.
2. The sanitary sewer shall be a maximum of five (5) feet outside the proposed right-of-way. Dimensions (or a station and offset) shall be provided at each manhole.
3. Sanitary laterals are to stop at the right-of-way. Connections from the right-of-way to the building shall be made when the building is constructed.

Water:

1. Water system appurtenances will not be permitted within the concrete sidewalk or driveway approaches.
2. Water services are to stop at the curb box. A continuous run of copper service shall be installed from the curb box to the building when the building is constructed.

Please contact us if you need additional clarification or wish to discuss these comments further.

Sincerely,

Chad Green, P.E.
Assistant City Engineer

cc. Jeremy Hoyt, P.E. (City of Marysville)
Mike Andrako, P.E. (City of Marysville),
Scott Sheppard (City of Marysville)
Rich Felton (City of Marysville)
Bill Narducci (Union County Engineer's Office)



Staff Report – Paris Township Zoning Amendment

Applicant:	Paris Township Zoning Commission c/o Julie Spain 233 W. 5 th St P.O. Box 391 Marysville, OH 43040
Request:	The Zoning Commission initiated an amendment to the text of the Zoning Resolution. The amendment adds driveways as a required item for a site plan for a conditional use permit, defines “driveway”, and adds “a driveway” to the definition of “use”. The definition of “structure” is amended to include the location “on or underneath of the ground”. The definitions of “Lot Depth” and “Lot Width” have been modified, and the related sections 620 (page 23) and section 720 (page 26) changed in accordance to those definitions.
Location:	Paris Township is in Union County, with the City of Marysville covering a lot of the area of the Township.

Staff Analysis:	<p><u>Driveways</u> <u>Section 562 Contents of Application for Conditional Use, item 6 (Page 14)</u></p> <p>Shis change would add driveways as a required piece for a site plan.</p> <p>It is the staff’s understanding that the addition of “driveways” to the site plan requirements for a Conditional Use Permit is to provide clarity. The Board of Zoning appeals wants to have all available information in the application and site plan to be able to make a sound decision. Driveways are similar to parking and loading areas, and traffic access and traffic circulation, which are already a required part of the site plan.</p> <p><u>Section 1901 Definitions (Page 67)</u></p> <p>This change adds a new definition for driveway.</p> <ul style="list-style-type: none">• “Driveway – Any road or path, shared or common, giving ingress or egress to a parcel.”
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Staff Report – Paris Township Zoning Amendment

With all of the proposed changes surrounding driveways in this text, it is necessary to define the term “driveway”.

The Ohio Department of Transportation (ODOT) defines “Driveway” in the *State Highway Access Manual* as:

- or **Private road** means every way or place in private ownership used for vehicular travel by the owner and those having express or implied permission from the owner but not by other persons.
[Chapter 4511.01 (DD), O.R.C.]

Staff is of the opinion that the proposed definition of “driveway” is clear and resembles the ingress/egress part of other official definitions, but recommends changing “parcel” to “lot” to be consistent with the zoning resolution. These changes are consistent with comments from the Union County Prosecutor’s office.

Section 1901 Definitions (Page 86)

Adds driveways to “use” definition

- “Use – The specific purposes for which land, a **driveway** or a building is designed, arranged, intended, or for which it may be occupied or maintained.”

Comments from the Union County Prosecutor’s office state that allowing a driveway to have a specific purpose tied to it may not yield a positive result.

Staff defers to the Prosecutor’s office, and recommend the Township work with them and LUC to find the best way to accomplish the desired outcome.

Structure

Section 1901 Definitions (page 85)

The existing definition of “structure” does not explicitly include locations underground. The proposed change does:

- Structure – Anything constructed or erected, the use of which requires location on **or underneath of** the ground, or attachment to something having a fixed location on the ground. Among other things, structures include buildings, mobile homes, walls, fences, and billboards.



Staff Report – Paris Township Zoning Amendment

There are some underground “structures” that are already covered under the “essential services” definition, and are listed as conditional uses in the various zoning districts. However, a situation such as an underground emergency shelter is not. It makes sense that an emergency shelter would be a “structure” but a strict interpretation of the existing definition of “structure” does not necessarily require a permit for structures underneath the ground. The proposed definition would now require permits for underground structures. Zoning text not clear

Lot Measurements

Section 1901 Definitions (Page 75)

Discussion of these changes arose because of the ambiguity of the existing text language as well as the topic of flag lots. Modifying the Lot Depth definition gives both clarity in interpretation as well as include a depth-to-width ratio of 3:1. In Union County, 10 of the 14 township have a depth-to-width ratio requirement, with 10 townships having a 3:1 and 1 township having a 4:1. A depth to width ratio does indeed have the effect of limiting flag lots, and is a common zoning tool used to do so. The proposed change adds a 3:1 depth to width ratio. Lots of more than 10 acres are exempt.

Paris Township is unique in the fact that they are also including a minimum depth (all other measurements are maximum allowances). A minimum requirement such as this would limit shallow lots. Lots more than 10 acres are exempt.

Proposal:

“Lot Measurements – A lot shall be measured as follows:

- **Lot Depth** – ~~The distance between the mid-points of straight lines connecting the foremost points of the side lot lines in front and rear most points of the side lot lines in the rear.~~ **Where required, no lot shall have an average depth that is more than three (3) times its width measured at the road right-of-way line. No lot shall have a depth that is less than the required minimum lot frontage. For the purposes of this requirement, the average depth shall be the distance between the midpoint of a straight line connecting the**



Staff Report – Paris Township Zoning Amendment

	<p>foremost points of each side lot line at the front and the mid-point of a straight line connecting the rearmost points of the rear lot line.”</p> <p>The Union County Prosecutor’s office has raised concerns with how exactly an “average depth” is calculated. The same language is used in other Union County townships (For example, see Darby Township). The Union County Engineer’s office manages the minor subdivision/lot splits and calculates the measurements. Staff recommends Paris Township work with LUC, UCE, and the Prosecutor’s office to make sure that the proper method and description of measuring is used in the text.</p>
Staff Recommendations:	Staff recommends <i>APPROVAL WITH MODIFICATIONS</i> of the proposed zoning amendment based on the comments from the Union County Prosecutor’s Office and other research. Those modifications are removing “parcel” from the definition of “driveway” and replacing it with “lot”, and recommend working with LUC and the County Prosecutor to verify the definition of “use” and “lot depth”.
Z&S Committee Recommendations:	



Logan-Union-Champaign regional planning commission

Director: Bradley J. Bodenmiller

Zoning Text Amendment Checklist

Date: August 30, 2019

Township: Paris

Amendment Title: 2019 Paris Township Zoning Resolution Amendments

Notice: Incomplete Amendment requests **will not** be processed by our office. LUC Regional Planning Commission will return them to the requestor, stating the reason the amendment was not accepted.

Each Zoning Text Amendment change must be received in our office along with a cover letter, explaining the proposed zoning text change (s). All items listed below must be received **no later than 10 days** before the next scheduled LUC Regional Planning Commission Executive Board Meeting (second Thursday of every month). It is recommended that a person who is able to provide further information on the amendment attend the Zoning and Subdivision Committee meeting to answer any additional questions that may arise.

Required Item:	Completed by Requestor:	Received by LUC:
Cover Letter & Checklist	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Date of Request (stated in cover letter)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Description of Zoning Text Amendment Change (s)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Date of Public Hearing (stated in cover letter)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Township Point of Contact and contact information for zoning amendment (stated in cover letter)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Attachment of Zoning Text Amendment with changes highlighted or bolded	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Copy of current zoning regulation, or section to be modified for comparison	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Non-LUC Member Fee, If applicable	<u>N/A</u> <input type="checkbox"/>	<input type="checkbox"/>

Additionally, after final adoption regarding this zoning text amendment, please provide LUC with a letter stating the results of the Trustees vote, along with a copy of the adopted language.

Please see reverse side for a timeline of the Township Zoning Amendment Process, per ORC 519.12

10820 St Rt 347, PO Box 219
East Liberty, Ohio 43319
• Phone: 937-666-3431 •

• Email: luc-rpc@lucplanning.com • Web: www.lucplanning.com

ALLEN, YURASEK, OWENS-RUFF & SPAIN LLC

STEPHEN J. YURASEK

ATTORNEYS AT LAW

TELEPHONE

233 WEST FIFTH STREET

(937) 642-4070

TINA OWENS-RUFF

P.O. BOX 391

TELECOPIER

JULIE A. SPAIN

MARYSVILLE, OHIO 43040-0391

(937) 644-4380

E-MAIL: aymo@unioncountylaw.net

ASSOCIATE

PERSONAL E-MAIL

CHAD R. FRITZ

jspain@unioncountylaw.net

August 30, 2019

Logan-Union-Champaign
Regional Planning Commission
c/o Aaron Smith
P.O. Box 219
10820 St Rt 347
East Liberty, Ohio 43319
(also delivered via email to luc-rpc@lucplanning.com)

Re: Zoning Text Amendment Application,
Paris Township, Union County

Dear LUC Regional Planning Commission Committee Members:

The Paris Township Zoning Commission met at 7:00 PM on Wednesday, August 28, 2019. During the meeting, amendments to the Zoning Resolution were initiated by motion of the Zoning Commission. The amendments propose alterations to the text of the Zoning Resolution.

Description of Zoning Text Amendments.

The proposal amends several sections of Paris Township's Zoning Resolution.

Included with this cover letter, you will find a copy of the proposed zoning text amendments. Items in **bold** font are additions to the existing Resolution. Items that have been ~~stricken through~~ are deletions from the existing Resolution. I've also enclosed the existing code provisions.

Public Hearing.

The Paris Township Trustees will hold a public hearing concerning the proposed amendments on Tuesday, October 1, 2019, at 7:00 PM. This meeting will take place at Paris Township Hall.

Point of Contact.

I am Paris Township's point of contact for this matter. My contact information is contained in my letterhead.

Yours very truly,



Julie A. Spain

Proposed Changes to Paris Township Zoning Resolution

Meeting of the Board of Commissioners

Submitted to the LUC on August 30, 2019

Language existing in the current resolution but removed in the proposed amendments is indicated by ~~strikethrough formatting~~.

*Language not existing in the current resolution but proposed by the Commissioners as new language is indicated in **bold** formatting.*

Section 562, Item 6 (page 14)

6. A plan of the proposed site for the conditional use showing the location of all buildings, parking and loading areas, **driveways**, traffic access and traffic circulation, open spaces, landscaping, refuse and service areas, utilities, signs, yards, and such other information as the Board may require determining if the proposed conditional use meets the intent and requirements of this Resolution.

Section 620 (page 23)

Section 620 – U-1 Farm / Residential District ~~Depth to Width~~ **Required Lot Ratios:**

a) Depth:

Maximum: 3:1 depth to width ratio

Minimum: Depth may not be less than 100% of required lot frontage

b) Width – minimum of 100% of lot frontage

Section 720 (page 26)

Section 720 – R-1 Low Density Residential District ~~Depth to Width~~ **Required Lot Ratio:**

a) Depth:

Maximum: 3: 1 depth to width ratio

Minimum: Depth may not be less than 100% of required lot frontage

b) Width – minimum of 100% of lot frontage

Section 1901

Definition of “Driveway” to be added after “Dormer” and before “Dwelling” on page 67

Driveway – Any road or path, shared or common, giving ingress or egress to a parcel.

Lot Measurements – Page 75 (*note: The “Lot Measurements” definition will be fully stricken and replaced.*)

Lot Measurements – A lot shall be measured as follows:

Lot Depth – Where required, no lot shall have an average depth that is more than three (3) times its width measured at the road right-of-way line. No lot shall have a depth that is less than the required minimum lot frontage. For the purposes of this requirement, the average depth shall be the distance between the midpoint of a straight line connecting the foremost points of each side lot line at the front and the mid-point of a straight line connecting the rearmost points of the rear lot line.

Lot Width – The distance between straight lines connecting front and rear lot lines at each side of the lot, measured at the street or road right of way line, except on cul-de-sac streets where it is measured at the setback line. (Also see Lot Frontage). Where required, for lots containing ten (10) acres or less in area, the actual distance between the side lot lines at any point along the lot depth cannot be less than one hundred percent (100%) of the required Lot Frontage. For lots containing more than ten (10) acres, said lot shall comply with the road frontage requirements.

Structure – Anything constructed or erected, the use of which requires location on or underneath of the ground, or attachment to something having a fixed location on the ground. Among other things, structures include buildings, mobile homes, walls, fences, and billboards. (page 85)

Use – The specific purposes for which land, a driveway or a building is designed, arranged, intended, or for which it may be occupied or maintained. (page 86)

Section 562 Contents of Application for Conditional Use Permit:

A written application for a conditional use permit shall be submitted to the Zoning Inspector and the Chairman of the Board of Zoning Appeals by at least one owner and if the property is to be leased, by the putative lessee, of property for which such conditional use is proposed. At a minimum the application shall contain the following information:

1. Name, address, and telephone number of the applicant(s);
2. Legal description of property;
3. Description of existing use;
4. Zoning District;
5. Description of proposed conditional use;
6. A plan of the proposed site for the conditional use showing the location of all buildings, parking and loading areas, traffic access and traffic circulation, open spaces, landscaping, refuse and service areas, utilities, signs, yards, and such other information as the Board may require determining if the proposed conditional use meets the intent and requirements of this Resolution.
7. A narrative statement evaluating the effects on adjoining property; the effect of such elements as noise, odor and fumes on adjoining property; a discussion of the general compatibility with adjacent and other properties in the district.
8. Names and addresses of all parties in interest, as described in Section 548.

Section 563 General Standards Applicable to all Conditional Uses: The Board shall review the particular facts and circumstances of each proposed use in terms of the following standards and shall find adequate evidence showing that such use at the proposed location:

1. Is in fact a conditional use as established under the provisions of the appropriate district for which the use is being requested;
2. Will be designed, constructed, operated, and maintained so as to be harmonious and appropriate in appearance with the existing or intended character of the general vicinity and that such use will not change the essential character of the same area;
3. Will not be hazardous or disturbing to existing or future neighboring uses;
4. Will be served adequately by essential public facilities and services such as highways, streets, police and fire protection, drainage structures, refuse disposal, water and sewer; or that the persons or agencies responsible for the establishment of the proposed use shall be able to provide adequately any such services;

Section 620 – U-1 Farm / Residential District Depth to Width Ratios:

Minimum – 1:1

Section 621 – U-1 Farm / Residential District Screening and/or Landscaping:

Landscaping shall be in compliance with the provisions of Article XIII.

Section 622 – U-1 Farm / Residential District Off-street Parking and Loading:

Off-street parking and loading shall be in compliance with the provisions of Article XI.

Section 623 – U-1 Farm / Residential District Signs

Signs shall be in compliance with the provisions of Article XIV.

iii. Rear (depth): Thirty (30) feet as measured from the rear lot line for principal buildings. No accessory use or building shall be located closer than ten (10) feet to the rear lot line.

iv. Side (width): Principal Building: Twenty (20) feet on each side as measured from the side lot line. No accessory use or building shall be located closer than fifteen (15) feet to the side lot line.

Section 717 – R-1 Low Density Residential District Maximum Building Height:

For any non-farm structure – Thirty-five (35) feet. For any non-farm accessory structure – Twenty (20) feet.

Section 718 – R-1 Low Density Residential District Minimum Living Space Requirements:

For any residential dwelling unit (exclusive of the porch, basement and garage) - 1,400 square feet

Section 719 – R-1 Low Density Residential District Maximum Lot Coverage:

Ground floor area – Twenty-five percent (25%)

Section 720 – R-1 Low Density Residential District Depth to Width Ratios:

a) Minimum – 1:1

Section 721 – R-1 Low Density Residential District Screening and/or Landscaping:

Landscaping shall be in compliance with the provisions of Article XIII.

Section 722 – R-1 Low Density Residential District Off-street Parking and Loading:

Off-street parking and loading shall be in compliance with the provisions of Article XI.

Section 723 – R-1 Low Density Residential District Signs

Signs shall be in compliance with the provisions of Article XIV.

on a per play basis or any cash payout or anything that could be redeemed, directly or indirectly, for any cash payout and which is not gambling under state or local laws. Machines designated for use by the State Lottery Commission are not computerized sweepstakes devices for purposes of this Chapter. "*De minimis*" as used in this section shall mean less than ten (\$10.00) Dollars.

DBA - "Decibel-A-Weighted" - Sound pressure level as measured on the "A" scale of a sound level meter manufactured in accordance with the specifications of the American National Standards Institute, Inc. (ANSI), Type 2, ANSI-S1.4(1971), calibrated within two (2) hours of being used for measurement. Unless otherwise noted, measurements shall be made in the slow response mode of the meter.

Decibel - A unit of relative loudness equal to ten times the common logarithm of the ratio of two readings. For sound, the decibel scale runs from zero for the least perceptible sound to 130 for the sound that causes pain.

Deed Restriction - A legal restriction, not enforceable by zoning, on the use of land, contained in the deed to the property.

Density - A unit of measurement; the number of dwelling units per acre of land.

Density, Gross - The number of dwelling units per acre of the total land to be developed.

Density, Net - the number of dwelling units per acre of land when the acreage involved includes only the land devoted to residential uses. Net density calculations exclude rights-of-way of publicly dedicated streets, private streets, water retention and detention areas, open space provided as a part of the development, associated recreation facilities, etc.

Decibel (dB) - A unit of sound pressure, equal to twenty (20) times the logarithm to the base 10 of the ratio of the pressure of the sound measured to the reference pressure, which is 20 micro-pascals (20 micro-newtons per square meter).

Display publicly - The act of exposing, placing, posting, exhibiting, or in any fashion displaying in any location, whether public or private, an item in such a manner that it may be readily seen and its content or character distinguished by normal unaided vision viewing it from a street, highway, or public sidewalk, or from the property of others, or from any portion of the premises where items and material other than hard core material are on display to the public.

Dormer - A windowed wall area flanked on both sides by sloping roof areas.

Dwelling - Any building or structure which is wholly or partly used or intended to be used for living or sleeping by one or more human occupants.

street parking space. All off-street loading spaces shall be located totally outside of any street or alley right-of-way.

Lot – A parcel of land of sufficient size to meet minimum zoning requirements for use, coverage, and area for one principal building together with its accessory building and which provides such yards and other open spaces as are herein required. Such lot shall have frontage on an improved public street, and may consist of: a single lot of record; a portion of a lot of record; a combination of complete lots of record, of complete lots of record and portions of lots of record, or of portions of lots of record.

Lot Coverage – The ratio of enclosed ground floor area of all buildings on a lot to the horizontally projected area of the lot, expressed as a percentage.

Lot Frontage – The front of a lot shall be construed to be the portion at the street or road right-of-way line. For the purpose of determining yard requirements on corner lots and through lots, all sides of a lot adjacent to streets or road right-of-way lines shall be considered frontage, and yards shall be provided as indicated under "Yard" in this section. (Also see Lot Measurement, Width)

Lot, Minimum Area of – The area of a lot is computed exclusive of any portion of the right-of-way of any public street or road.

Lot Measurements – A lot shall be measured as follows:

Lot Depth – The distance between the mid-points of straight lines connecting the foremost points of the side lot lines in front and rear most points of the side lot lines in the rear.

Lot Width – The distance between straight lines connecting front and rear lot lines at each side of the lot, measured at the street or road right of way line, except on cul-de-sac streets where it is measured at the setback line. (Also see Lot Frontage) For lots containing ten (10) acres or less in area, the actual distance between the side lot lines at any point along the lot depth cannot be less than one hundred (100%) percent of the required Lot Frontage. For lots containing more than ten (10) acres, said lot shall comply with road frontage requirements.

Lot of Record – A lot which is part of a subdivision recorded in the office of the County Recorder, or a lot or parcel described by metes and bounds, the description of which has been so recorded.

Lot Types – Terminology used in this Resolution with reference to corner lot, interior lots and through lots is as follows:

Corner Lot – A lot located at the intersection of two or more streets. A lot abutting on a curved street or streets shall be considered a corner lot if straight

(2) Excretory function as part of the activities described in subpart (1) of the definition of "Specified Sexual Activity".

Stick-Built – A way of describing any structure built from board of lumber and other building materials, in which a substantial amount of the required material and construction labor are bought together in the final form at the foundation site.

Storage Facility – A structure which is partially open or fully enclosed in which animals, chattels or property are stored or kept.

Story – That part of a building between the surface of a floor and the ceiling immediately above.

Structural Alterations – Any change in the supporting members of a building such as bearing walls, columns, beams or girders.

Structure – Anything constructed or erected, the use of which requires location on the ground, or attachment to something having a fixed location on the ground. Among other things, structures include buildings, mobile homes, walls, fences and billboards.

Supply Yards – A commercial establishment storing and offering for sale building supplies, steel supplies, coal, heavy equipment, feed and grain, and similar goods.

Sweepstakes/Internet Café -- means any premises upon which any computerized sweepstakes device is located for the use or entertainment of the public, whether or not such premises has other business purposes of any nature whatsoever.

Swimming Pool – A pool, pond, lake, or open tank containing at least 1.5 feet of water at any point and maintained by the owner or manager. Farm ponds are exempt from this definition.

Private Swimming Pool – Exclusively used without paying an additional charge for admission by the residents and guests of a single household, a multifamily development, or a community, the members and guests of a club, or the patrons of a motel or hotel, and accessory use.

Community Swimming Pool – Operated with a charge for admission; a primary use.

Telecommunication Tower – Any structure with radio frequency transmission or reception equipment attached that is free standing or is to be connected to a building or other structure.

Thoroughfare, Controlled or Limited Access – A road on the interstate highway system, or any other route which is so designed as to carry large volumes of through traffic and preclude traffic flow interruptions normally resulting from turning and stopped traffic. Controlled or limited access thoroughfares have no grade crossings and utilize exit and

entrance ramps, bridges, merge and exit lanes, and other design features to accomplish unimpeded traffic flow, and are not intended to provide direct access to abutting property. Controlled or limited access thoroughfares shall not be construed as providing lot frontage as required by these Regulations.

Toxic or Hazardous Material – Any substance or mixture by physical characteristic such as flammability, corrosivity, toxicity, reactivity, or infectious characteristics as to pose a significant or potential hazard to water supplies or human health if such substances were discharged to land or waters of the community or township.

Trailer - means any unpowered vehicle towed by a powered vehicle. "Trailer" does not include a manufactured home.

Transients- persons who pass through or by a place with only a brief stay or sojourn.

Transient Lodgings – A building in which lodging or boarding are provided and offered to the public for compensation. As such it is open to the public in contradistinction to a boarding house, rooming house, lodging house, or dormitory. Examples of transient lodgings include: hotel, motel, apartment hotel, or Bed & Breakfast.

Transport Terminals – Any business, structure or premise which primarily receives or distributes goods.

Travel Trailer – A non-self propelled recreational vehicle that does not exceed an overall length of thirty five (35) feet, exclusive of bumper and tongue or coupling, and contains less than three hundred and twenty (320) square feet when erected on site. "Travel trailer" continues to include a tent-type fold-out camping trailer as defined in section 4517.01 of the Ohio Revised Code. A travel trailer is designed to be used as temporary dwelling (not more than 90 days) and shall not be used as a residential dwelling.

Use – The specific purposes for which land or a building is designated, arranged, intended, or for which it is or may be occupied or maintained.

Variance – A variance is a modification of the strict terms of the relevant regulations which such modification will not be contrary to the public interest and where owing to conditions peculiar to the property and not the result of the action of the applicant, a literal enforcement of the regulations would result in unnecessary and undue hardship.

Veterinary Animal Hospital or Clinic – A place used for the care, grooming, diagnosis, and treatment of sick, ailing, infirm, or injured animals, and those who are in need of medical or surgical attention, and may include overnight accommodations on the premises for the treatment, observation and/or recuperation. It may also include boarding that is incidental to the primary activity.

Vicinity Map – A drawing located on the plat which sets forth by dimensions or other means, the relationship of the proposed subdivision or use to other nearby developments



Zoning & Subdivision Committee

Thursday, September 12, 2019

The Zoning and Subdivision Committee met in regular session on Thursday, September 12, 2019 at 12:15 pm at the LUC East Liberty Office.

Zoning & Subdivision Committee Members were in attendance as follows: Brad Bodenmiller, Tyler Bumbalough, Scott Coleman, Wes Dodds, Ashley Gaver, Charles Hall, Steve McCall, Heather Martin, Bill Narducci, Tammy Noble for Vince Papsidero, Tom Scheiderer, Aaron Smith, Jeff Stauch, and Andy Yoder.

Guests included: Justin Wollenberg, Terrain Evolution; Adam Moore, City of Urbana; David Faulkner, Champaign County Commissioners; Jeff Stark, Dublin City Schools; Andy Kushmeider, EMH&T; Todd Cunningham, EMH&T; Wade Dunham, Evergreen Land Company; Dan Hoying, LJB, Inc; Brian Dougherty; Allen Shepherd.

Scott Coleman chaired the Zoning & Subdivision Committee Meeting.

Charles Hall moved a motion to approve the minutes from the August 8 meeting as written and Wes Dodds seconded. All in favor.

1. Review of ERN-2 Phase 1 Amended Final Plat (Union County) – Staff Report by Brad Bodenmiller
 - Bill Narducci – You mentioned a house was constructed over the property line?
 - Justin Wollenberg – It was constructed over the property line. It was built 16 feet from where it should have been. We surveyed it and are shifting the property lines as needed.
 - Brad Bodenmiller – For an amended plat the property owners have to sign off on it. Justin brought all the signatures today.
 - Charles Hall – It didn't affect the properties?
 - Justin Wollenberg – No some utility boxes will need to be shifted to the new line.
 - Tammy Noble – Don't they have to do build inspections to catch it?
 - Justin Wollenberg – The inspection didn't catch it.
 - Charles Hall moved a motion to recommend approval of the ERN-2 Phase 1 Amended Final Plat and Steve McCall seconded. All in favor.
2. Review of The Courtyards on Hyland Run Preliminary Plat (Union County) – Staff Report by Brad Bodenmiller
 - Charles Hall – The Commissioners did not approve or disapprove the variance on the dead-end street. We wanted more information.



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- Justin Wollenberg – We made a change that does not require a variance. The proposal is to eliminate the stub. Justin provided an explanation to the committee describing the change they will be making to eliminate the dead-end road and rotate the two lots impacted. The road will more than likely never extend. No provisions for it to be a temporary dead end.
 - Bill Narducci – After we had the discussion with the Commissioners, that proposal was brought out. We didn't have the background or the reasoning, with that additional information it does make sense. This layout works within the standards of the development we approve. We feel it's a good change. The question that was brought up is that the submittal for the preliminary plat shows a dead-end street. There was a revision made after the submittal. Can we allow them to make that change or do we require them to table and come back at another meeting.
 - Justin Wollenberg requested to table the plat.
 - Charles Hall – I appreciate that because there were questions, we would like to see answered.
 - Tyler Bumbalough – You had a comment about 99 lots versus 90.
 - Brad Bodenmiller - The township said they had approved 90 lots, but I believe they have density leeway. The township requested clarification on the lot count.
 - Justin Wollenberg – There's an overall maximum density for all of Jerome Village. We're allowed to move the density through Jerome Village in each pod by 10%. This won't take us over what we're allowed.
 - Tyler Bumbalough – Will that dead-end street become another lot?
 - Justin Wollenberg – No, we're approved for 90 lots so we can only go up to 99.
 - Wes Dodds moved a motion to accept the request from Justin Wollenberg to table The Courtyards on Hyland Run Preliminary Plat and Andy Yoder seconded. All in favor.
3. Review of Jerome Township Middle and Elementary School Preliminary Plat (Union County) – Staff Report by Brad Bodenmiller
- Charles Hall – Is Ohio Edison supplying the electric?
 - Justin Wollenberg – Yes.
 - Charles Hall moved a motion to accept the staff recommendation of approval with comments of the Jerome Township Middle and Elementary School Preliminary Plat and Jeff Stauch seconded. All in favor.
 - Jeff Stark – I'm from Dublin City Schools. I just want to say thank you and looking forward to working together.
4. Review of New California Hills XIII Preliminary Plat (Union County) – Staff Report by Brad Bodenmiller

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- Tom Scheiderer moved a motion to recommend approval with all comments listed in the staff report of the New California Hills XIII Preliminary Plat and Bill Narducci seconded. All in favor.
- 5. Review of Paris Township Zoning Text Amendment (Union County) – Staff Report by Aaron Smith
 - Wes Dodds – What's the township's concern? Why regulate the depth of the lot?
 - Aaron Smith – The original discussion happened due to discussion of flag lots; they want to limit them so this will prevent it. There was ambiguity in the language itself. They had 1:1 ratio that was very non-specific. They decided to put in the 3:1 ratio for that and then making the lot frontage being the minimum depth.
 - Wes Dodds – They don't have a reasoning for why they don't want shallow lots?
 - Aaron Smith – They've discussed regulating flag lots and clarifying the 1:1 ratio requirement in their Zoning Resolution.
 - Wes Dodds – Do they know how many non-conforming lots they will create?
 - Aaron Smith – Discussion did not happen regarding that.
 - Charles Hall – Why the change from parcel to lot?
 - Aaron Smith - because parcel isn't changed
 - Tammy Noble – Is there a reason they're requesting driveways through a conditional use instead of the site planning? Shouldn't that be applicable to any site planning that is submitted? It seems like that's regulating access. I would suggest being more holistic and require driveway location for all site plans.
 - Tyler Bumbalough – Some of the text for the driveway said common or shared, are those words the same meaning? Isn't it the same?
 - Aaron Smith – To a normal person reading that I would agree. In the realm of driveways, are you aware Jeff?
 - Jeff Stauch – We use those interchangeably.
 - Tyler Bumbalough – Are we excluding singular ownership of a driveway here?
 - Brad Bodenmiller – That's a great point.
 - Jeff Stauch – You could say singular or shared.
 - Brad Bodenmiller – You can say common or not.
 - Bill Narducci – The purpose of our definition is for drives that serve multiple parcels. I think it may be appropriate to add lot or lots.
 - Tyler Bumbalough – On underground structure definition, I'm worried that a sidewalk or patio would be considered a structure at this point.
 - Brad Bodenmiller – There is usually an exemption for structures under 3 feet in the yard definition in township zoning resolutions.
 - Tammy Noble – So they'd have to get a permit for a septic tank?

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- Aaron Smith – That would fall under essential services so it would be a conditional use permit at that point.
- Tyler Bumbalough – If they're worried about bunkers, those types of things are habitable. A septic tank is not.
- Brad Bodenmiller – I think they changed the yard definition because I don't see things under three feet being exempt.
- Tammy Noble – I don't want to get into a permitting nightmare. Can they just say a structure including bunkers and then define bunkers?
- Scott Coleman – Are they going to regulate a root cellar?
 - Aaron Smith provided information further.
- Brad Bodenmiller – It sounds like they have more work to do.
- Steve McCall – I think it would be wise to deny or to table it.
- Wes Dodds – Do they have a public hearing scheduled? They need a recommendation for their hearing with comments.
- Wes Dodds – Going back to the lot measurements and required depth. Are lots of 10 acres exempt from that? Or just the 3:1 ratio?
 - Aaron Smith – It is for the minimum depth.
 - Wes Dodds – I still don't know that I'm comfortable with that for larger lot size. If you have to have 500 feet of frontage and 500 feet depth.
 - Steve McCall – I think in some townships it's 5 acres.
 - Aaron Smith – The 10 acre is specific to the U1 and R1 district and not specific to lot measurements. The other districts don't have requirements.
 - Tammy Noble – Can we make a motion to recommend they work things out with the prosecutor's office?
 - Brad Bodenmiller – I don't think it's a problem to recommend denial if there's a lot of concern and recommend they work with the prosecutor's office.
- Tyler Bumbalough moved a motion to recommend denial of the Paris Township Zoning Text Amendment for the reasons discussed by the committee and the committee suggest they work the Prosecutor's Office prior to the public hearing and Wes Dodds seconded. All in favor.

The Zoning and Subdivision Committee adjourned at 1:05 pm with Steve McCall moving a motion to adjourn and Andy Yoder seconded. All in favor.

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