Logan-Union-Champaign
regional planning commission

Dave Gulden, AICP
Director

Jim Holycross
President

Jeremy Hoyt
Vice-President

Dave Faulkner
2nd Vice-President

Robert A. Yoder
Treasurer

Zoning & Subdivision Committee

Thursday, December 14, 2017

11:00 am

- Minutes from last meeting of November 9, 2017

1. Review of Darby Braeside Amended Preliminary Plat (Union County) – Staff Report by Brad Bodenmiller
2. Review of Jerome Village ERN-1 Phase 2 Final Plat (Union County) – Staff Report by Brad Bodenmiller
3. Review of Jerome Village ERN-2 Preliminary Plat Extension (Union County) – Staff Report by Brad Bodenmiller
4. Review of Jerome Village GPN-5 Phase 8 Final Plat (Union County) – Staff Report by Brad Bodenmiller
5. Review of Jerome Village VN-3 Preliminary Plat (Union County) – Staff Report by Brad Bodenmiller
6. Review of Jerome Village VN-4 Plat Extension (Union County) – Staff Report by Brad Bodenmiller
7. Review of Taylor Township Text Amendment (Union County) – Staff Report by Brad Bodenmiller

Members:
Tyler Bumbalough – City of Urbana Engineer
Scott Coleman – Logan County Engineer
Weston R. Dodds – City of Bellefontaine Code Enforcement
Chad Flowers – City of Marysville Planning
Charles Hall – Union County Commissioner
Steve McCall – Champaign County Engineer
Bill Narducci – Union County Engineer's Office
Vince Papsidero – City of Dublin Planning Director
Tom Scheiderer – Jefferson & Zane Township Zoning Inspector
Jeff Stauch – Union County Engineer
Robert A. Yoder – North Lewisburg Administrator
Dave Gulden – LUC
Heather Martin – LUC
Brad Bodenmiller – LUC

10820 St. Rt. 347, PO Box 219
East Liberty, Ohio 43319
• Phone: 937-666-3431
• Email: luc-rpc@lucplanning.com • Web: www.lucplanning.com

Staff Report – Darby Braeside

Applicant:	**Darby Braeside LLC** c/o Wayne Ballantyne 1119 Regency Drive Columbus, OH 43220 wayneballant@gmail.com **Mannik & Smith** c/o Randy van Tillburg 422 Beecher Road Columbus, OH 43215 rvantilburg@manniksmith.com
Request:	Approval of the Darby Braeside Amended Preliminary Plat.
Location:	Located west of State Route 736, east of the Big Darby Creek, and between Robinson Road and US State Route 42 in Jerome Township, Union County.

Staff Analysis:	This proposal amends 91.39 acres of the Preliminary Plat. The 31.198 acres of open space along the Darby Creek, or Reserve "D" remains unchanged. The Plat proposes 41 single-family residential lots. Acreages: ○ 8.478 acres in right-of-way ○ 79.061 acres in single-family residential lots ○ 3.851 (35.049) acres in open space Proposed utilities: ○ Water service proposed is private, on-site wells ○ Sanitary service proposed is private, on-site treatment systems Preliminary Plat: ○ The original Preliminary Plat was approved in June 2015. ○ The Phase 1 Final Plat was approved in October 2015. ○ The Preliminary Plat Extension was approved in April 2017. ○ The Amended Preliminary Plat would increase the amount of open space and allow for 2 additional lots.

	• **Union County Engineer's Office** o The Engineer's Office submitted comments in a letter dated 12-06-17. The Engineer's Office recommended approval with modifications. Items listed below should be addressed in the Final Construction Drawings, or resolved as indicated: 1. Verification of an adequate outlet will be required for the retention basin in Reserve "C". 2. Roadway frontage for access to the retention basin in Reserve "B" will need to be constructed with the initial phase in order to provide acceptable access to the retention basin. 3. Further information will be required regarding ownership and maintenance activities permitted within Reserves "A" and "D". Reserve "D" encompasses Big Darby Creek, and adequate riparian setbacks need to be provided to restrict activity within and adjacent to this scenic river, per OEPA and Army Corps of Engineer requirements. • **Union County Soil & Water Conservation District** o No comments received as of 12-06-17. • **Union County Health Department** o The Health Department submitted a copy of its review sheet on dated 12-05-17. (Please see checklist for more information.) It clarified the approval process in a 12-06-17 email. 1. The Board of Health approved this plat once before. Prior to the Final Plat stage, further Board of Health approval will be required. • **City of Marysville** o No comments received as of 12-06-17. • **Village of Plain City** o No comments received as of 12-06-17. • **Jerome Township** o The Township submitted comments in a letter dated 12-06-17. The zoning office advised it had no comments regarding the plat and would raise no issues in regards to its pending approval.

	• **Darby Township** o No comments received as of 12-06-17. • **ODOT District 6** o No comments received as of 12-06-17. • **Union Rural Electric** o Union Rural Electric submitted comments in a letter dated 12-06-17. Please refer to the letter for the full comments. **Some** of those comments are listed below: 1. Request phase boundary lines. 2. URE require continuous easements for looping development facilities. 3. Sheet 9: URE require easements separate from storm facilities. 4. URE also expressed concerns to be worked-out regarding slope in some locations and relationship of utility easements to sewage absorption areas. • **LUC Regional Planning Commission** 1. On the Final Plat, update "APPROVALS" signature lines to exactly match those required by the Subdivision Regulations (see page 32). 2. A letter from Jerome Township certifying that the Final Plat conforms with the Township's zoning is required before any approval of the Final Plat may be granted (§401; §412, 1.; §413, 2.). 3. All bonds, surety, letters of credit, etc. shall be approved by the County Commissioners before any approval of the Final Plat may be granted (§326).

Staff Recommendations:	Staff recommends ***APPROVAL*** of the Darby Braeside Amended Preliminary Plat with the ***condition*** that all comments/modifications from LUC and reviewing agencies shall be incorporated into Construction Drawings and Final Plat. The developer shall ensure that prior to Final Plat submittal, all requirements and items outlined in the Union County Subdivision Regulations are incorporated in the Final Plat ***prior*** to submittal.

Z&S Committee Recommendations:	

Darby Braeside LLC
1119 Regency Drive
Columbus, Ohio 43220

11/21/17

Mr. Dave Gulden, Director
LUC Regional Planning Commission
10820 St. Rt. 347
East Liberty, Ohio 43319

Re: Darby Braeside
Amended Preliminary Plat Application

Dear Mr. Gulden:

Please find attached the application and requisite supporting documents for the amended preliminary plat for the Darby Braeside subdivision. Please schedule us for the December 14, 2017 Preliminary Plat Subdivision hearing. The applicable acreage is 122.588 of which 31.198 acres is open space that is unchanged from previous preliminary plat approvals. I have accordingly affixed a check for $4969.50 representing the $400 application fee plus $50/acre for 91.39 acres (122.588-31.198).

Please contact me if you require more information.

Respectfully yours,

Wayne Ballantyne
Managing Member
Darby Braeside LLC

Logan-Union-Champaign
regional planning commission

Director: Dave Gulden, AICP

Application for Preliminary Plat Approval

Date: 11-21-17

Name of Subdivision: DARBY BRAESIDE
Location: 8673 SR 736 PLAIN CITY OHO 43064
Township: JEROME Military Survey: VMS, 3484
Complete Parcel(s) Identification Number (PIN): 150016002 0000 & 410017023 0000

Have **ALL** Sketch Plan review letters been obtained? YES (Engineer, SWCD, Board of Health)

Name of Applicant: DARBY BRAESIDE LLC
Address: 1119 REGENCY DR
City: COLUMBUS State: OH Zip: 43220
Phone: 614 406-7514 Fax: Email: wayneballant@gmail.com

Name of Owner of property to be subdivided: DARBY BRAESIDE LLC
Address: 1119 REGENCY DR
City: COLUMBUS State: OH Zip: 43220
Phone: 614 406-7514 Fax: Email: wayneballant@gmail.com

Name of Applicant's Surveyor or Engineer: MANNIK & SMITH
Address: 1160 DUBLIN RD
City: COLUMBUS State: OH Zip: 43215
Phone: 614 441-4222 Fax: Email: rvantilburg@mannikesmith.com

Proposed Acreage to be Subdivided: 122.568 A. OF WHICH 31.198 IS OPEN SPACE UNCHANGED FROM EARLIER PRELIM. PLATS

Current Zoning Classification: U1

Proposed Zoning Changes: U1

Proposed Land Use: SINGLE FAMILY RESIDENTIAL

Development Characteristics

Number of proposed lots: 41 Typical lot width (feet): 250
Number of proposed units: 41 Typical lot area (sq. ft.): 90000
Single Family Units: 41 Multi-Family Units: NO

Acreage to be devoted to recreation, parks or open space: 35.049

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regional planning commission

Director: Dave Gulden, AICP

Recreation facilities to be provided: CANOE STORAGE, PICNIC SHELTER

Do you propose deed restrictions? (If yes, attach a copy): Yes X No ____

1. Proposed method of Supplying Water Service: WELL, ON-SITE

2. Proposed method of Sanitary Waste Disposal: SEPTIC, ON-SITE
(If on-site disposal systems are proposed, please attach letter certifying the County Board of Health approval)

3. Requests for Variances from Subdivision Regs: NONE
(If yes, please explain variances and reason for variances)

List all proposed improvements and utilities and state your intention to install or provide a guarantee prior to final plat approval:

	Improvement	Installation	Guarantee
a.	ROADS		BOND W/UNION COUNTY
b.	ELECTRIC UTILITIES		URE LETTER
c.	STORM SEWER MGMT SYSTEM		PER CONST. DWGS
d.			
e.			

For Official Use

Date filed: _____ Filing Fee: _____

Date of Meeting of Planning Commission: _____

Action by Planning Commission: _____

If rejected, reason(s) for: _____

9676 E. Foundry St, PO Box 219
East Liberty, Ohio 43319
• Phone: 937-666-3431 • Fax: 937-666-6203
• Email: luc-rpc@lucplanning.com • Web: www.lucplanning.com

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regional planning commission

Director: Dave Gulden, AICP

Preliminary Plat Review Checklist

#	Required Item Description	Have	Need
1	Drawn at a scale not less than 1:100 and shall be on one or more sheets 24" X 36"	X	
2	Proposed name of the subdivision, which shall not duplicate or closely approximate the name of any other subdivision in the county.	X	
3	Location by section, range, and township or Virginia Military Survey (VMS).	X	
4	Names, addresses and telephone numbers of the owner, subdivider, and professional surveyor or professional engineer who prepared the plat; and the name, address and telephone number of the professional surveyor who performed the boundary survey.	X	
5	Date of survey.	X	
6	Scale of the plat, north point, and date.	X	
7	Boundaries of the subdivision and its acreage.	X	
8	Names of adjacent subdivisions, owners of record of adjoining parcels of unsubdivided land, and the location of their boundary lines.	X	
9	Locations, widths, and names of existing streets, railroad rights-of-way, easements, parks, permanent buildings, and corporation and township lines; location of wooded areas and other significant natural features; soil types and soil type limits; limits of Flood Hazard zones.	X	
10	Zoning classification of the tract and adjoining properties.	X	
11	Existing contours (USGS datum) at an interval of not greater than two feet if the slope of the ground is fifteen percent or less; and not greater than five feet where the slope is more than fifteen percent.	X	
12	Existing sewers, water and gas mains, culverts and other underground structures, and electric and telephone poles and lines and other above ground structures within and adjacent to the tract.	X	
13	Layout, names and widths of proposed streets and easements.	X	
14	Building setback lines with dimensions.	X	
15	Layout and dimensions of all proposed water and sewer lines, showing their connections with the existing systems, and all proposed easements for utility, water and sewer lines.	NA	
16	Layout, numbers and approximate dimensions of each lot. When lots are located on a curve or when side lot lines are not at ninety degree angles, the width at the building line shall be shown, if it is less than the frontage width. Location of access from lots to the proposed streets shall be shown.	X	
17	Parcels of land to be reserved for public use or to be reserved by covenant for residents of the subdivision.	X	

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18	The limits of all Flood Hazard Areas (zone A, AE, B, and X) as determined by the Federal Emergency Management Agency (show the FEMA map number and date). The Base Flood Elevation shall be determined and shown. Minimum first floor elevations shall be shown for all lots located within Flood Hazard Areas.	X	

	Supplementary Information		
19	Statement of proposed use of lots, giving the type and number of dwelling units; and type of business or industry if use is not residential.	X	
20	Description of proposed covenants and restrictions.	X	
21	Description of proposed zoning changes.		
22	Typical sections and tentative profiles of streets and other related improvements as required in Article 5. Calculations as required to justify horizontal and vertical curves, pipe sizes, etc. The County Engineer shall have approved the layout and design of the lots, streets and other improvements prior to the Preliminary Plat approval.	X	
23	A preliminary drainage plan which shall identify adequate drainage outlets and shall contain adequate measures for control of erosion and siltation and for surface water management in accordance with Article 5 and the Technical Design Standards. The County Soil and Water Conservation District shall have approved the preliminary drainage plan prior to Preliminary Plat approval.	X	
24	If the subdivider proposes individual household sewage systems, the County Board of Health or the OEPA shall have approved the use of individual household sewage systems prior to the Preliminary Plat approval.	PENDING	
25	If the subdivider proposes individual household wells, the subdivider shall supply evidence acceptable to the County Board of Health of the availability of satisfactory water. The County Board of Health or the OEPA shall have approved the use of individual household wells prior to the Preliminary Plat approval.	PENDING	
26	Letters from utility companies, as required, indicates approval of easement locations and widths prior to the Preliminary Plat approval.	NA	
27	A vicinity map at scale of generally not more than six thousand feet to an inch shall be shown on, or shall accompany, the Preliminary Plat. This map shall show all existing subdivisions, roads, and tract lines, together with the names of the owners of land immediately adjoining the proposed subdivision and between it and the nearest existing thoroughfares. It shall also show the most advantageous connections between the roads in the proposed subdivision and those of the neighboring areas.	X	
28	Preliminary Plat Fees: Payment/Check made out to LUC Regional Planning Commission, based on the current fee schedule.	X	

APPLICATION FOR AMENDED PRELIMINARY PLAT APPROVAL
DARBY BRAESIDE

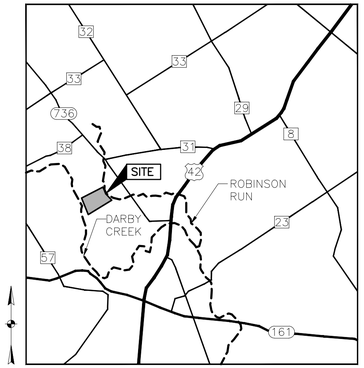
19 A. Proposed Use of Lots:
Single family residential

19 B. Number of Dwelling Units:
41

20 A. Description of Proposed Covenants and Restrictions:
Attached

20 B. Proposed Zoning Changes:
None

DARBY BRAESIDE PHASE 2-4
PRELIMINARY ENGINEERING PLAN
STREET, STORM, AND GRADING PLANS
2017
UNION COUNTY, OHIO
TOWNSHIPS OF JEROME AND DARBY



LOCATION MAP
NOT TO SCALE

UTILITY COMPANIES

COLUMBIA GAS OF OHIO
970 W. GOODALE AVENUE
COLUMBUS, OH 43212
614–460–2079

UNION RURAL ELECTRIC
15461 U.S. 36 E
MARYSVILLE, OH 43040
1–800–642–1826

TIME WARNER COMMUNICATIONS
11 SOUTH MULBERRY STREET
MT. VERNON, OH 43050
1–800–617–4311

FRONTIER COMMUNICATIONS
1360 COLUMBUS–SANDUSKY RD.
MARION, OH 43302
740–383–0551

UNION COUNTY ENGINEERING
233 WEST SIXTH STREET
MARYSVILLE, OH 43040
937–645–3018

OHIO Utilities Protection SERVICE
811 or 1-800-362-2764
Call Before You Dig

SITE ZONING

JEROME TOWNSHIP ZONING: RU – RURAL RESIDENTIAL DISTRICT
DARBY TOWNSHIP ZONING: U–1 – RURAL UNDEVELOPED DISTRICT

STANDARD DRAWINGS

THE STANDARD CONSTRUCTION DRAWINGS LISTED ON THESE PLANS SHALL BE CONSIDERED A PART THEREOF:

ODOT	UNION COUNTY	
CB 1.1	11	16
CB 1.2	12	17
HW 2.2	13	18
	15	19

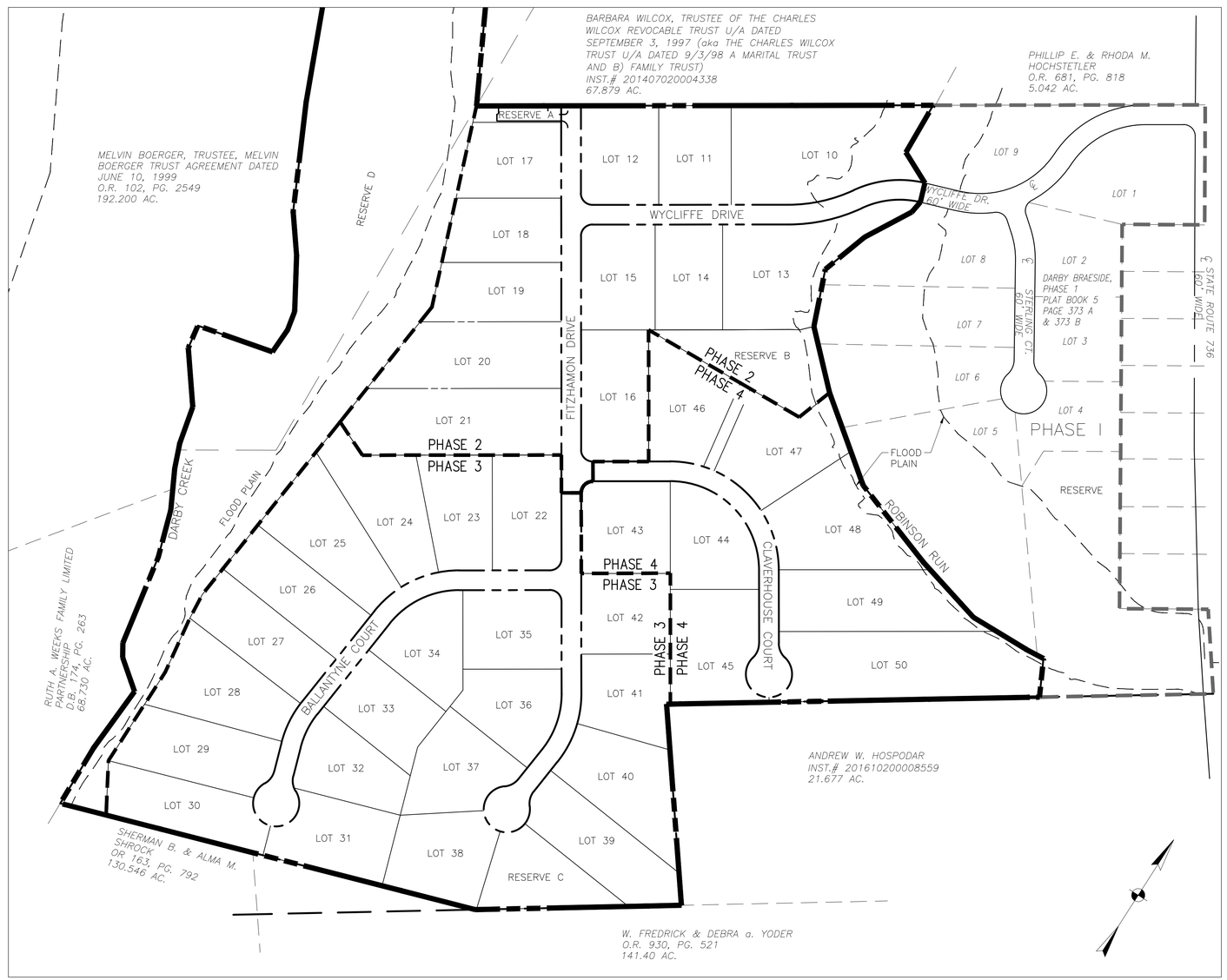
DETENTION SUMMARY

DETENTION IS PROVIDED BY A WET BASINS IN RESERVE 'B' & 'C'.

BENCHMARKS

THE ELEVATIONS ARE BASED ON GPS OBSERVATIONS USING THE STATE OF OHIO DEPARTMENT OF TRANSPORTATION VRS SYSTEM. THE STATE PLANE COORDINATE SYSTEM, OHIO NORTH ZONE, NORTH AMERICAN DATUM OF 1983, ALSO KNOWN AS NAD83 (2011 ADJUSTMENT), WITH A NAVD88.

THE BASIS OF BEARINGS FOR THIS SURVEY IS THE CENTER LINE OF STATE ROUTE 736 AS BEING S 32°08'12" E., ALSO BASED ON GPS OBSERVATIONS USING THE STATE OF OHIO DEPARTMENT OF TRANSPORTATION VRS SYSTEM AND THE STATE PLANE COORDINATE SYSTEM, OHIO NORTH ZONE.



INDEX MAP
SCALE: 1" = 200'

ENGINEER

THE MANNIK & SMITH GROUP, INC.
1160 DUBLIN ROAD, SUITE 650
COLUMBUS, OHIO 43215
CONTACT: RANDY L. VANTILBURG, PE.
PHONE: 614–441–4222
EMAIL: RVanTilburg@MANNIKSMITHGROUP.COM

OWNER/APPLICANT

DARBY BRAESIDE, LLC
1119 REGENCY DRIVE
COLUMBUS, OHIO 43220
CONTACT: WAYNE BALLANTYNE
EMAIL: WAYNEBALLANT@GMAIL.COM

SURVEYOR

J. & J. SURVEYING SERVICES, INC.
7509 EAST MAIN ST. SUITE 104
REYNOLDSBURG, OHIO 43068
CONTACT: JOHN W. WETHERILL
EMAIL: JOHN.WETHERILL@JJSURVEYINGOHIO.COM

SHEET INDEX

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ENGINEER

Mannik Smith GROUP
TECHNICAL SKILL. CREATIVE SPIRIT.
www.MannikSmithGroup.com

CONTACT: RANDY VANTILBURG, P.E.
MAILING ADDRESS: 1160 DUBLIN ROAD, SUITE 100
COLUMBUS, OH 43215
PHONE: (614) 441–4222
EMAIL ADDRESS: RVANTILBURG@MANNIKSMITHGROUP.COM

OHIO REGISTERED PROFESSIONAL ENGINEER DATE

NO.	DATE	BY	DESCRIPTION

1160 DUBLIN ROAD, SUITE 100
COLUMBUS, OH 43215
TEL: 614-441-4222
FAX:888-488-7340

PROJECT DATE: 11/07/2017
PROJECT NO.: D3250001
DRAWN BY: DJ
CHECKED BY: RV

Mannik Smith GROUP
TECHNICAL SKILL. CREATIVE SPIRIT.
www.MannikSmithGroup.com

PREPARED FOR:
DARBY BRAESIDE, LLC

CITY OF PLAIN CITY, OHIO
DARBY BRAESIDE
PRELIMINARY PLAN
PHASE 2-4
UNION COUNTY OHIO

TITLE SHEET

L:\Projects\Projects A-E\D3250001\CAD\SHEETS\01 - TITLE SHEET.dwg - Last printed 11/22/2017 2:21 PM

GENERAL CONSTRUCTION NOTES:

THE CURRENT UNION COUNTY AND OHIO DEPARTMENT OF TRANSPORTATION CONSTRUCTION AND MATERIAL SPECIFICATIONS INCLUDING ALL SUPPLEMENTS THERETO, TOGETHER WITH THE REQUIREMENTS OF UNION COUNTY IN FORCE ON THE DATE OF THE CONTRACT, SHALL GOVERN ALL MATERIALS, METHODS OF CONSTRUCTION, AND WORKMANSHIP INVOLVED IN THE IMPROVEMENTS SHOWN ON THESE PLANS, EXCEPT, AS SUCH SPECIFICATIONS ARE MODIFIED BY THE FOLLOWING SPECIFICATIONS OR BY THE CONSTRUCTION DETAILS SET FORTH HEREIN.

THE CONTRACTOR SHALL NOTIFY UNION COUNTY ENGINEER 24 HOURS PRIOR TO CONSTRUCTION.

THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS.

THE CONTRACTOR SHALL CONFINE HIS ACTIVITIES TO THE PROPOSED ON-SITE CONSTRUCTION AREAS OR THE EXISTING RIGHT-OF-WAYS, CONSTRUCTION AND PERMANENT EASEMENTS AND SHALL NOT TRESPASS UPON OTHER PRIVATE PROPERTY WITHOUT THE WRITTEN CONSENT OF THE OWNER. IN GENERAL, LOTS SHALL BE PROTECTED FROM DISTURBANCE OR CONSTRUCTION TRAFFIC SO THAT FUTURE ON-SITE SANITARY SYSTEMS REMAIN VIABLE.

ALL ITEMS OF WORK CALLED FOR ON THE PLANS FOR WHICH NO SPECIFIC METHOD OF PAYMENT IS PROVIDED SHALL BE PERFORMED BY THE CONTRACTOR AND THE COST OF THE SAME SHALL BE INCLUDED IN THE PRICE BID FOR THE VARIOUS RELATED ITEMS.

ALL FIELD TILE BROKEN DURING EXCAVATION SHALL BE REPLACED TO ORIGINAL CONDITION OR CONNECTED TO THE STORM SEWER SYSTEM AS DIRECTED BY THE ENGINEER.

THE CONTRACTOR SHALL CAREFULLY PRESERVE BENCH MARKS, PROPERTY CORNERS, REFERENCE POINTS, STAKES AND OTHER SURVEY REFERENCE MONUMENTS OR MARKERS. IN CASES OF WILLFUL OR CARELESS DESTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORATION OF MARKERS. RESETTING OF MARKERS SHALL BE PERFORMED BY AN OHIO PROFESSIONAL SURVEYOR.

THE CONTRACTOR SHALL DISPOSE OF ALL SURPLUS EXCAVATION, AS DIRECTED BY THE OWNER.

THE DESIGN ENGINEER WILL NOT BE RESPONSIBLE FOR MEANS, METHODS, PROCEDURES, TECHNIQUES, OR SEQUENCES OF CONSTRUCTION THAT ARE NOT SPECIFIED HEREIN. THE DESIGN ENGINEER WILL NOT BE RESPONSIBLE FOR SAFETY ON THE JOB SITE, OR FOR FAILURE BY THE CONTRACTOR TO PERFORM WORK ACCORDING TO CONTRACT DOCUMENTS.

THE CONTRACTOR AND SUB-CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR COMPLYING WITH ALL FEDERAL, STATE AND LOCAL SAFETY REQUIREMENTS, TOGETHER WITH EXERCISING PRECAUTIONS AT ALL TIMES FOR THE PROTECTION OF PERSONS (INCLUDING EMPLOYEES) AND PROPERTY. IT IS ALSO THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND SUB-CONTRACTOR TO INITIATE, MAINTAIN AND SUPERVISE ALL SAFETY REQUIREMENTS, PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK.

ALL TRAFFIC CONTROL DEVICES SHALL BE FURNISHED, ERECTED, MAINTAINED AND REMOVED BY THE CONTRACTOR IN ACCORDANCE WITH THE "OHIO MANUAL OF TRAFFIC CONTROL DEVICES FOR CONSTRUCTION AND MAINTENANCE OPERATIONS", COPIES OF WHICH ARE AVAILABLE FROM THE OHIO DEPARTMENT OF TRANSPORTATION, BUREAU OF TRAFFIC, 25 SOUTH FRONT STREET, COLUMBUS, OHIO 43215.

THE IDENTITY AND LOCATION OF THE EXISTING UNDERGROUND FACILITIES KNOWN TO BE LOCATED IN THE CONSTRUCTION AREA HAVE BEEN SHOWN ON THE PLANS AS ACCURATELY AS PROVIDED BY THE OWNER OF THE UNDERGROUND UTILITY. UNION COUNTY AND/OR ENGINEER ASSUMES NO RESPONSIBILITY AS TO THE ACCURACY OR THE DEPTHS OF THE UNDERGROUND FACILITIES WHETHER SHOWN ON THE PLANS OR NOT.

SUPPORT, PROTECTION AND RESTORATION OF ALL EXISTING UTILITIES AND APPURTENANCES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE COST OF THIS WORK SHALL BE INCLUDED IN THE PRICE BID FOR THE VARIOUS ITEMS.

THE CONTRACTOR SHALL CAUSE NOTICE TO BE GIVEN TO THE OHIO UTILITIES PROTECTION SERVICE (TELEPHONE 800-362-2764 – TOLL FREE) AND TO THE OWNERS OF UNDERGROUND UTILITY FACILITIES SHOWN ON THE PLANS WHO ARE NOT MEMBERS OF A REGISTERED UNDERGROUND PROTECTION SERVICE IN ACCORDANCE WITH SECTION 153.64 OF THE REVISED CODE. THE ABOVE MENTIONED NOTICE SHALL BE GIVEN AT LEAST TWO WORKING DAYS PRIOR TO START OF CONSTRUCTION.

UNLESS OTHERWISE NOTED ON THE PLANS ALL STORM SEWERS SHALL BE SMOOTH WALLED ADS N-12 PIPE AS MANUFACTURED BY ADVANCED DRAINAGE SYSTEMS INCORPORATED. THIS ALSO INCLUDES ANY AND ALL UNDERDRAIN PIPES FOR THE ROADWAY/LEACHFIELD SYSTEMS INSTALLED FOR THE PROJECT. GRANULAR BACKFILL SHALL BE USED IN ALL INSTANCES OF PAVEMENT CROSSINGS. MATERIALS SHALL BE COMPACTED GRANULAR MATERIAL, ITEM 304, PLACED WITHIN LIMITS SHOWN ON THE PLAN INCLUDING AROUND ALL INLET STRUCTURES. GRANULAR BACKFILL SHALL EXTEND FROM THE BOTTOM OF THE TRENCH TO A PLANE 6-INCHES BELOW THE SUBGRADE.

WHERE THE STORM SEWER CROSSES A PROPOSED RIGHT-OF-WAY THE TRENCH BACKFILL SHALL BE COMPACTED GRANULAR MATERIAL, ITEM 304, FROM THE BOTTOM OF THE TRENCH TO A PLANE 6-INCHES BELOW THE SUBGRADE. THE LIMITS OF PLACEMENT SHALL BE FROM RIGHT-OF-WAY LINE TO RIGHT-OF-WAY LINE. ALL OTHER TRENCH BACKFILL SHALL BE COMPACTED TYPE C, UNLESS OTHERWISE NOTED ON THE PLANS. COST OF BACKFILL TO BE INCLUDED IN THE PRICE BID FOR THE VARIOUS SEWER ITEMS.

PIPE WITH LESS THAN ONE FOOT OF COVER TO SURFACE OF PAVEMENT SHALL BE REINFORCED CONCRETE PIPE, CLASS V, OR SHALL BE CONCRETE ENCASED.

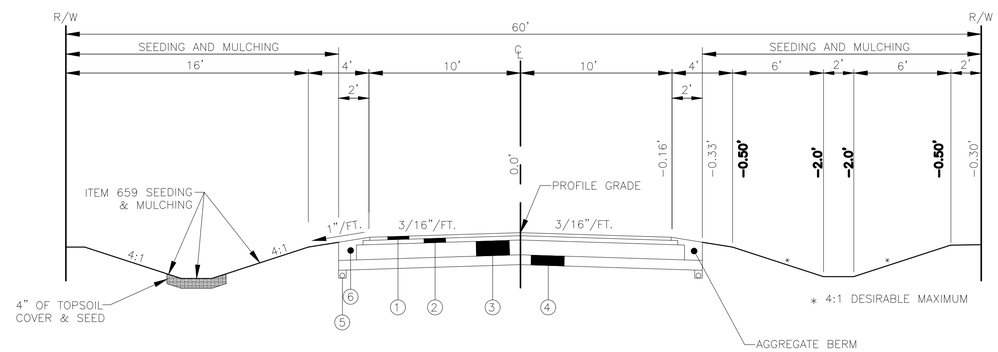
CONTRACTOR SHALL MAKE PROVISIONS FOR OUTLETTING ROADWAY UNDERDRAINS. THESE SHALL INCLUDE, WHERE APPLICABLE, CROSSING OF STREETS, CONNECTION TO HEADWALLS, AND OUTLETTING INTO DITCHES PER UNDERDRAIN OUTLET DETAIL.

UTILITIES

THE CONTRACTOR SHALL PROVIDE 4" PVC CASING PIPE FOR THE PURPOSE OF GAS LINE CROSSINGS WHERE NOTED ON THE PLAN PRIOR TO PLACEMENT OF ASPHALT PAVEMENT. VERIFY REQUIRED DEPTH BASED ON STORM PIPE CLEARANCES PROVIDING 1' FROM THE BOTTOM OF THE PIPE AS WELL AS MATERIAL SPECIFICATION PRIOR TO INSTALLATION.

ESTIMATE OF QUANTITIES

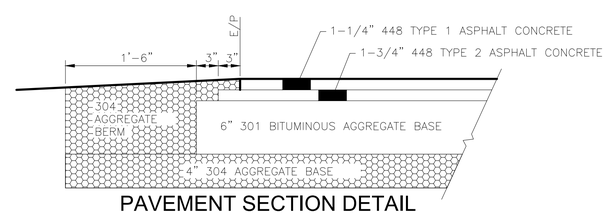
ITEM	QTY	UNIT	DESCRIPTION
201	LUMP	SUM	CLEARING AND GRUBBING
207	LUMP	SUM	SEDIMENT AND EROSION CONTROL
207	1500	LF	SEDIMENT BARRIER FENCE
207	28	EA	INLET PROTECTION
207	1	EA	STABILIZED CONSTRUCTION ENTRANCE
207	1	EA	CONCRETE WASHOUT
SPEC	2	EA	TEMPORARY SEDIMENT CONTROL STANDPIPE AND DEWATERING CONTROL SYSTEM
601	17	EA	ROCK CHANNEL PROTECTION
603	643	LF	12" PIPE WITH TYPE 1 BEDDING
603	1139	LF	18" PIPE WITH TYPE 1 BEDDING
603	443	LF	24" PIPE WITH TYPE 1 BEDDING
603	1155	LF	30" PIPE WITH TYPE 1 BEDDING
603	1250	LF	36" PIPE WITH TYPE 1 BEDDING
604	2	EA	OUTLET STRUCTURES (MODIFIED CATCH BASINS
604	28	EA	CATCH BASIN
604	5	EA	HEADWALL



1. 1-1/4" ITEM 448 TYPE 1 HOT-MIXED, HOT-LAID ASPHALT CONCRETE
2. 1-3/4" ITEM 448 TYPE 2 HOT-MIXED, HOT-LAID ASPHALT CONCRETE
3. 6" ITEM 301 BITUMINOUS AGGREGATE BASE IN 2 LIFTS
4. 4" ITEM 304 AGGREGATE BASE
5. 4" BASE PIPE UNDER DRAIN
6. ITEM 304 AGGREGATE BERM

TYPICAL PAVEMENT SECTION

NO SCALE



PAVEMENT SECTION DETAIL

NO SCALE

NO.	DATE	BY	DESCRIPTION

1160 DUBLIN ROAD, SUITE 100
COLUMBUS, OH 43215
TEL: 614-441-4222
FAX:888-488-7340

PROJECT DATE: 11/07/2017
PROJECT NO.: D22500001
DRAWN BY: DJ
CHECKED BY: RV

TECHNICAL SKILL. CREATIVE SPIRIT.

Mannik Smith GROUP

www.MannikSmithGroup.com

PREPARED FOR:

DARBY BRAESIDE, LLC

CITY OF PLAIN CITY, OHIO

DARBY BRAESIDE
PRELIMINARY PLAN
PHASE 2-4
UNION COUNTY OHIO

GENERAL NOTES, QUANTITIES, & TYPICAL SECTIONS

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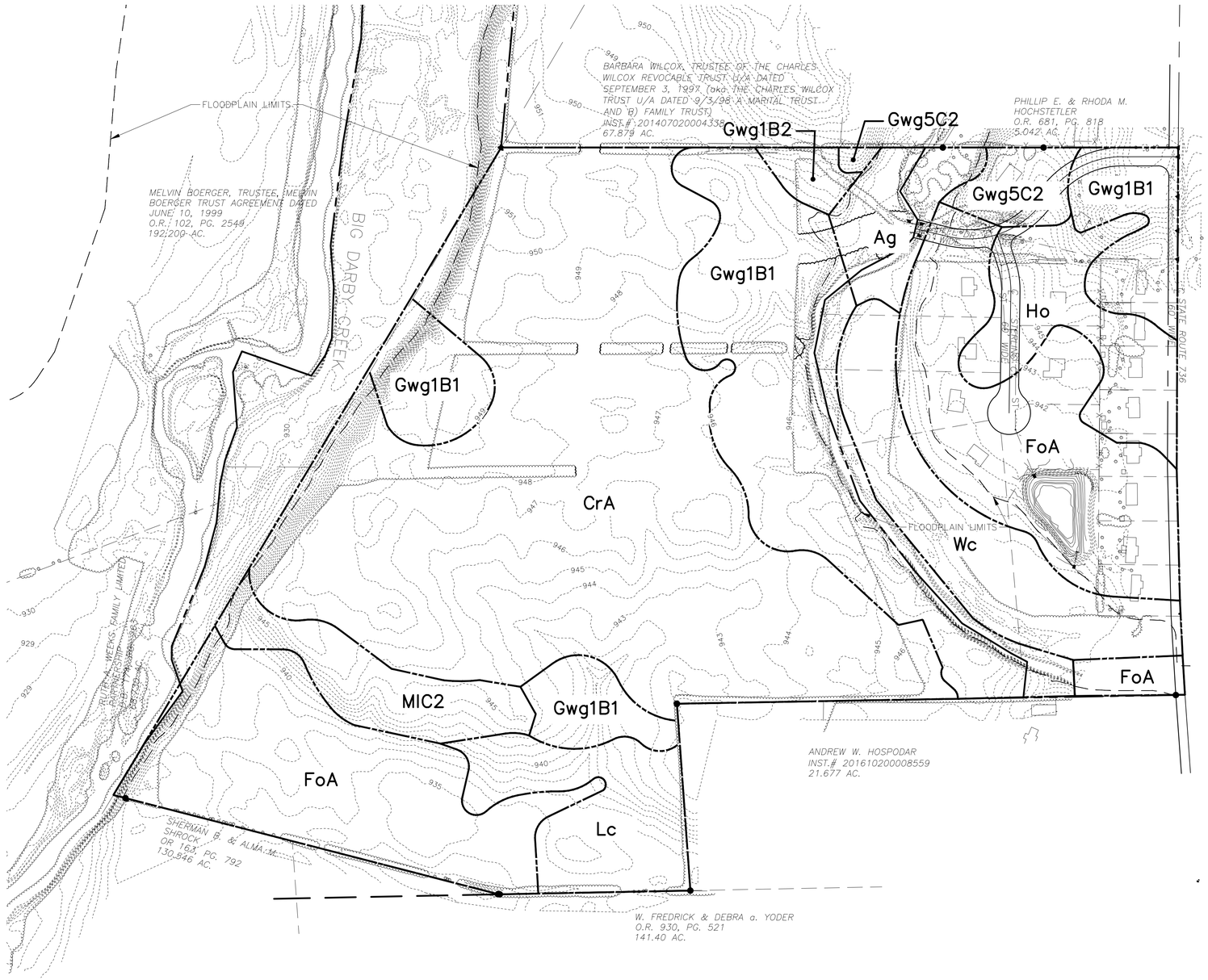

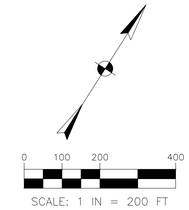

LEGEND

Ag –	ALGIERS SILT LOAM
CrA –	CROSBY SILT LOAM, SOUTHERN OHIO TILL PLAIN, 0–2 PERCENT SLOPES.
FoA –	FOX SILT LOAM, TILL PLAIN, 0–2 PERCENT SLOPES.
Gwg1B1 –	GLYNWOOD SILT LOAM, GROUND MORAINE, 2–6 PERCENT SLOPES.
Gwg1B2 –	GLYNWOOD SILT LOAM, GROUND MORAINE, 2–6 PERCENT SLOPES, ERODED.
Gwg5C2 –	GLYNWOOD CLAY LOAM, GROUND MORAINE, 6–12 PERCENT SLOPES, ERODED.
Ho –	HOMER SILT LOAM
Wc –	WESTLAND SILTY CLAY LOAM

NO.	DATE	BY	DESCRIPTION

1160 DUBLIN ROAD, SUITE 100
COLUMBUS, OH 43215
TEL: 614-441-4222
FAX:888-488-7340

PROJECT DATE: 11/07/2017
PROJECT NO.: D3280001
DRAWN BY: DJ
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TECHNICAL SKILL. CREATIVE SPIRIT.
Mannik Smith GROUP
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PREPARED FOR:
DARBY BRAESIDE, LLC

CITY OF PLAIN CITY, OHIO
DARBY BRAESIDE PRELIMINARY PLAN PHASE 2-4
UNION COUNTY OHIO

GRADING PLAN

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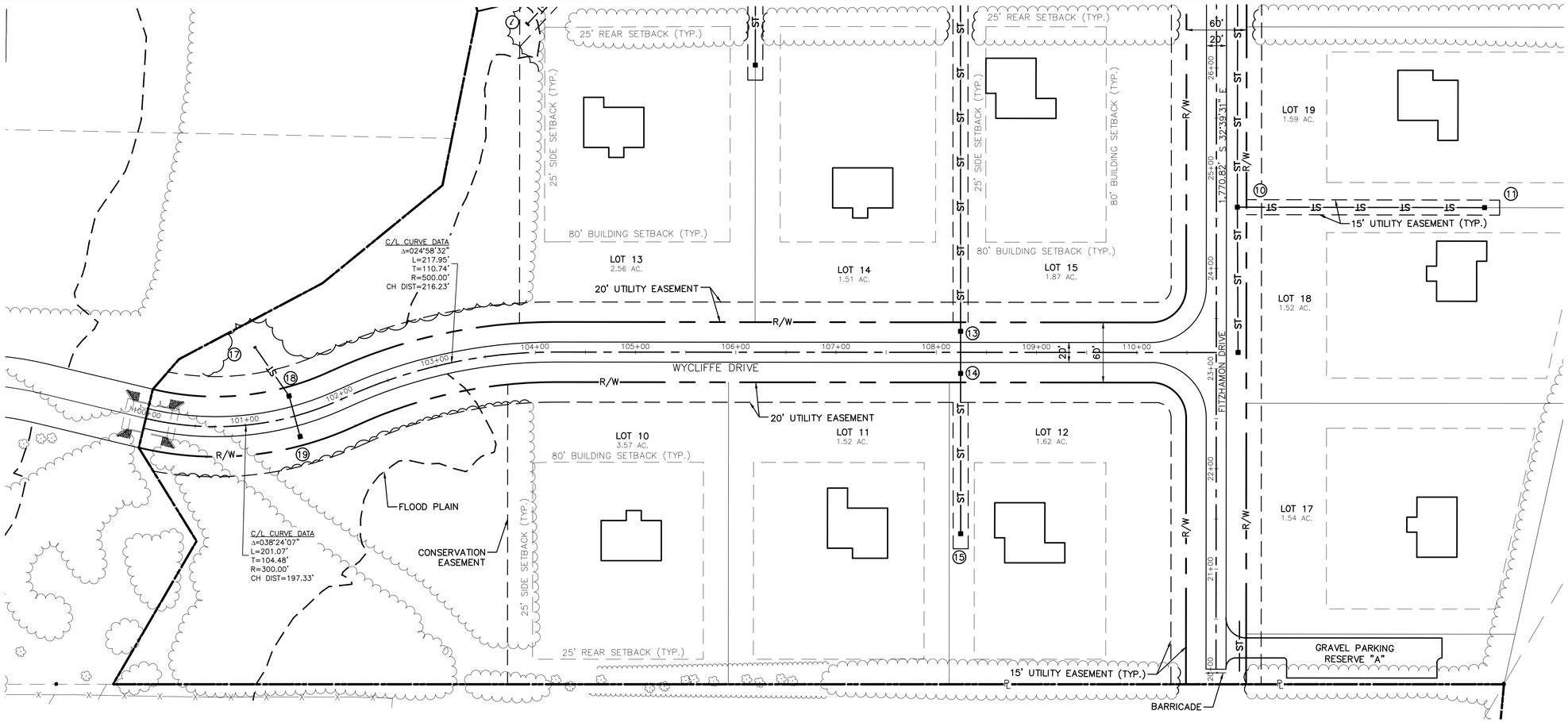

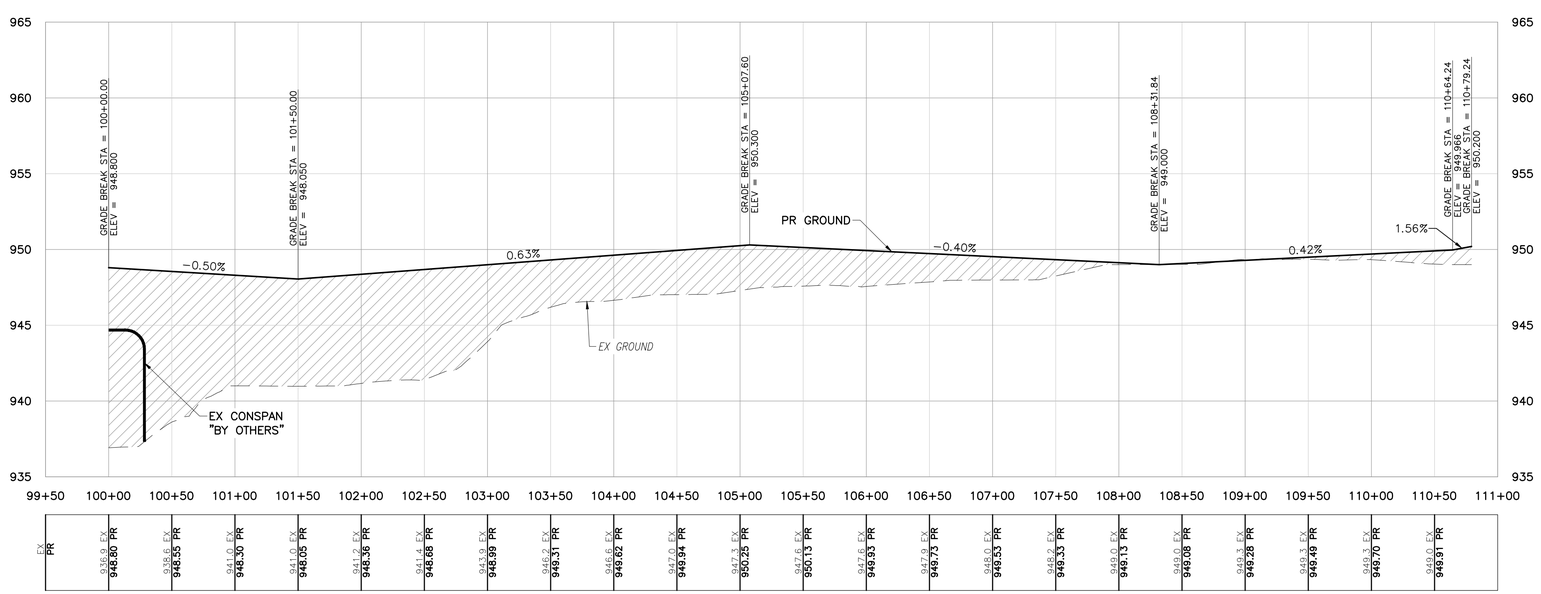

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1160 DUBLIN ROAD, SUITE 100
COLUMBUS, OH 43215
TEL: 614-441-4222
FAX:888-488-7340

PROJECT DATE: 11/07/2017
PROJECT NO.: D3280001
DRAWN BY: DJ
CHECKED BY: RV

Mannik Smith GROUP
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PREPARED FOR:
DARBY BRAESIDE, LLC

CITY OF PLAIN CITY, OHIO
DARBY BRAESIDE PRELIMINARY PLAN PHASE 2-4
UNION COUNTY OHIO

WYCLIFFE DRIVE
PLAN AND PROFILES

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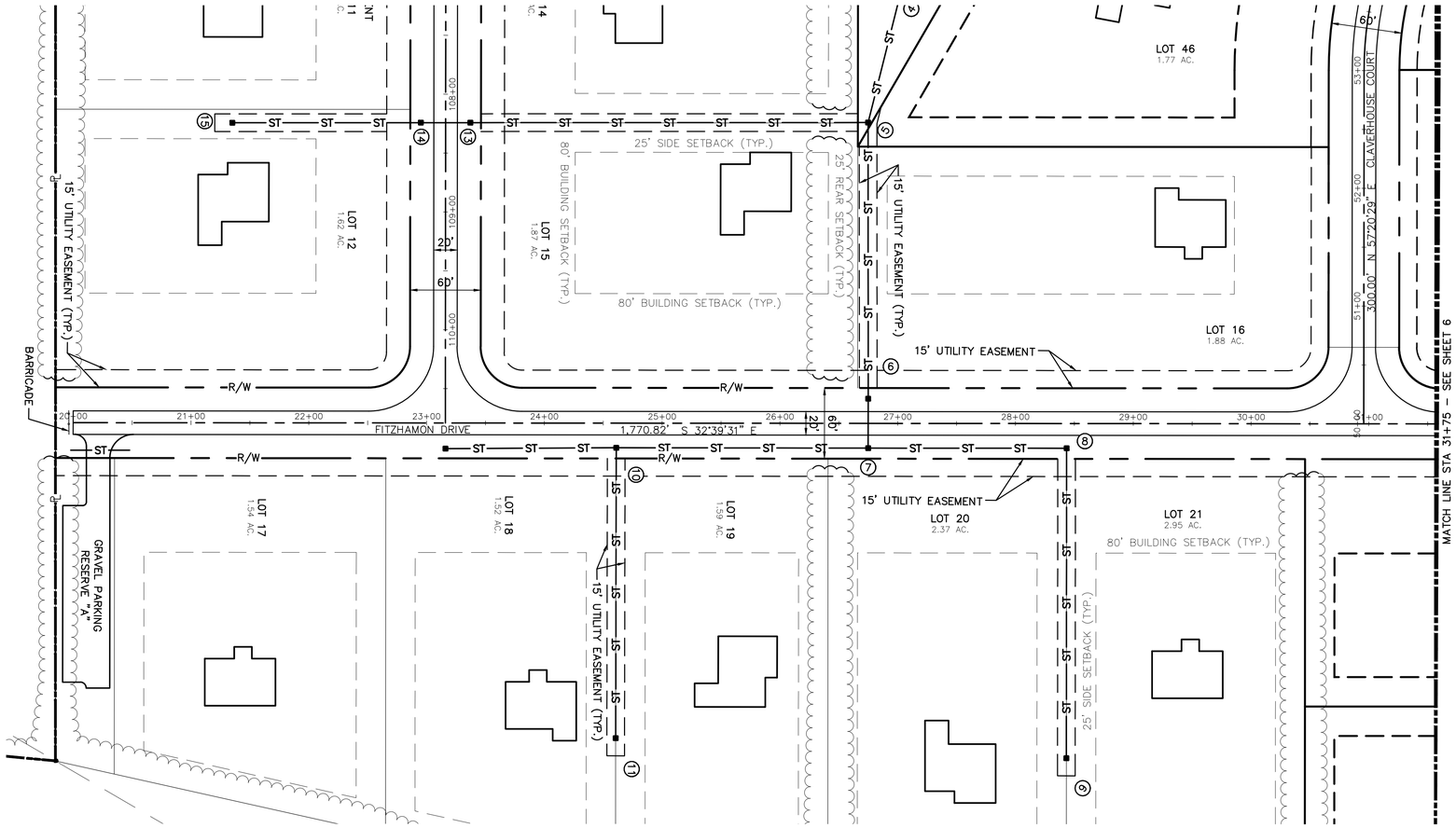

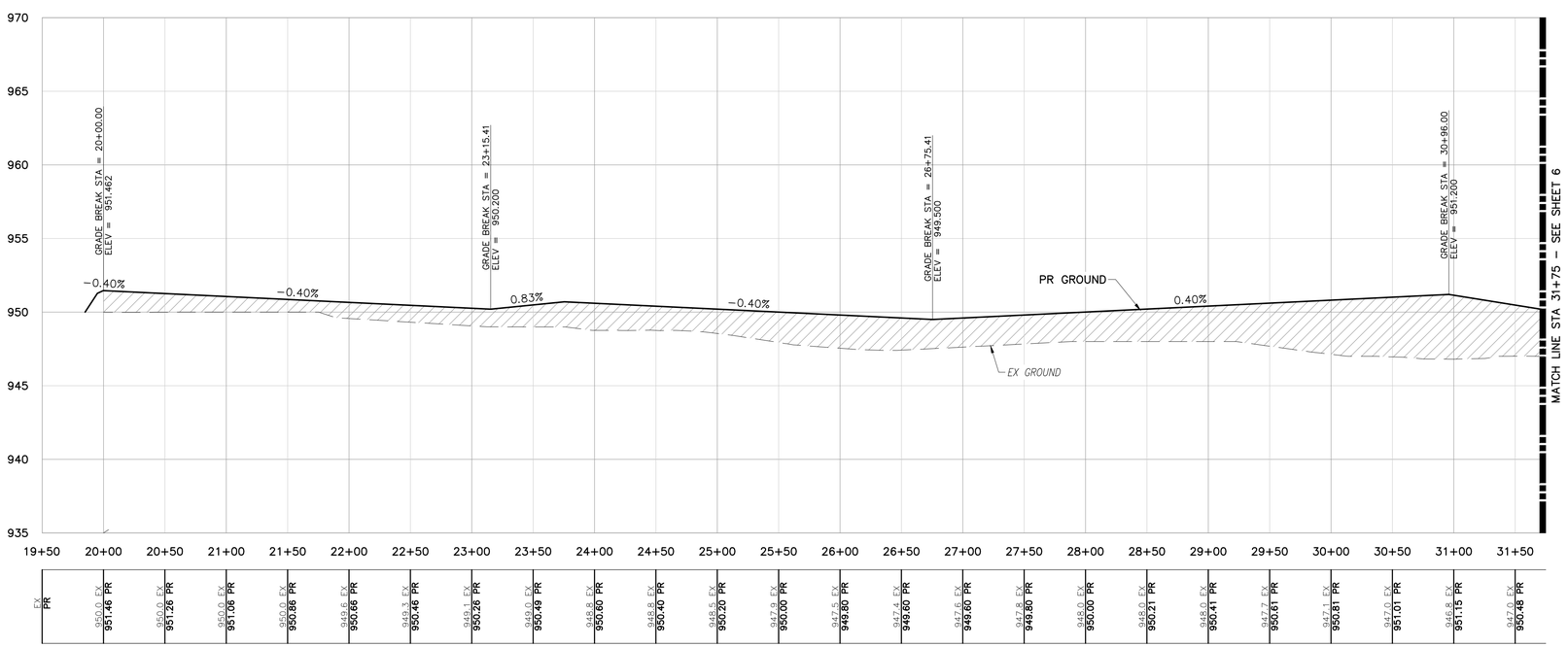

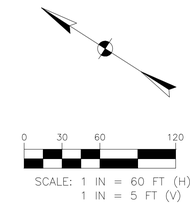

LEGEND

ST	PR STORM
P/L	PROPERTY LINE
R/W	RIGHT OF WAY
	ROAD C/L
	EASEMENT
	SETBACK
	BOUNDARY LINE

NO.	DATE	BY	DESCRIPTION

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COLUMBUS, OH 43215
TEL: 614-441-4222
FAX:888-488-7340

PROJECT DATE: 11/07/2017
PROJECT NO.: D3280001
DRAWN BY: DJ
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TECHNICAL SKILL. CREATIVE SPIRIT.
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PREPARED FOR:
DARBY BRAESIDE, LLC

CITY OF PLAIN CITY, OHIO
DARBY BRAESIDE PRELIMINARY PLAN PHASE 2-4
UNION COUNTY OHIO

FITZHAMON DRIVE
PLAN AND PROFILE

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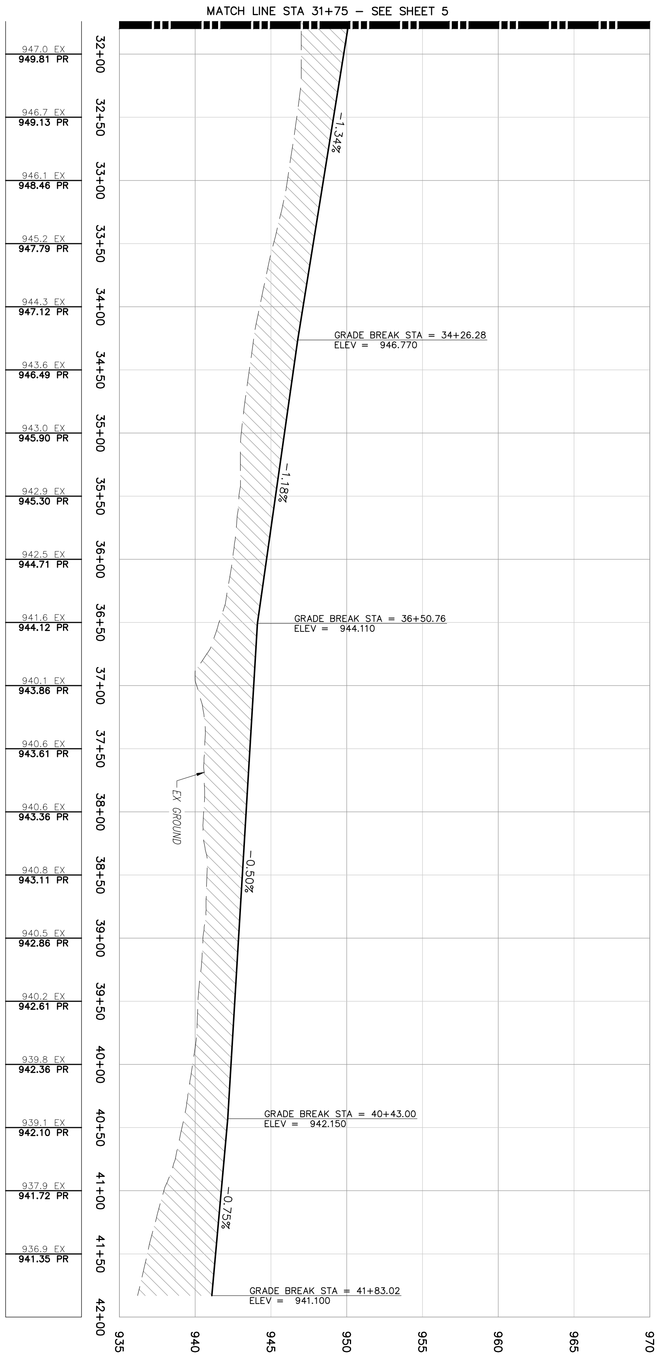
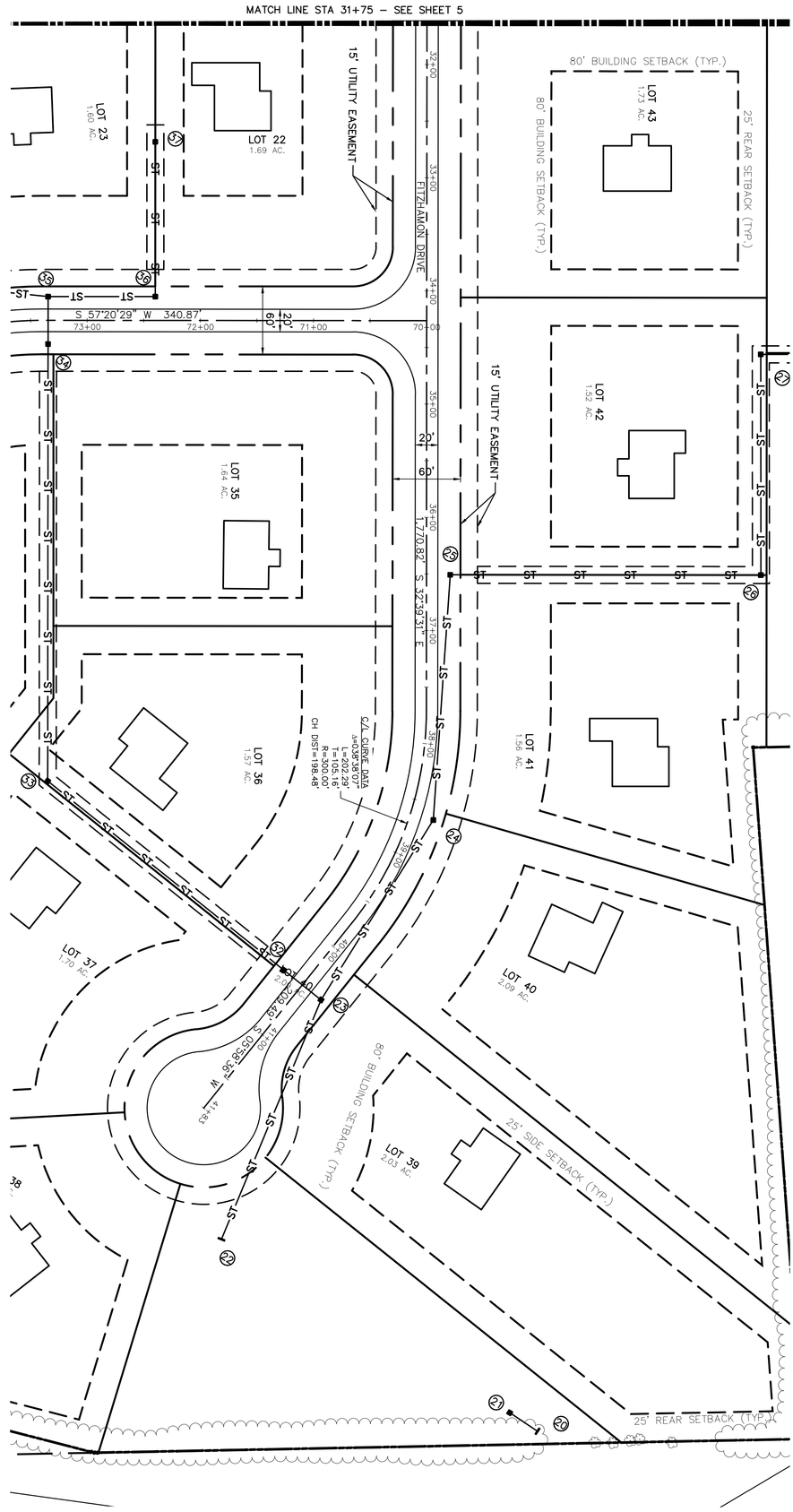


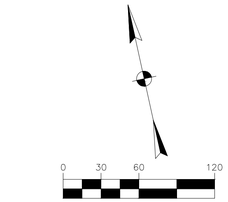


LEGEND

- ST — PR STORM
- P/L — PROPERTY LINE
- R/W — RIGHT OF WAY
- ROAD C/L
- EASEMENT
- SETBACK
- BOUNDARY LINE

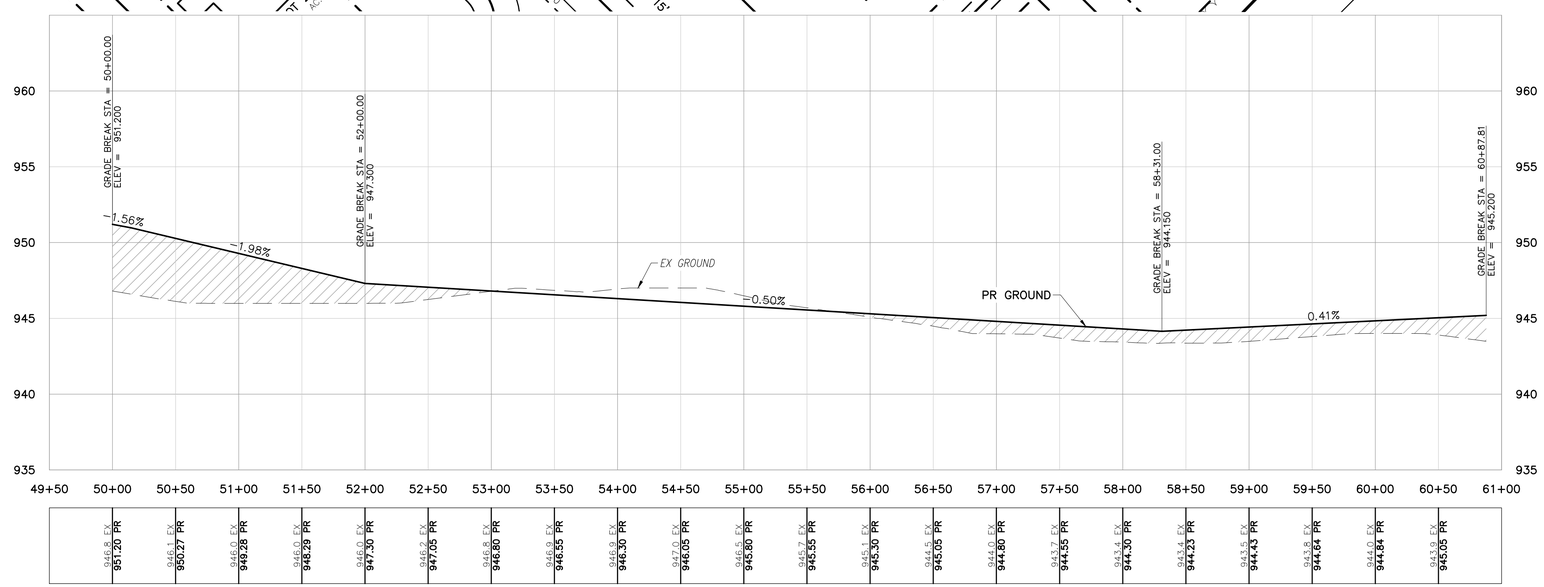
SCALE: 1 IN = 60 FT (H)
1 IN = 5 FT (V)
0 30 60 120

6 / 19	FITZHAMON DRIVE PLAN AND PROFILE	CITY OF PLAIN CITY, OHIO DARBY BRAESIDE PRELIMINARY PLAN PHASE 2-4 UNION COUNTY OHIO	PREPARED FOR: DARBY BRAESIDE, LLC	Mannik Smith GROUP www.MannikSmithGroup.com TECHNICAL SKILL. CREATIVE SPIRIT.	1160 DUBLIN ROAD, SUITE 100 COLUMBUS, OH 43215 TEL: 614-441-4222 FAX:888-488-7340 PROJECT DATE: 11/07/2017 PROJECT NO.: D3290001 DRAWN BY: DJ CHECKED BY: RV	NO.	DATE	BY	DESCRIPTION



LEGEND

- ST — PR STORM
- P/L — PROPERTY LINE
- R/W — RIGHT OF WAY
- ROAD C/L
- EASEMENT
- SETBACK
- BOUNDARY LINE



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COLUMBUS, OH 43215
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PROJECT DATE: 11/07/2017
PROJECT NO.: D3280001
DRAWN BY: DJ
CHECKED BY: RV

Mannik Smith GROUP
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PREPARED FOR:
DARBY BRAESIDE, LLC

CITY OF PLAIN CITY, OHIO
DARBY BRAESIDE PRELIMINARY PLAN PHASE 2-4
UNION COUNTY OHIO

CLAVERHOUSE COURT
PLAN AND PROFILE

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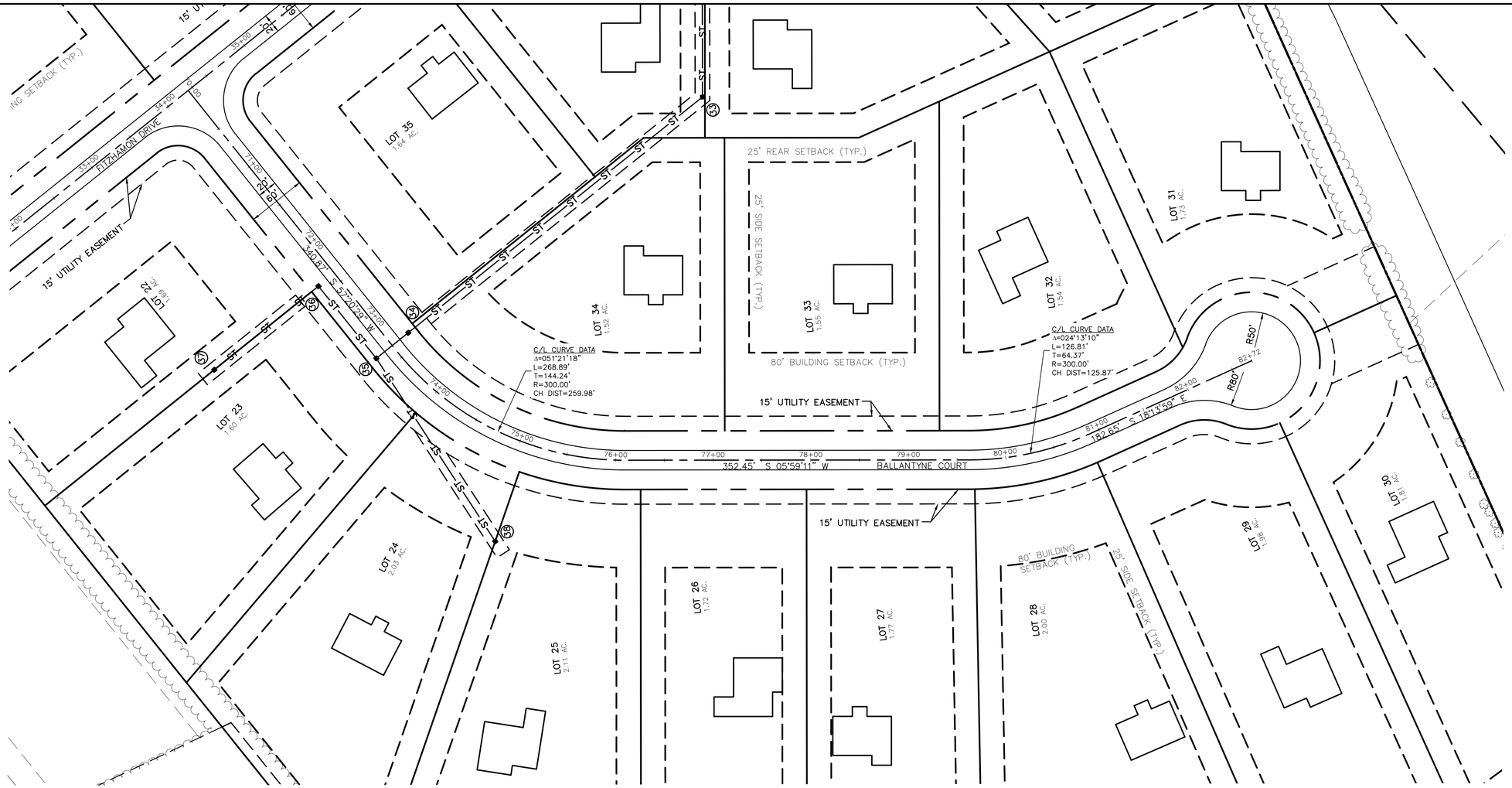

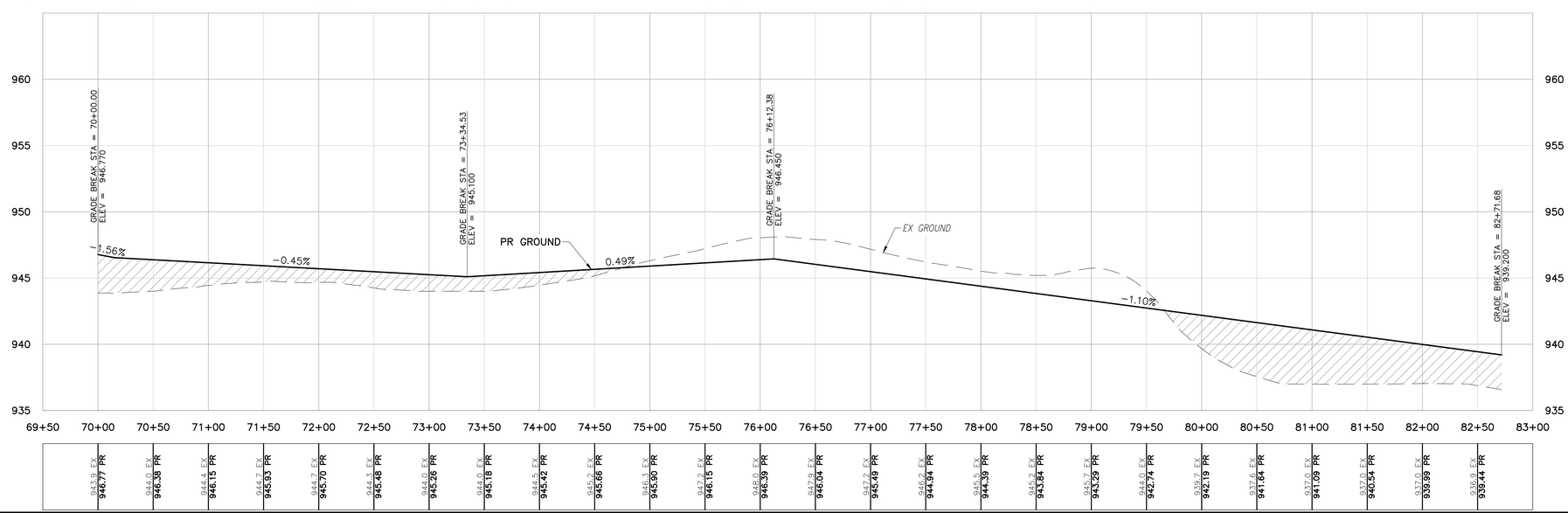

NO.	DATE	BY	DESCRIPTION

1160 DUBLIN ROAD, SUITE 100
COLUMBUS, OH 43215
TEL: 614-441-4222
FAX:888-488-7340

PROJECT DATE: 11/07/2017
PROJECT NO.: D3280001
DRAWN BY: DJ
CHECKED BY: RV

Mannik Smith GROUP
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PREPARED FOR:
DARBY BRAESIDE, LLC

CITY OF PLAIN CITY, OHIO

DARBY BRAESIDE PRELIMINARY PLAN PHASE 2-4

UNION COUNTY OHIO

BALLANTYNE COURT
PLAN AND PROFILE

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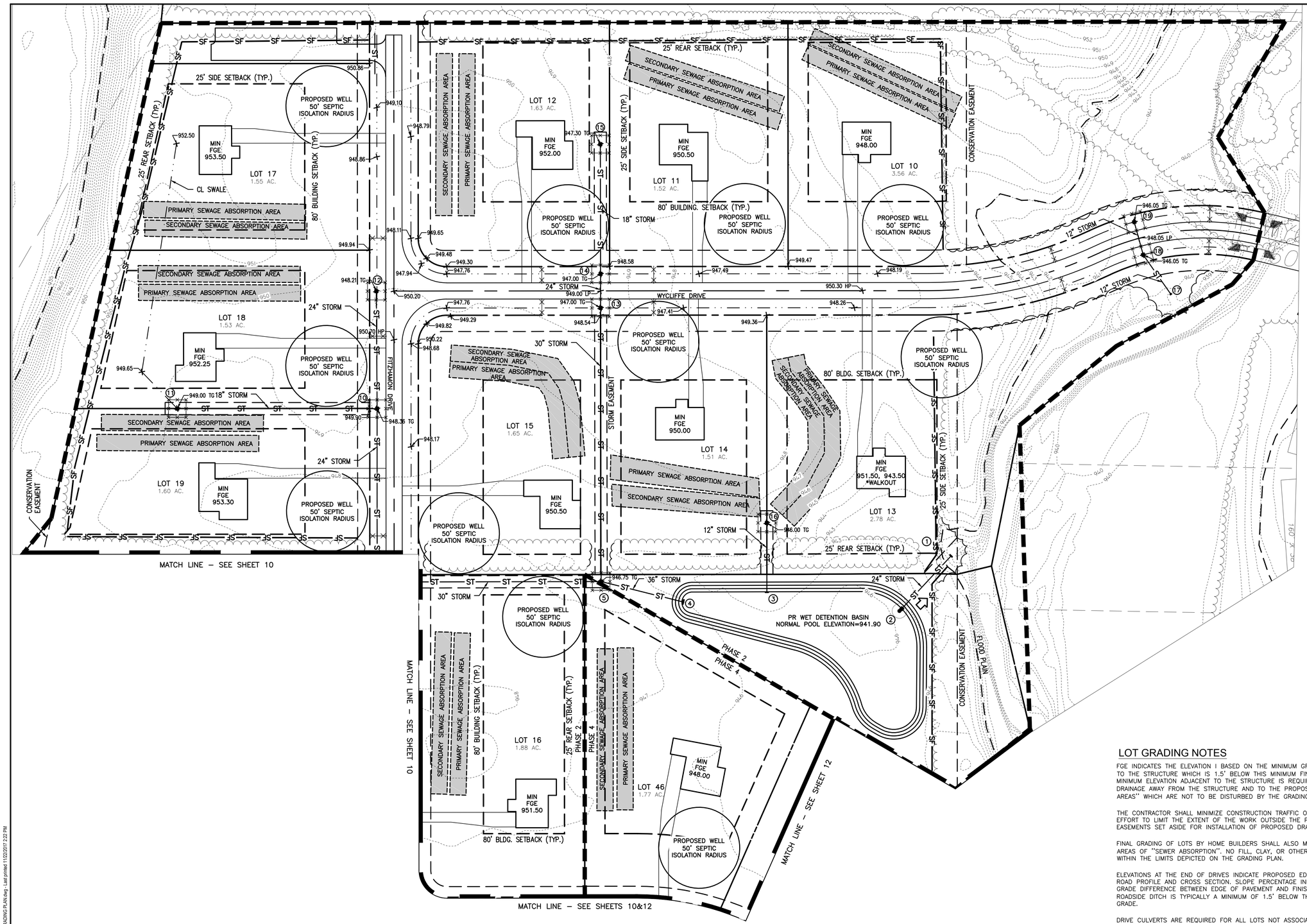

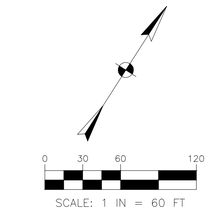

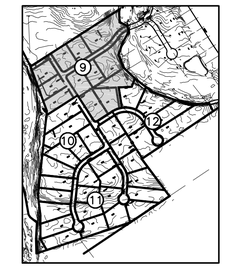

KEY MAP

LEGEND

- EX CONTOUR
- FLOW ARROW
- MAJOR FLOOD ROUTING
- PR SPOT GRADE
- SILT FENCE
- INLET PROTECTION
- DITCH CHECKS
- SEDIMENT RISER

LOT GRADING NOTES

FGE INDICATES THE ELEVATION I BASED ON THE MINIMUM GROUND ELEVATION ADJACENT TO THE STRUCTURE WHICH IS 1.5' BELOW THIS MINIMUM FINISH FLOOR ELEVATION. THE MINIMUM ELEVATION ADJACENT TO THE STRUCTURE IS REQUIRED TO ENSURE POSITIVE DRAINAGE AWAY FROM THE STRUCTURE AND TO THE PROPOSED "SEWER ABSORPTION AREAS" WHICH ARE NOT TO BE DISTURBED BY THE GRADING ACTIVITIES.

THE CONTRACTOR SHALL MINIMIZE CONSTRUCTION TRAFFIC ON LOTS AND MAKE EVERY EFFORT TO LIMIT THE EXTENT OF THE WORK OUTSIDE THE PROPOSED DRAINAGE EASEMENTS SET ASIDE FOR INSTALLATION OF PROPOSED DRAINAGE SWALES.

FINAL GRADING OF LOTS BY HOME BUILDERS SHALL ALSO MAINTAIN EXISTING GRADES IN AREAS OF "SEWER ABSORPTION". NO FILL, CLAY, OR OTHERWISE, SHALL BE PLACED WITHIN THE LIMITS DEPICTED ON THE GRADING PLAN.

ELEVATIONS AT THE END OF DRIVES INDICATE PROPOSED EDGE OF PAVEMENT BASED ON ROAD PROFILE AND CROSS SECTION. SLOPE PERCENTAGE INDICATED ON DRIVE BASED ON GRADE DIFFERENCE BETWEEN EDGE OF PAVEMENT AND FINISH GRADE AN FOUNDATION. ROADSIDE DITCH IS TYPICALLY A MINIMUM OF 1.5' BELOW THE EDGE OF PAVEMENT GRADE.

DRIVE CULVERTS ARE REQUIRED FOR ALL LOTS NOT ASSOCIATED WITH A HIGH POINT IN THE ROAD PROFILE.

WHERE GRADE PERMITS, AND FOR LOTS ADJACENT TO PROPOSED DRAINAGE SWALES, THE CONTRACTOR MAY INSTALL UNDERGROUND DRAINAGE TILE TO DIRECT ROOF RUNOFF.

LOT CONTRACTORS ARE NOT PERMITTED TO CONNECT TO ROADSIDE UNDERDRAINS.

NO.	DATE	BY	DESCRIPTION

1160 DUBLIN ROAD, SUITE 100
COLUMBUS, OH 43215
TEL: 614-441-4222
FAX:888-488-7340

PROJECT DATE: 11/07/2017
PROJECT NO.: D32500001
DRAWN BY: DJ
CHECKED BY: RV

TECHNICAL SKILL. CREATIVE SPIRIT.
Mannik Smith GROUP
www.MannikSmithGroup.com

PREPARED FOR:
DARBY BRAESIDE, LLC

CITY OF PLAIN CITY, OHIO
DARBY BRAESIDE PRELIMINARY PLAN PHASE 2-4
UNION COUNTY OHIO

GRADING PLAN

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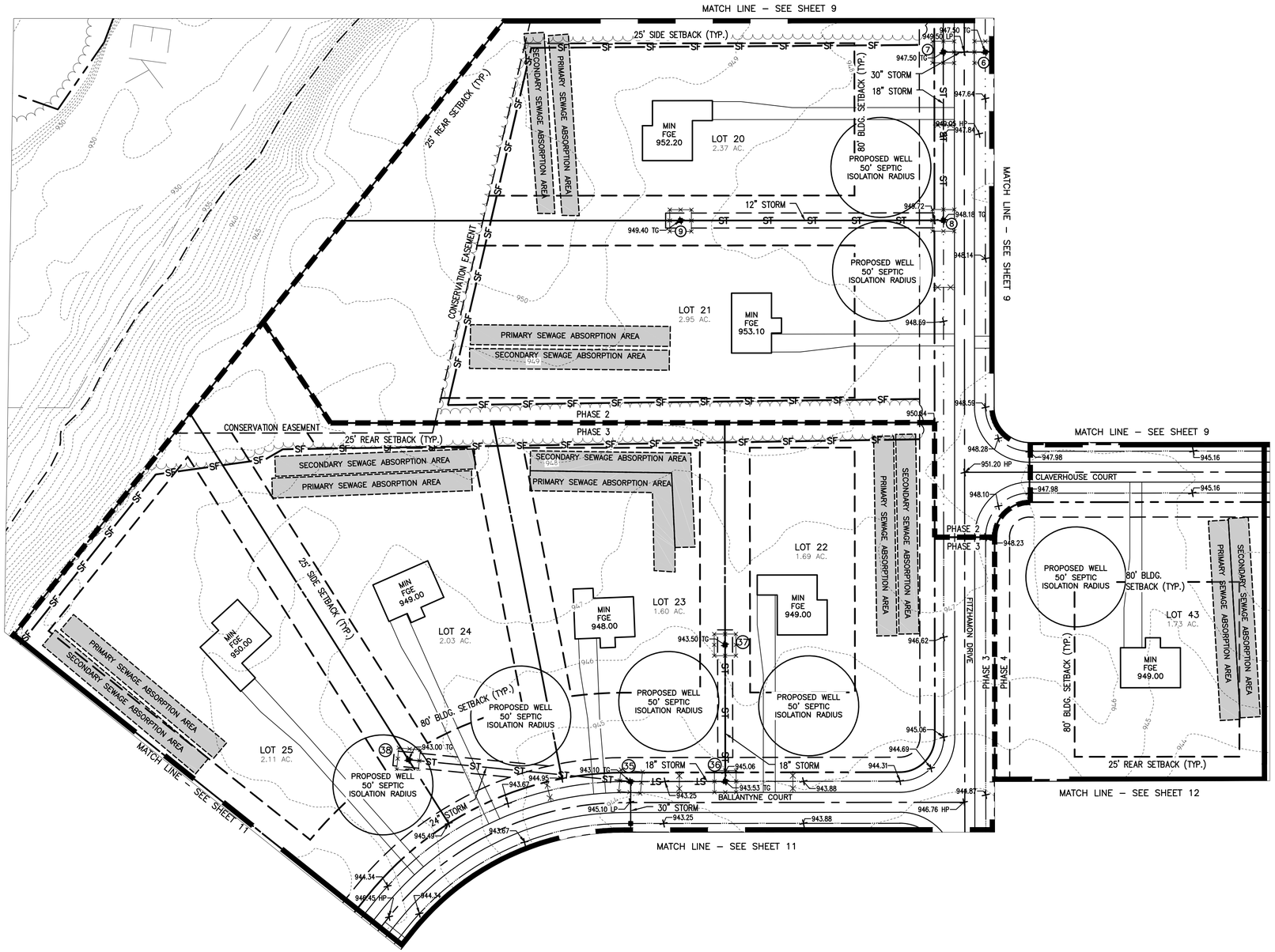

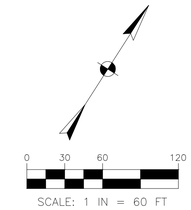

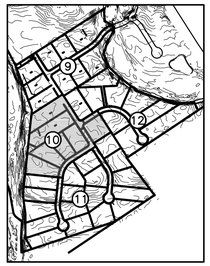

KEY MAP

LEGEND

- EX CONTOUR
- FLOW ARROW
- MAJOR FLOOD ROUTING
- PR SPOT GRADE
- SILT FENCE
- INLET PROTECTION
- DITCH CHECKS
- SEDIMENT RISER

LOT GRADING NOTES

FGE INDICATES THE ELEVATION 1 BASED ON THE MINIMUM GROUND ELEVATION ADJACENT TO THE STRUCTURE WHICH IS 1.5' BELOW THIS MINIMUM FINISH FLOOR ELEVATION. THE MINIMUM ELEVATION ADJACENT TO THE STRUCTURE IS REQUIRED TO ENSURE POSITIVE DRAINAGE AWAY FROM THE STRUCTURE AND TO THE PROPOSED "SEWER ABSORPTION AREAS" WHICH ARE NOT TO BE DISTURBED BY THE GRADING ACTIVITIES.

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WHERE GRADE PERMITS, AND FOR LOTS ADJACENT TO PROPOSED DRAINAGE SWALES, THE CONTRACTOR MAY INSTALL UNDERGROUND DRAINAGE TILE TO DIRECT ROOF RUNOFF.

LOT CONTRACTORS ARE NOT PERMITTED TO CONNECT TO ROADSIDE UNDERDRAINS.

NO.	DATE	BY	DESCRIPTION

1160 DUBLIN ROAD, SUITE 100
COLUMBUS, OH 43215
TEL: 614-441-4222
FAX:888-488-7340

PROJECT DATE: 11/07/2017
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CITY OF PLAIN CITY, OHIO

DARBY BRAESIDE PRELIMINARY PLAN PHASE 2-4

UNION COUNTY OHIO

GRADING PLAN

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LOT GRADING NOTES

FGE INDICATES THE ELEVATION I BASED ON THE MINIMUM GROUND ELEVATION ADJACENT TO THE STRUCTURE WHICH IS 1.5' BELOW THIS MINIMUM FINISH FLOOR ELEVATION. THE MINIMUM ELEVATION ADJACENT TO THE STRUCTURE IS REQUIRED TO ENSURE POSITIVE DRAINAGE AWAY FROM THE STRUCTURE AND TO THE PROPOSED "SEWER ABSORPTION AREAS" WHICH ARE NOT TO BE DISTURBED BY THE GRADING ACTIVITIES.

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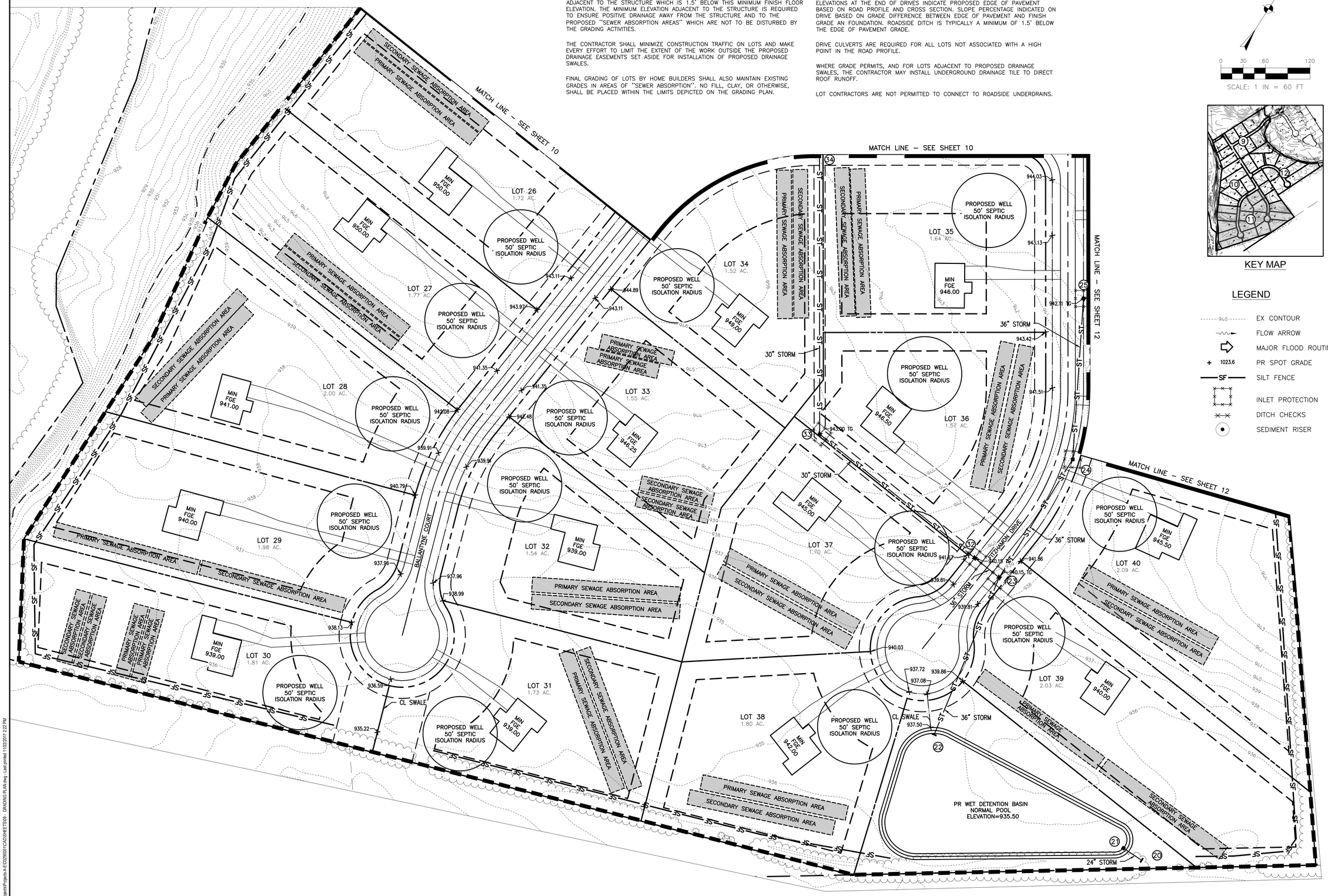
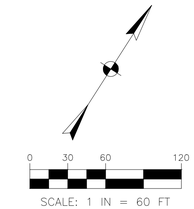
LOT CONTRACTORS ARE NOT PERMITTED TO CONNECT TO ROADSIDE UNDERDRAINS.





KEY MAP

LEGEND

- EX CONTOUR
- FLOW ARROW
- MAJOR FLOOD ROUTING
- PR SPOT GRADE
- SILT FENCE
- INLET PROTECTION
- DITCH CHECKS
- SEDIMENT RISER

NO.	DATE	BY	DESCRIPTION

1160 DUBLIN ROAD, SUITE 100
COLUMBUS, OH 43215
TEL: 614-441-4222
FAX:888-488-7340

PROJECT DATE: 11/07/2017
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CHECKED BY: RV

TECHNICAL SKILL. CREATIVE SPIRIT.

Mannik Smith GROUP

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PREPARED FOR:

DARBY BRAESIDE, LLC

CITY OF PLAIN CITY, OHIO

DARBY BRAESIDE PRELIMINARY PLAN PHASE 2-4

UNION COUNTY OHIO

GRADING PLAN

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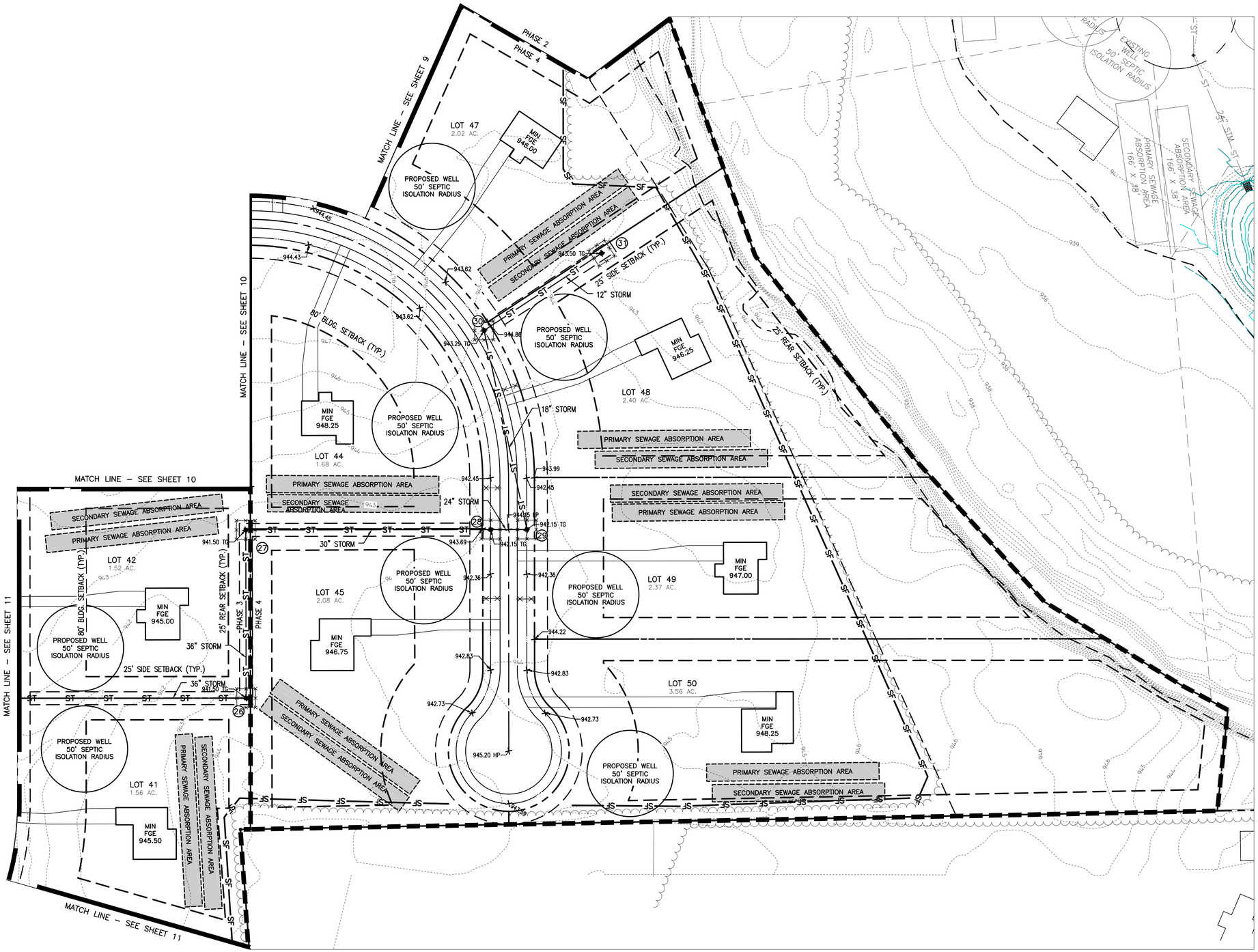

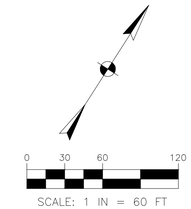

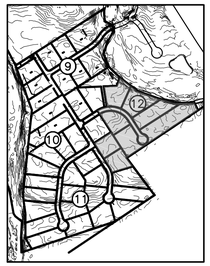

KEY MAP

LEGEND

940	EX CONTOUR
	FLOW ARROW
	MAJOR FLOOD ROUTING
+ 1023.6	PR SPOT GRADE
—SF—	SILT FENCE
	INLET PROTECTION
	DITCH CHECKS
	SEDIMENT RISER

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UNION COUNTY OHIO

GRADING PLAN

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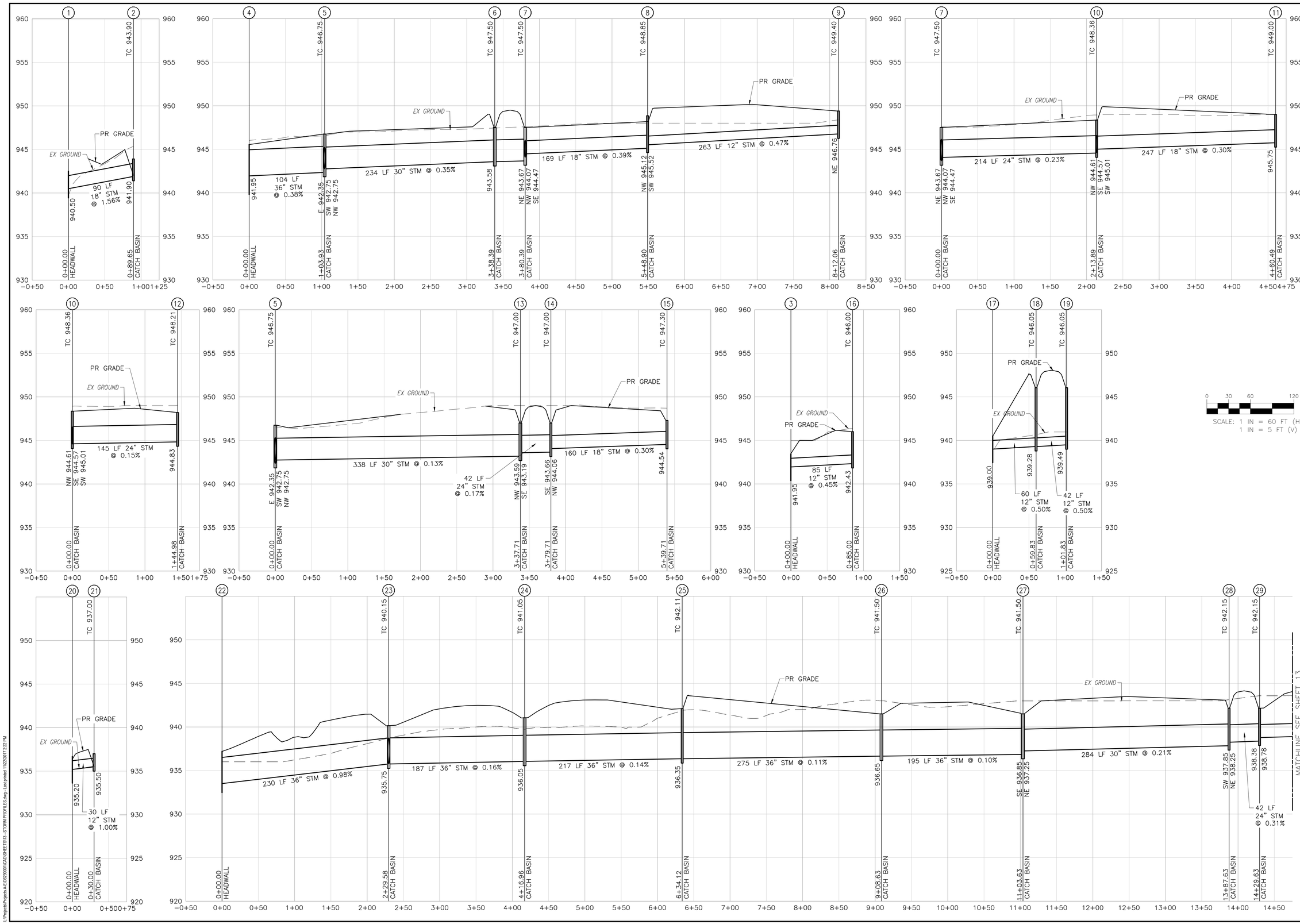

SCALE: 1 IN = 60 FT (H)
1 IN = 5 FT (V)

NO.	DATE	BY	DESCRIPTION

1160 DUBLIN ROAD, SUITE 100
COLUMBUS, OH 43215
TEL: 614-441-4222
FAX:888-488-7340

PROJECT DATE: 11/07/2017
PROJECT NO.: D3280001
DRAWN BY: DJ
CHECKED BY: RV

Mannik Smith GROUP
TECHNICAL SKILL. CREATIVE SPIRIT.
www.MannikSmithGroup.com

PREPARED FOR:
DARBY BRAESIDE, LLC

CITY OF PLAIN CITY, OHIO

DARBY BRAESIDE PRELIMINARY PLAN PHASE 2-4

UNION COUNTY OHIO

STORM PROFILES

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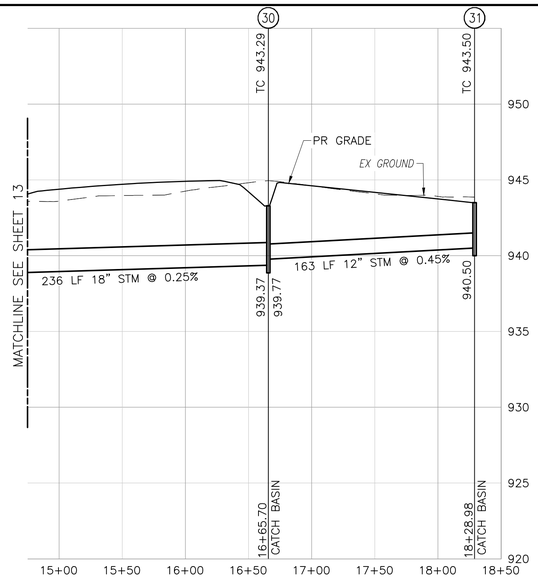

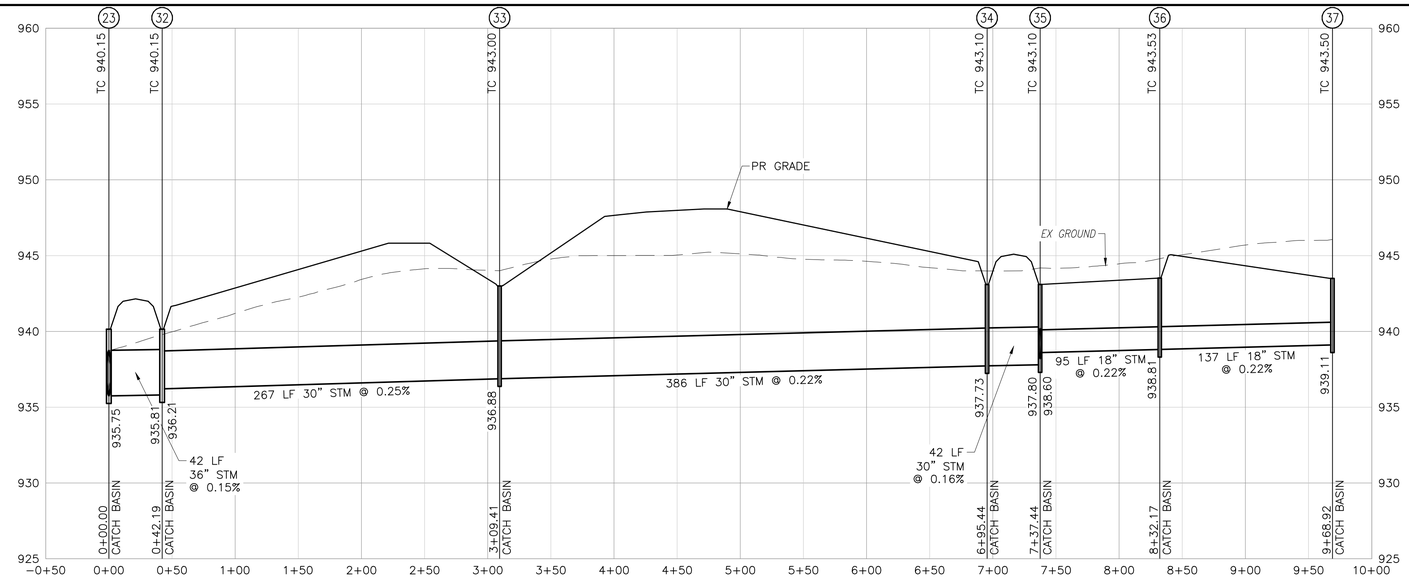

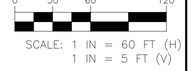

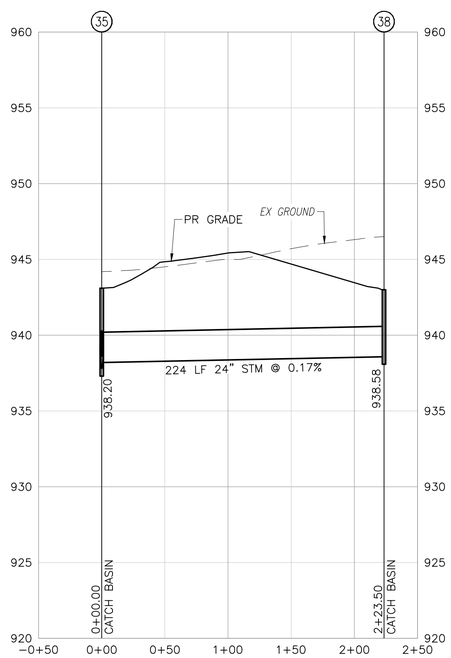

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GENERAL NOTES

1. THIS PLAN MUST BE POSTED ON-SITE. A COPY OF THE SWPPP PLAN AND THE APPROVED EPA STORMWATER PERMIT (WITH THE SITE-SPECIFIC NOI NUMBER) SHALL BE KEPT ON-SITE AT ALL TIMES.
2. STREET CLEANING (ON AN AS-NEEDED BASIS) IS REQUIRED THROUGH THE DURATION OF THIS CONSTRUCTION PROJECT. THIS INCLUDES SWEEPING, POWER CLEANING AND (IF NECESSARY) MANUAL REMOVAL OF DIRT OR MUD IN THE STREET GUTTERS.

PLAN DESIGNER

THE MANNIK & SMITH GROUP
1160 DUBLIN ROAD, SUITE 100
COLUMBUS, OH 43215
CONTACT: RANDY VANTILBURG
PHONE: (614) 441-4222
EMAIL: RVANTILBURG@MANNIKSMITHGROUP.COM

PROJECT OWNER

DARBY BRAESIDE, LLC.
1119 REGENCY DRIVE
COLUMBUS, OHIO 43220
CONTACT: WAYNE BALLANTYNE
EMAIL: WAYNEBALLANT@GMAIL.COM

PROJECT DESCRIPTION

THE PROPOSED PROJECT INVOLVES THE CONSTRUCTION OF A 87 ACRES OF LARGE LOT SINGLE FAMILY RESIDENTIAL UNITS, WITH GREENSPACE RESERVES USED FOR DETENTION, PARK SPACE AND CONSERVATION.

AREA OF PROJECT SITE

TOTAL SITE AREA: 87.0± AC.
TOTAL ONSITE DISTURBED AREA: 60.0± AC.

ADJACENT AREAS

THE SITE IS BOUNDED BY DARBY CREEK ON WEST, ROBINSON RUN AND RESIDENTIAL LOTS ON THE EAST.

EXISTING SITE CONDITIONS

THE SITE IS CURRENTLY EXISTING FARM FIELD, WOODED STREAM AREAS AND UPLAND WOODED AREAS.

EROSION AND SEDIMENT CONTROL MEASURES

SEDIMENT FENCE, TEMPORARY SEDIMENT BASINS AND INLET PROTECTION SHALL BE USED AS SHOWN ON THE PLAN.

POST CONSTRUCTION STORM WATER MANAGEMENT

SINCE THE SITE DISTURBS MORE THAN ONE ACRE, ADDITIONAL STORM WATER MANAGEMENT MEASURES WILL BE NECESSARY FOR WATER QUALITY.

OHIO EPA NPDES PERMIT

OEPA NOI#: XXXXXXX

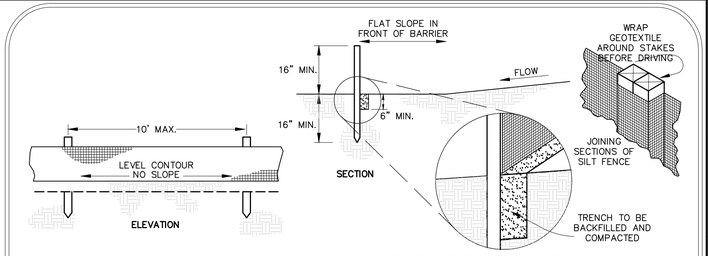
TEMPORARY SEEDING & MULCHING FOR EROSION CONTROL			
SEED TYPE	SEEDING DATES	PER 1000 SQ FT	PER ACRE
TALL FESCUE & ANNUAL RYEGRASS	MARCH 1 TO SEPTEMBER 15	2 POUNDS & 0.5 POUNDS	80 POUNDS & 20 POUNDS
SMALL GRAIN STRAW		100 POUNDS OR 2 OR 3 BALES	2 TONS OR 50 BALES
FERTILIZER		25 POUNDS OF 12-12-12 OR THE EQUIVALENT	100 POUNDS OF 12-12-12 OR THE EQUIVALENT
TEMPORARY SEEDING			
ANNUAL RYEGRASS OR WHEAT		3 POUNDS	2 BUSHELS
SOIL PROTECTION			
SMALL GRAIN STRAW MULCH		2 TO 3 BALES	2 TONS

PERMANENT STABILIZATION	
AREA REQUIRING PERMANENT STABILIZATION	TIME FRAME TO APPLY EROSION CONTROLS
ANY AREAS THAT LIE DORMANT FOR ONE YEAR OR MORE	WITHIN SEVEN DAYS OF THE MOST RECENT DISTURBANCE
ANY AREAS WITHIN 50 FEET OF A SURFACE WATER OF THE STATE AND AT FINAL GRADE	WITHIN 2 DAYS OF REACHING FINAL GRADE
ANY OTHER AREAS AT FINAL GRADE	WITHIN SEVEN DAYS OF REACHING FINAL GRADE IN THAT AREA

TEMPORARY STABILIZATION	
AREA REQUIRING TEMPORARY STABILIZATION	TIME FRAME TO APPLY EROSION CONTROLS
ANY DISTURBED AREAS WITHIN 50 FEET OF A SURFACE WATER OF THE STATE AND NOT AT FINAL GRADE	WITHIN TWO DAYS OF THE MOST RECENT DISTURBANCE IF THE AREA WILL REMAIN IDLE FOR MORE THAN 21 DAYS
FOR ALL CONSTRUCTION ACTIVITIES, ANY DISTURBED AREAS THAT WILL BE DORMANT FOR MORE THAN 21 DAYS, BUT LESS THAN ONE YEAR, AND NOT WITHIN 50 FEET OF A STREAM	WITHIN SEVEN DAYS OF THE MOST RECENT DISTURBANCE WITHIN THE AREA. FOR RESIDENTIALS SUBDIVISIONS, DISTURBED AREAS MUST BE STABILIZED AT LEAST SEVEN DAYS PRIOR TO THE TRANSFER OF PERMIT COVERAGE FOR THE INDIVIDUAL LOTS
DISTURBED AREAS THAT WILL BE IDLE OVER WINTER	PRIOR TO THE ONSET OF WINTER WEATHER

SOIL PROTECTION CHART

STABILIZATION TYPE	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC
PERMANENT SEEDING			+	→	→	→	→	→	→	→		
DORMANT SEEDING	+	→	→	→							+	→
TEMPORARY SEEDING			+	→	→	→	→	→				
SODDING			+	→	→	→	→	→				
MULCHING	+	→	→	→	→	→	→	→	→	→	→	→



1. SILT FENCE SHALL BE CONSTRUCTED BEFORE UPSLOPE LAND DISTURBANCE BEGINS.
2. ALL SILT FENCE SHALL BE PLACED AS CLOSE TO THE CONTOUR AS POSSIBLE SO THAT WATER WILL NOT CONCENTRATE AT LOW POINTS IN THE FENCE AND SO THAT SMALL SWALES OR DEPRESSIONS THAT MAY CARRY SMALL CONCENTRATED FLOWS TO THE SILT FENCE ARE DISSIPATED ALONG ITS LENGTH.
3. ENDS OF THE SILT FENCES SHALL BE BROUGHT UPSLOPE SLIGHTLY SO THAT WATER PONDED BY THE SILT FENCE WILL BE PREVENTED FROM FLOWING AROUND THE ENDS.
4. SILT FENCE SHALL BE PLACED ON THE FLATTEST AREA AVAILABLE.
5. WHERE POSSIBLE, VEGETATION SHALL BE PRESERVED FOR 5 FEET (OR AS MUCH AS POSSIBLE) UPSLOPE FROM THE SILT FENCE. IF VEGETATION IS REMOVED, IT SHALL BE REESTABLISHED WITHIN 7 DAYS FROM THE INSTALLATION OF THE SILT FENCE.
6. THE HEIGHT OF THE SILT FENCE SHALL BE A MINIMUM OF 16 INCHES ABOVE THE ORIGINAL GROUND SURFACE.
7. THE SILT FENCE SHALL BE PLACED IN AN EXCAVATED OR SLICED TRENCH CUT A MINIMUM OF 6 INCHES DEEP. THE TRENCH SHALL BE MADE WITH A TRENCHER, CABLE LAYING MACHINE, SLICING MACHINE, OR OTHER SUITABLE DEVICE THAT WILL ENSURE AN ADEQUATELY UNIFORM TRENCH DEPTH.
8. THE SILT FENCE SHALL BE PLACED WITH THE STAKES ON THE DOWNSLOPE SIDE OF THE GEOTEXTILE. A MINIMUM OF 8 INCHES OF GEOTEXTILE MUST BE BELOW THE GROUND SURFACE. EXCESS MATERIAL SHALL LAY ON THE BOTTOM OF THE 6-INCH DEEP TRENCH. THE TRENCH SHALL BE BACKFILLED AND COMPACTED ON BOTH SIDES OF THE FABRIC.
9. SEAMS BETWEEN SECTIONS OF SILT FENCE SHALL BE SPLICED TOGETHER ONLY AT A SUPPORT POST WITH A MINIMUM 6-IN. OVERLAP PRIOR TO DRIVING INTO THE GROUND, (SEE DETAILS).
10. MAINTENANCE-SILT FENCE SHALL ALLOW RUNOFF TO PASS ONLY AS DIFFUSE FLOW THROUGH THE GEOTEXTILE. IF RUNOFF OVERTOPS THE SILT FENCE, FLOWS UNDER THE FABRIC OR AROUND THE FENCE ENDS, OR IN ANY OTHER WAY ALLOWS A CONCENTRATED FLOW DISCHARGE, ONE OF THE FOLLOWING SHALL BE PERFORMED, AS APPROPRIATE: 1)THE LAYOUT OF THE SILT FENCE SHALL BE CHANGED, 2)ACCUMULATED SEDIMENT SHALL BE REMOVED, OR 3)OTHER PRACTICES SHALL BE INSTALLED.

SEDIMENT DEPOSITS SHALL BE ROUTINELY REMOVED WHEN THE DEPOSIT REACHES APPROXIMATELY ONE-HALF OF THE HEIGHT OF THE SILT FENCE.

SILT FENCES SHALL BE INSPECTED AFTER EACH RAINFALL AND AT LEAST DAILY DURING A PROLONGED RAINFALL. THE LOCATION OF EXISTING SILT FENCE SHALL BE REVIEWED DAILY TO ENSURE ITS PROPER LOCATION AND EFFECTIVENESS. IF DAMAGED, THE SILT FENCE SHALL BE REPAIRED IMMEDIATELY.

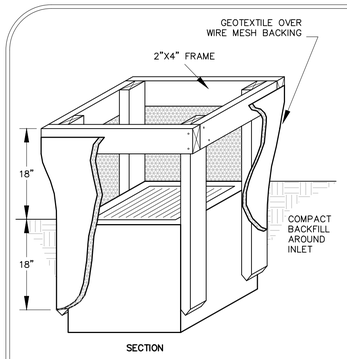
CRITERIA FOR SILT FENCE MATERIALS

1. FENCE POST - THE LENGTH SHALL BE A MINIMUM OF 32 INCHES. WOOD POSTS WILL BE 2-BY-2-IN. NOMINAL DIMENSIONED HARDWOOD OF SOUND QUALITY. THEY SHALL BE FREE OF KNOTS, SPLITS AND OTHER VISIBLE IMPERFECTIONS, THAT WILL WEAKEN THE POSTS. THE MAXIMUM SPACING BETWEEN POSTS SHALL BE 10 FT. POSTS SHALL BE DRIVEN A MINIMUM 16 INCHES INTO THE GROUND, WHERE POSSIBLE. IF NOT POSSIBLE, THE POSTS SHALL BE ADEQUATELY SECURED TO PREVENT OVERTURNING OF THE FENCE DUE TO SEDIMENT/WATER LOADING.
2. SILT FENCE FABRIC - SEE CHART BELOW.

FABRIC PROPERTIES	VALUES	TEST METHOD
Minimum Tensile Strength	120 lbs. (535 N)	ASTM D 4632
Maximum Elongation at 60 lbs	50%	ASTM D 4632
Minimum Puncture Strength	50 lbs (220 N)	ASTM D 4833
Minimum Tear Strength	40 lbs (180 N)	ASTM D 4533
Apparent Opening Size	0.84 mm	ASTM D 4751
Minimum Permittivity	1X10-2 sec.-1	ASTM D 4491
UV Exposure Strength Retention	70%	ASTM G 4355

* NOTE: THE USE OF STRAW WATTLES HAS PROVEN TO BE A VERSATILE AND EFFECTIVE ESC BMP, ESPECIALLY IN RESIDENTIAL SETTINGS. STRAW WATTLES MAY BE SUBSTITUTED FOR SILT FENCE IN LINEAR INSTALLATIONS.
ADDITIONALLY: THE USE OF COMPOST FILTER SOCKS AND COMPOST BLANKETS ARE GAINING WIDER ACCEPTANCE NATIONWIDE. THEY ARE NOW APPROVED FOR USE ON ALL COLUMBUS SWP3 PLANS AND CONSTRUCTION SITES

SILT FENCE
N.T.S.



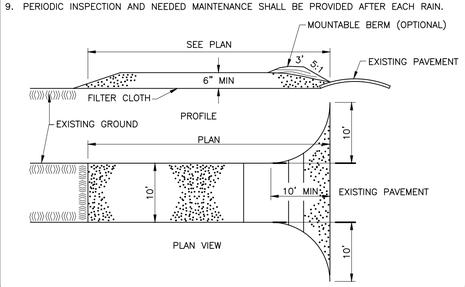
NOTE:
VERTICAL INLET PROTECTION TO BE USED WHERE POSSIBLE AND ALWAYS IN AREAS TO BE GRASSED.

1. INLET PROTECTION SHALL BE CONSTRUCTED EITHER BEFORE UPSLOPE LAND DISTURBANCE BEGINS OR BEFORE THE INLET BECOMES FUNCTIONAL.
2. THE EARTH AROUND THE INLET SHALL BE EXCAVATED COMPLETELY TO A DEPTH AT LEAST 18 INCHES.
3. THE WOODEN FRAME SHALL BE CONSTRUCTED OF 2-INCH BY 4-INCH CONSTRUCTION GRADE LUMBER. THE 2-INCH BY 4-INCH POSTS SHALL BE DRIVEN ONE (1) FT. INTO THE GROUND AT FOUR CORNERS OF THE INLET AND THE TOP PORTION OF 2-INCH BY 4-INCH FRAME ASSEMBLED USING THE OVERLAP JOINT SHOWN. THE TOP OF THE FRAME SHALL BE AT LEAST 6 INCHES BELOW ADJACENT ROADS IF PONDED WATER WILL POSE A SAFETY HAZARD TO TRAFFIC.
4. WIRE MESH SHALL BE OF SUFFICIENT STRENGTH TO SUPPORT FABRIC WITH WATER FULLY IMPOUNDED AGAINST IT. IT SHALL BE STRETCHED TIGHTLY AROUND THE FRAME AND FASTENED SECURELY TO THE FRAME.
5. GEOTEXTILE MATERIAL SHALL HAVE AN EQUIVALENT OPENING SIZE OF 20-40 SIEVE AND BE RESISTANT TO SUNLIGHT. IT SHALL BE STRETCHED TIGHTLY AROUND THE FRAME AND FASTENED SECURELY. IT SHALL EXTEND FROM THE TOP OF THE FRAME TO 18 INCHES BELOW THE INLET NOTCH ELEVATION. THE GEOTEXTILE SHALL OVERLAP ACROSS ONE SIDE OF THE INLET SO THE ENDS OF THE CLOTH ARE NOT FASTENED TO THE SAME POST.
6. BACKFILL SHALL BE PLACED AROUND THE INLET IN COMPACTED 6-INCH LAYERS UNTIL THE EARTH IS EVEN WITH NOTCH ELEVATION ON ENDS AND TOP ELEVATION ON SIDES.
7. A COMPACTED EARTH DIKE OR CHECK DAM SHALL BE CONSTRUCTED IN THE DITCH LINE BELOW THE INLET IF THE INLET IS NOT IN A DEPRESSION. THE TOP OF THE DIKE SHALL BE AT LEAST 6 INCHES HIGHER THAN THE TOP OF THE FRAME.

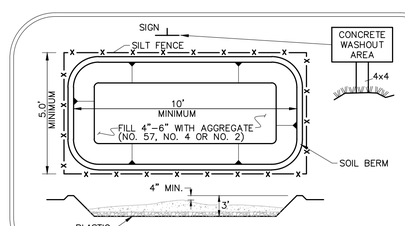
FILTER FABRIC INLET PROTECTION
N.T.S.
TO BE USED ON STRUCTURE: # 4,8

CONSTRUCTION SPECIFICATIONS

1. STONE SIZE - USE 2" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
2. LENGTH - AS REQUIRED.
3. THICKNESS - NOT LESS THAN SIX (6) INCHES.
4. WIDTH - TWENTY (20) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS.
5. FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
6. SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED. COST OF PIPE SHALL BE INCLUDED IN THE PRICE BID FOR THE STABILIZED CONSTRUCTION ENTRANCE.
7. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
8. WASHING - WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAYS. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
9. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.



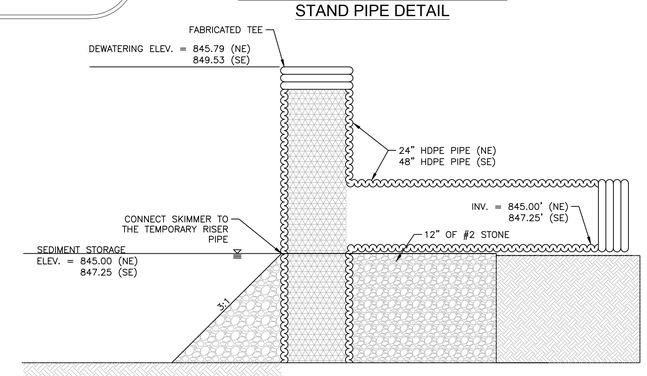
STABILIZED CONSTRUCTION ENTRANCE
NOT TO SCALE

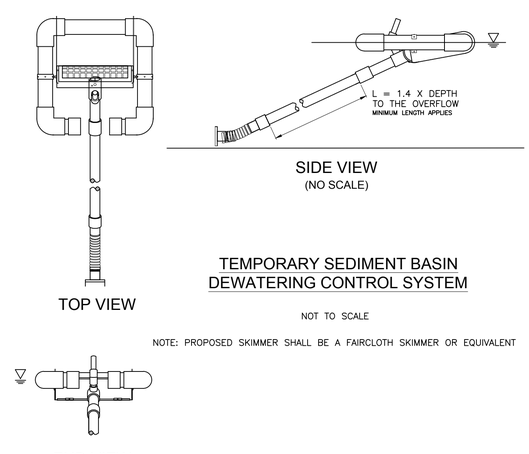


CONCRETE WASHOUT AREA
N.T.S.

THE USE OF PORTABLE CONCRETE WASHOUT UNITS IS APPROVED (AND ENCOURAGED).

TEMPORARY SEDIMENT CONTROL STAND PIPE DETAIL





TEMPORARY SEDIMENT BASIN DEWATERING CONTROL SYSTEM

NOT TO SCALE

NOTE: PROPOSED SKIMMER SHALL BE A FAIRCLOTH SKIMMER OR EQUIVALENT

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EROSION CONTROL DETAILS

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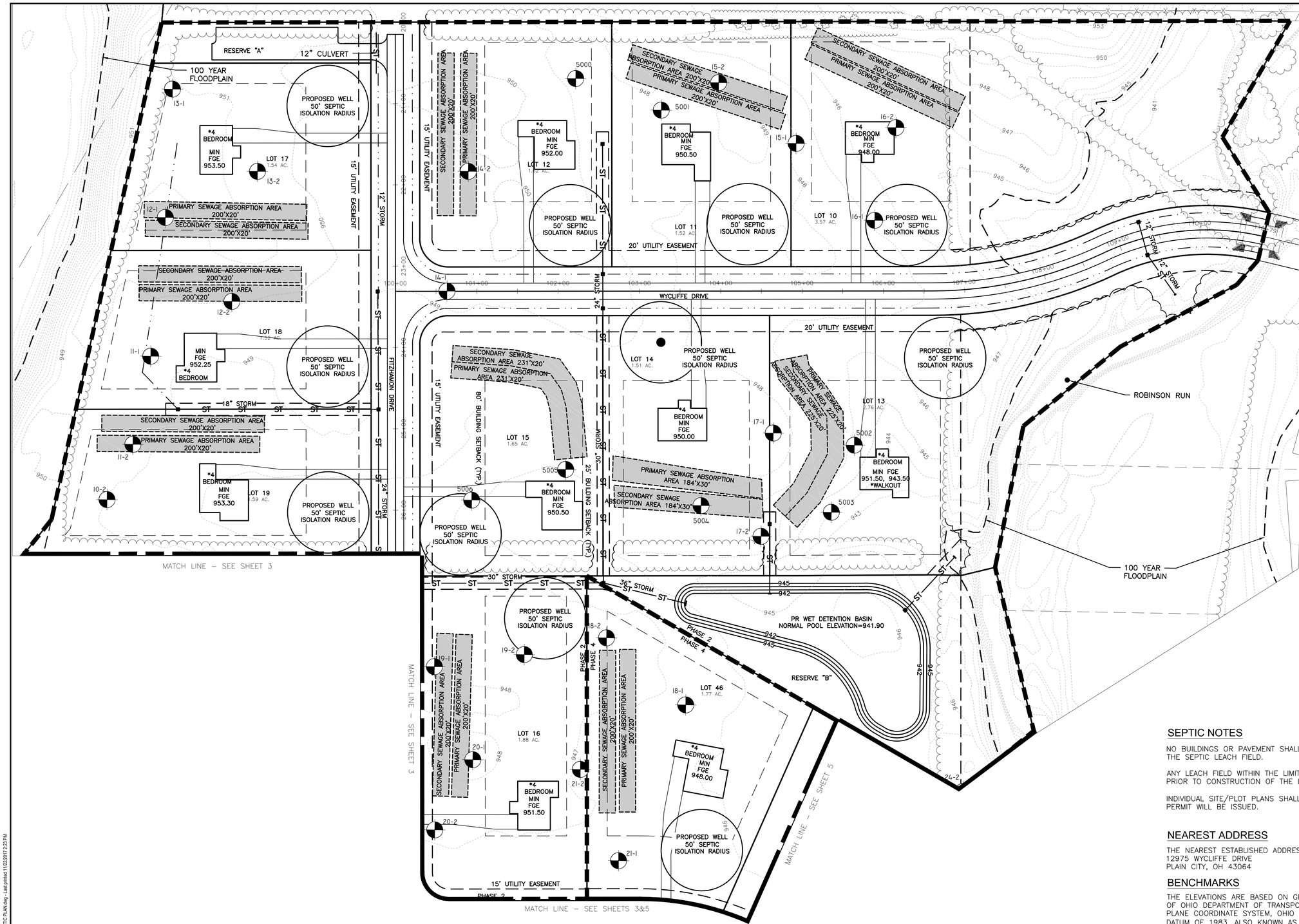

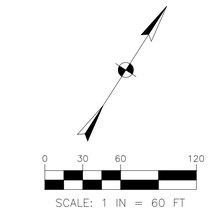

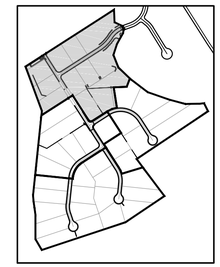

KEY MAP

SEPTIC NOTES

NO BUILDINGS OR PAVEMENT SHALL BE CONSTRUCTED WITHIN 10' OF THE SEPTIC LEACH FIELD.

ANY LEACH FIELD WITHIN THE LIMITS OF TREES SHALL BE CLEAR CUT PRIOR TO CONSTRUCTION OF THE LEACH FIELD

INDIVIDUAL SITE/PLOT PLANS SHALL BE APPROVED BEFORE FINAL PERMIT WILL BE ISSUED.

NEAREST ADDRESS

THE NEAREST ESTABLISHED ADDRESS:
12975 WYCLIFFE DRIVE
PLAIN CITY, OH 43064

BENCHMARKS

THE ELEVATIONS ARE BASED ON GPS OBSERVATIONS USING THE STATE OF OHIO DEPARTMENT OF TRANSPORTATION VRS SYSTEM. THE STATE PLANE COORDINATE SYSTEM, OHIO NORTH ZONE, NORTH AMERICAN DATUM OF 1983, ALSO KNOWN AS NAD83 (2011 ADJUSTMENT), WITH A NAVD88.

THE BASIS OF BEARINGS FOR THIS SURVEY IS THE CENTER LINE OF STATE ROUTE 736 AS BEING S 32°08'12" E., ALSO BASED ON GPS OBSERVATIONS USING THE STATE OF OHIO DEPARTMENT OF TRANSPORTATION VRS SYSTEM AND THE STATE PLANE COORDINATE SYSTEM, OHIO NORTH ZONE.

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UNION COUNTY OHIO

ON SITE SEWAGE PLAN PHASES II-IV

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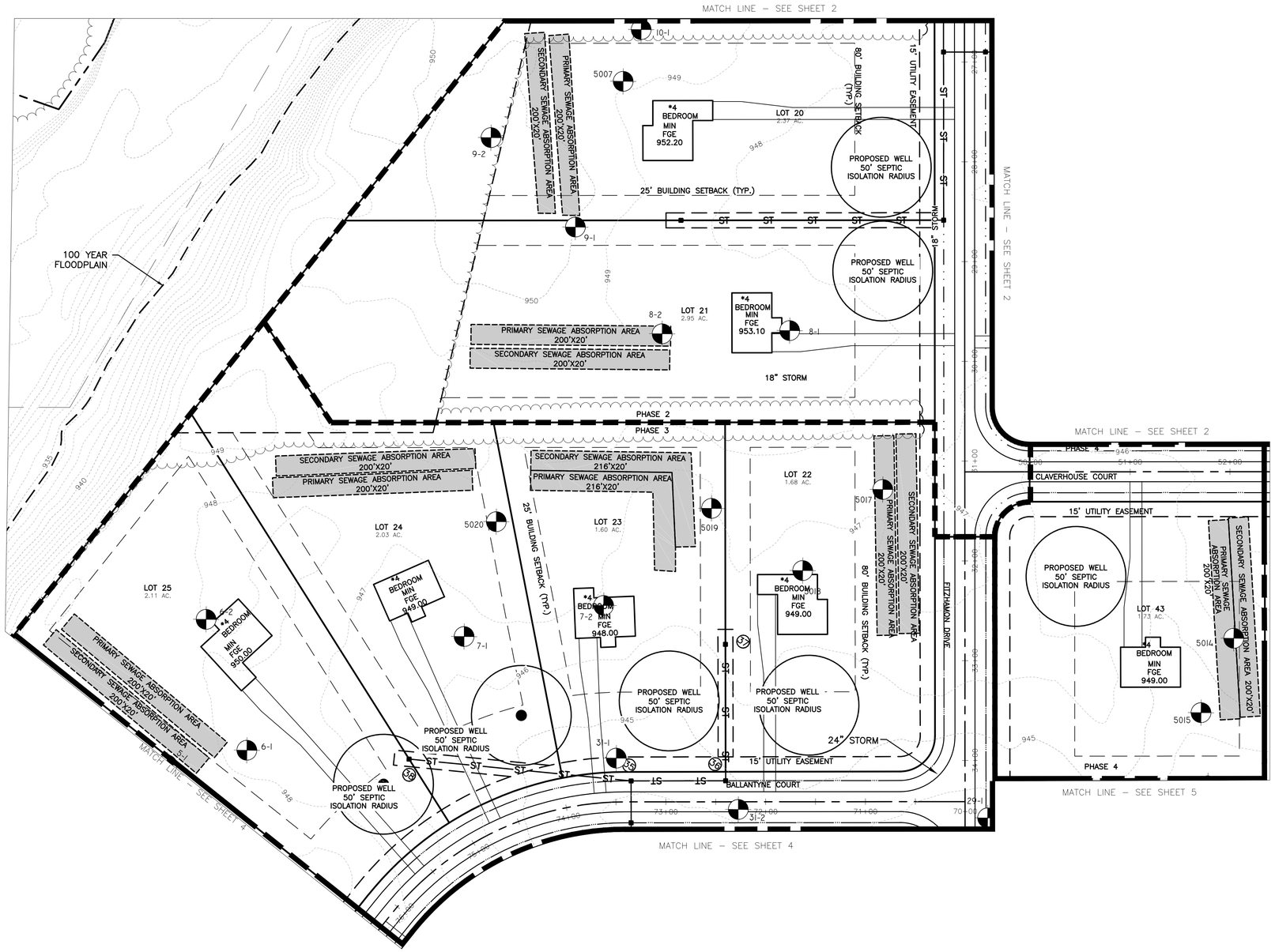

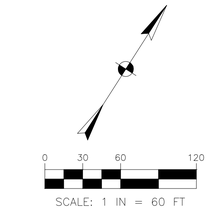

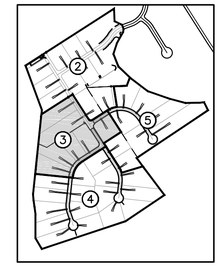

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TEL: 614-441-4222
FAX:888-488-7340

PROJECT DATE: 11/07/2017
PROJECT NO.: D2250001
DRAWN BY: DJ
CHECKED BY: RV

Mannik Smith GROUP
TECHNICAL SKILL. CREATIVE SPIRIT.
www.MannikSmithGroup.com

PREPARED FOR:
DARBY BRAESIDE, LLC

CITY OF PLAIN CITY, OHIO
DARBY BRAESIDE PRELIMINARY PLAN PHASE 2-4
UNION COUNTY OHIO

ON SITE SEWAGE PLAN PHASES II-IV

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SEPTIC NOTES

NO BUILDINGS OR PAVEMENT SHALL BE CONSTRUCTED WITHIN 10' OF THE SEPTIC LEACH FIELD.

ANY LEACH FIELD WITHIN THE LIMITS OF TREES SHALL BE CLEAR CUT PRIOR TO CONSTRUCTION OF THE LEACH FIELD

INDIVIDUAL SITE/PLOT PLANS SHALL BE APPROVED BEFORE FINAL PERMIT WILL BE ISSUED.

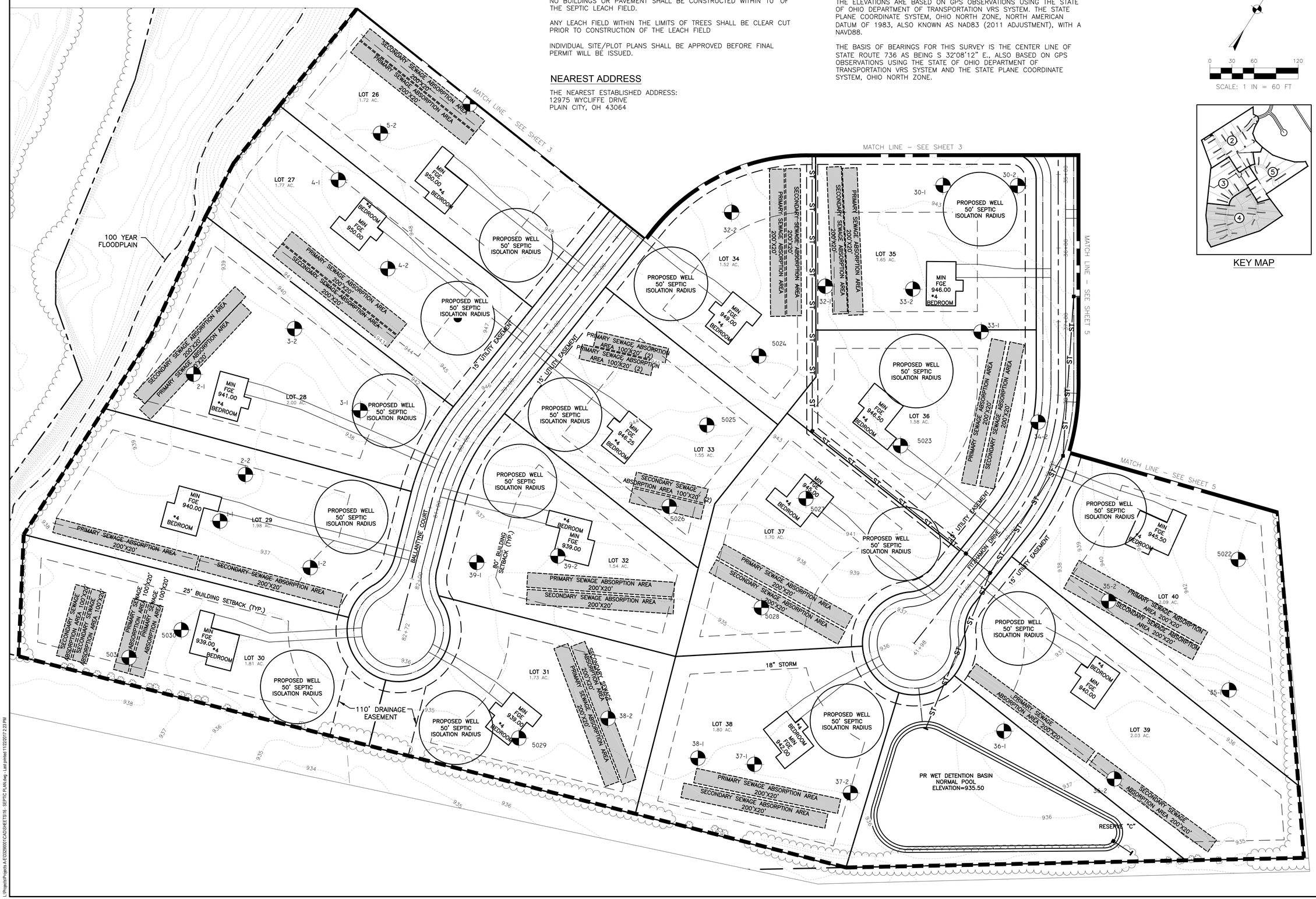
NEAREST ADDRESS

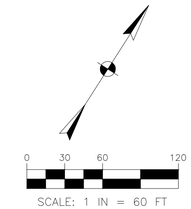
THE NEAREST ESTABLISHED ADDRESS:
12975 WYCLIFFE DRIVE
PLAIN CITY, OH 43064

BENCHMARKS

THE ELEVATIONS ARE BASED ON GPS OBSERVATIONS USING THE STATE OF OHIO DEPARTMENT OF TRANSPORTATION VRS SYSTEM. THE STATE PLANE COORDINATE SYSTEM, OHIO NORTH ZONE, NORTH AMERICAN DATUM OF 1983, ALSO KNOWN AS NAD83 (2011 ADJUSTMENT), WITH A NAVD88.

THE BASIS OF BEARINGS FOR THIS SURVEY IS THE CENTER LINE OF STATE ROUTE 736 AS BEING S 32°08'12" E., ALSO BASED ON GPS OBSERVATIONS USING THE STATE OF OHIO DEPARTMENT OF TRANSPORTATION VRS SYSTEM AND THE STATE PLANE COORDINATE SYSTEM, OHIO NORTH ZONE.





KEY MAP

NO.	DATE	BY	DESCRIPTION

1160 DUBLIN ROAD, SUITE 100
COLUMBUS, OH 43215
TEL: 614-441-4222
FAX:888-488-7340

PROJECT DATE: 11/07/2017
PROJECT NO.: D22500001
DRAWN BY: DJ
CHECKED BY: RV

Mannik Smith GROUP
TECHNICAL SKILL. CREATIVE SPIRIT.
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PREPARED FOR:
DARBY BRAESIDE, LLC

CITY OF PLAIN CITY, OHIO
DARBY BRAESIDE PRELIMINARY PLAN PHASE 2-4
UNION COUNTY OHIO

ON SITE SEWAGE PLAN PHASES II-IV

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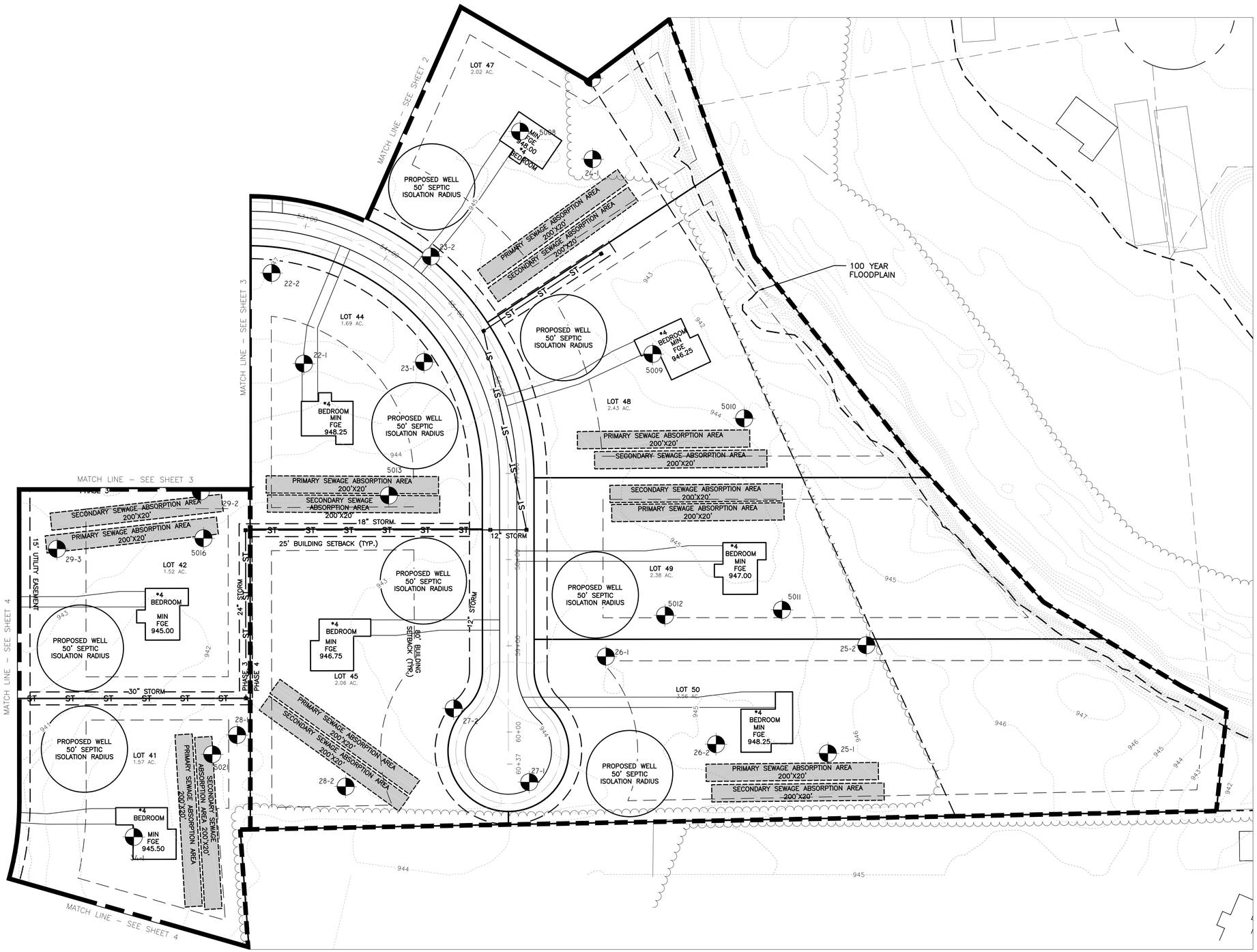

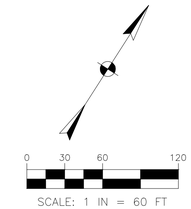

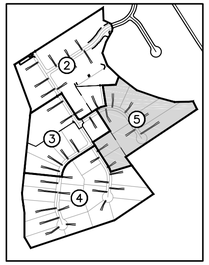

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NO.	DATE	BY	DESCRIPTION

1160 DUBLIN ROAD, SUITE 100
COLUMBUS, OH 43215
TEL: 614-441-4222
FAX:888-488-7340

PROJECT DATE: 11/07/2017
PROJECT NO.: D3250001
DRAWN BY: DJ
CHECKED BY: RV

TECHNICAL SKILL. CREATIVE SPIRIT.

Mannik Smith GROUP

www.MannikSmithGroup.com

PREPARED FOR:
DARBY BRAESIDE, LLC

CITY OF PLAIN CITY, OHIO

DARBY BRAESIDE PRELIMINARY PLAN PHASE 2-4

UNION COUNTY OHIO

ON SITE SEWAGE PLAN PHASES II-IV

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PRELIMINARY PLAT FOR DARBY BRAESIDE PHASES 2-4

JEROME AND DARBY TOWNSHIP, UNION COUNTY, OHIO

V.M.S. 3484

STANDARD DEED RESTRICTIONS FOR UNION COUNTY

RESIDENTIAL and COMMERCIAL

1. THERE SHALL BE NO DISCHARGE IN TO ANY STREAMS OR STORM WATER OUTLETS OF ANY WASTE MATERIALS IN VIOLATION OF APPLICABLE LOCAL, STATE, OR FEDERAL REGULATIONS.
2. NO PERMANENT STRUCTURES, PLANTINGS, ETC. SHALL BE PERMITTED IN EASEMENT AREAS.
3. GRADING OF THE STORM WATER DETENTION AREAS SHALL NOT BE CHANGED.
4 MAINTENANCE OF DRAINAGE DITCHES, DETENTION AREAS, AND/OR DRAINAGE SWALES SHALL BE THE RESPONSIBILITY OF THE ADJACENT OWNERS. IF ANY OWNER DAMAGES A DITCH, DETENTION AREA, OR SWALE, THAT OWNER SHALL BE RESPONSIBLE FOR THE REPAIR. REPAIRS SHALL BE MADE IMMEDIATELY. EXISTING DRAIN TILES IN THE SUBDIVISION SHALL BE RE-ROUTED SO THAT DRAINAGE ENTERING TILES WILL CONTINUE TO FLOW FREELY.
5. THE LOT OWNER AND HIS SUCCESSORS AND ASSIGNS AGREE TO ASSUME ANY AND ALL DITCH MAINTENANCE CHARGES WHICH ARE ESTABLISHED BY THE UNION COUNTY COMMISSIONERS FOR THIS SUBDIVISION.
6. NO CONSTRUCTION MAY BEGIN OR BUILDING STARTED WITHOUT THE INDIVIDUAL LOT OWNER OBTAINING ZONING, BUILDING, SEPTIC SEWAGE DISPOSAL, WATER WELL, AND DRIVEWAY PERMITS. ZONING PERMITS ARE OBTAINED FROM THE TOWNSHIP ZONING INSPECTOR. BUILDING PERMITS ARE OBTAINED FROM THE UNION COUNTY BUILDING REGULATION DEPARTMENT AND DRIVEWAY PERMITS ARE OBTAINED FROM THE UNION COUNTY ENGINEER'S OFFICE. SEPTIC SEWAGE DISPOSAL AND WATER WELL PERMITS ARE OBTAINED FROM THE UNION COUNTY HEALTH DEPARTMENT.
8. ALL CONSTRUCTION SHALL MEET THE REQUIREMENTS OF THE TOWNSHIP, UNION COUNTY, AND OTHER APPLICABLE CODE AUTHORITIES.
9. FOR ANY BUILDING PROPOSED TO BE BUILT WITHIN THE 100-YEAR FLOOD ZONE, THE STANDARDS OF THE UNION COUNTY FLOOD DAMAGE PREVENTION RESOLUTION MUST BE MET. NO CONSTRUCTION MAY BEGIN OR BUILDING STARTED WITHIN A DESIGNATED FLOOD HAZARD AREA PRIOR TO THE ISSUANCE OF A FLOOD HAZARD PERMIT BY THE UNION COUNTY BUILDING REGULATION DEPARTMENT.

RESIDENTIAL ONLY

10. UNION COUNTY IS NOT RESPONSIBLE FOR THE CURTAIN DRAIN TRUNK SEWER OR THE LATERALS LEADING TO IT. CURTAIN DRAINS SHALL NOT OUTLET DIRECTLY TO ROADSIDE DITCHES.
11. DOWNSPOUT DRAINS SHALL NOT BE CONNECTED DIRECTLY TO THE ROADWAY UNDERDRAINS.
14. REGULAR MAINTENANCE OF THE STORMWATER DETENTION AREAS IS THE RESPONSIBILITY OF THE PROPERTY OWNERS UPON WHICH THE EASEMENT FOR THE DETENTION AREA IS LOCATED, UNLESS A HOMEOWNER'S ASSOCIATION HAS BEEN CREATED AND HAS BEEN CHARGED WITH THE RESPONSIBILITY FOR SUCH REGULAR MAINTENANCE.
15. WHEN DRIVEWAYS FOR EACH LOT ARE CONSTRUCTED, A MINIMUM 8" DIAMETER STORM PIPE AND GRATE SHALL BE INSTALLED AS A CATCH BASIN IN THE CENTERLINE OF THE ROADWAY DITCH, OVER THE EXISTING STORM LINE, AT THE "HIGH" SIDE OF THE DRIVEWAY. DRIVEWAY CATCH BASINS SHALL BE APPROVED AND INSPECTED BY THE UNION COUNTY ENGINEER'S OFFICE.

MISCELLANEOUS RESTRICTIONS/NOTES

24. THIS SUBDIVISION IS LOCATED ADJACENT TO LAND WHICH MAY BE USED FOR AGRICULTURAL/FARMING PURPOSES. LOT OWNERS CAN EXPECT NOISE FROM FARM MACHINERY, DUST FROM FARMING OPERATIONS, THE APPLICATION OF CHEMICALS TO THE SOIL AND CROPS, ODORS AND NOISE FROM LIVESTOCK, AND OTHER TYPICAL FARMING NUISANCES. OWNERS CAN EXPECT FARMING OPERATIONS TO HAPPEN DAY OR NIGHT. YOU CAN EXPECT HUNTING ON AGRICULTURAL LAND. DO NOT EXPECT TO USE AGRICULTURAL LAND FOR YOUR PURPOSES WITHOUT FIRST GETTING PERMISSION FROM THE LANDOWNER. DO NOT ALLOW YOUR CHILDREN OR YOUR PETS TO PLAY ON AGRICULTURAL LAND. DO NOT DISCARD CLIPPINGS AND TRIMMINGS FROM LAWNS, TREES, BUSHES, PLANTS, ETC. OR OTHER WASTES THAT YOU MAY GENERATE ON AGRICULTURAL LAND. DISPOSE OF ALL WASTES APPROPRIATELY. ADDITIONALLY, THERE MAY BE EXISTING DITCHES, SURFACE SWALES OR UNDERGROUND TILES THAT DRAIN WATER FROM ADJACENT LAND ON TO OR THROUGH YOUR PROPERTY. YOU HAVE A LEGAL RESPONSIBILITY TO ALLOW THE REASONABLE FLOW OF WATER ON TO OR THROUGH YOUR PROPERTY FROM UPGROUND PROPERTIES. YOU ALSO HAVE A LEGAL RESPONSIBILITY TO MAINTAIN AND REPAIR ANY EXISTING DITCHES, SURFACE SWALES ORUNDERGROUND TILE ON YOUR PROPERTY.

MISCELLANEOUS RESTRICTIONS/NOTES

26. FEMA ZONE: AT THE TIME OF PLATTING, ALL OF THE SUBDIVISION IS IN ZONE X (areas determined to be out of the 500-year floodplain) AS SAID ZONE IS DESIGNATED AND DELINEATED ON THE FEMA FLOOD INSURANCE RATE MAP FOR UNION COUNTY, OHIO AND UNINCORPORATED AREAS, MAP NUMBERS 39159C0370D WITH EFFECTIVE DATE OF DECEMBER 16, 2008.
27. MINIMUM SETBACKS: ZONING REGULATIONS FOR DARBY BRAESIDE PHASE 1 SUBDIVISION IN EFFECT AT THE TIME OF PLATTING OF DARBY BRAESIDE PHASE 1 SUBDIVISION SPECIFY THE FOLLOWING DIMENSIONS FOR THE MINIMUM FRONT, SIDE AND REAR YARD SETBACKS FOR EACH LOT:
    FRONT 80 FEET
    SIDE 25 FEET
    REAR 25 FEET
    SAID ZONING REGULATIONS AND ANY AMENDMENTS THERETO PASSED SUBSEQUENT TO ACCEPTANCE OF THIS PLAT, SHOULD BE REVIEWED TO DETERMINE THE THEN CURRENT REQUIREMENTS. THIS NOTICE IS SOLELY FOR THE PURPOSE OF NOTIFYING THE PUBLIC OF THE EXISTENCE, AT THE TIME OF PLATTING, OF CERTAIN ZONING REGULATIONS APPLICABLE TO THIS PROPERTY. THIS NOTICE SHALL NOT BE INTERPRETED AS CREATING PLAT OR SUBDIVISION RESTRICTIONS, PRIVATE USE RESTRICTIONS, COVENANTS RUNNING WITH THE LAND OR TITLE ENCUMBRANCES OF ANY NATURE, AND IS FOR INFORMATION PURPOSES ONLY.
28. UTILITY PROVIDERS: BUYERS OF THE LOTS IN THIS SUBDIVISION ARE HEREBY NOTIFIED THAT, AT THE TIME OF PLATTING, UTILITY SERVICE TO THIS SUBDIVISION FOR ELECTRIC POWER IS PROVIDED BY UNION RURAL ELECTRIC , TELEPHONE SERVICE IS PROVIDED BY FRONTIER COMMUNICATIONS , AND NATURAL GAS IS PROVIDED BY COLUMBIA GAS.
29. SCHOOL DISTRICT: AT THE TIME OF PLATTING, ALL OF THE SUBDIVISION IS IN THE JONATHAN ALDER LOCAL SCHOOL DISTRICT.
31. LANDSCAPE EASEMENT: WITHIN, OVER AND UNDER THE AREA OF LAND DESIGNATED HEREON AS "LANDSCAPE EASEMENT," A NONEXCLUSIVE EASEMENT IS HEREBY RESERVED FOR THE PURPOSE OF INSTALLING/CONSTRUCTING, OPERATING, USING, AND MAINTAINING LANDSCAPING, LANDSCAPING FEATURES AND SUBDIVISION ENTRANCE FEATURES THEREIN. SUCH LANDSCAPING, LANDSCAPING FEATURES AND SUBDIVISION ENTRANCE FEATURES SHALL BE INSTALLED/CONSTRUCTED BY THE DEVELOPER OF THE SUBDIVISION AND OPERATED, USED AND MAINTAINED BY SAID DEVELOPER UNTIL SUCH TIME AS THE _______ ASSOCIATION IS FORMED AND FOUNDED. THEREAFTER, SAID ASSOCIATION SHALL OPERATE, USE AND MAINTAIN SAID LANDSCAPING, LANDSCAPING FEATURES AND SUBDIVISION ENTRANCE FEATURES AND SAID ASSOCIATION SHALL HAVE AND IS HEREBY GRANTED A NONEXCLUSIVE RIGHT TO USE SAID EASEMENT AREAS FOR SAID PURPOSE. NO DEVELOPER-INSTALLED LANDSCAPING, LANDSCAPING FEATURES AND SUBDIVISION ENTRANCE FEATURES SHALL BE REMOVED FROM SAID EASEMENT AREAS WITHOUT THE APPROVAL OF SAID DEVELOPER OR SAID DEVELOPER'S DESIGNEE.

GENERAL DEVELOPMENT SUMMARY

TOTAL AREA (ACRES) 122.588

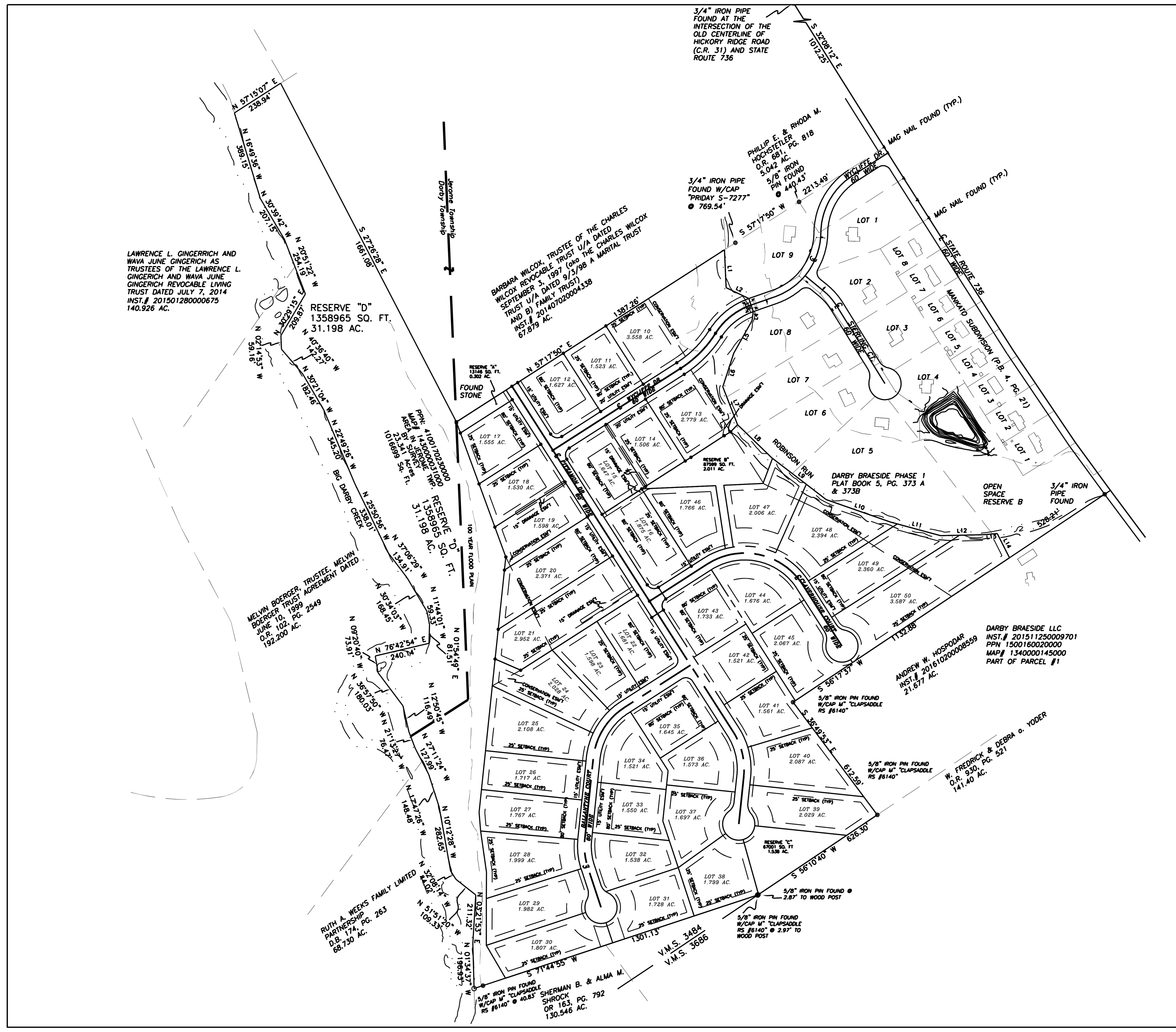
AREA IN JEROME TWP. 99.227

AREA IN DARBY TWP. 23.361

AREA IN RESERVES "A", "B" "C" & "D" 35.049

AREA IN RIGHT OF WAYS (60')
PHASE 2 3.137
PHASE 3 1.673
PHASE 4 3.668

NUMBER OF LOTS 40 LOT AREA 79.061
80' FRONT SETBACK (FROM RIGHT OF WAY)
25' SIDE & REAR YEAR SETBACK



AREA MAP

NOT TO SCALE

LOCATION MAP

NO SCALE

OWNER

DARBY BRAESIDE, LLC
1119 REGENCY DRIVE
COLUMBUS, OHIO 43220

SURVEYOR

J&J SURVEYING SERVICES, INC.
JOHN W. WETHERILL P.S.
7509 E. MAIN ST., SUITE 104
REYNOLDSBURG, OH 43068
(614) 866-9158

SURVEYOR'S CERTIFICATE

THE ACCOMPANYING PLAT REPRESENTS A SUBDIVISION OF LAND IN THE VIRGINIA MILITARY SURVEY No. 3484, JEROME TOWNSHIP AND DARBY TOWNSHIP, UNION COUNTY, OHIO.

THE TRACT HAS AN AREA OF 8.478 ACRES IN RIGHT OF WAYS, 35.049 ACRES IN RESERVES AND 79.061 ACRES IN LOTS FOR A TOTAL OF 122.588 ACRES.

ALL MEASUREMENTS ARE IN FEET AND DECIMALS OF A FOOT. ALL MEASUREMENTS ON CURVES ARE ARC DISTANCES.

THE SUBDIVISION IS WITHIN FLOOD ZONE X PER FIRM RATE MAP 39159C0370D, EFFECTIVE DATE DECEMBER 16, 2008 UNLESS OTHERWISE SHOWN.

I HEREBY CERTIFY THAT THE ACCOMPANYING PLAT IS A CORRECT REPRESENTATION OF DARBY BRAESIDE PHASE 2-4 AS SURVEYED MARCH, 2017.

MONUMENTS HAVE BEEN PLACED AS INDICATED. MONUMENTS SHOWN THUS "o " WILL BE SET AT ALL LOT CORNERS AND ALL POINTS OF CURVATURE AND TANGENCY ALONG THE STREET RIGHT-OF-WAY LINE AFTER CONSTRUCTION AND PRIOR TO THE SALE OF ANY LOTS.

Jn W. Wetherill 11/22/2017

JOHN W. WETHERILL, P.S. DATE
PROFESSIONAL SURVEYOR #S-7811

DEDICATION

KNOW ALL MEN BY THESE PRESENTS THAT DARBY BRAESIDE LLC, OWNER OF THE LAND INDICATED ON THE ACCOMPANYING PLAT, HAS AUTHORIZED THE PLATTING THEREOF AND DOES HEREBY DEDICATE THE STREETS, EASEMENTS AND RESERVE AREAS TO THE PUBLIC USE FOREVER.

WITNESS:

______________________ ______________________
OWNER

____

STATE OF OHIO
COUNTY OF UNION

BEFORE ME A NOTARY PUBLIC IN AND FOR SAID COUNTY PERSONALLY CAME

_______________ WHO ACKNOWLEDGED THE SIGNING OF THE FOREGOING INSTRUMENT TO BE THEIR VOLUNTARY ACT AND DEED FOR THE USE AND PURPOSES THEREIN EXPRESSED. IN WITNESS WHEREOF, I HAVE HEREUNTO SET MY HAND AND AFFIXED MY OFFICIAL SEAL THIS __ DAY OF ________ , 2017.

BY ______________________
NOTARY PUBLIC
MY COMMISSION EXPIRES ______________________

RIGHTS-OF-WAY FOR PUBLIC STREETS AND ROADS HEREIN DEDICATED TO PUBLIC USE ARE HEREBY APPROVED THIS __ DAY OF ________ , 2017 FOR THE COUNTY OF UNION, STATE OF OHIO. STREET IMPROVEMENTS WITHIN SAID DEDICATED RIGHTS-OF-WAY SHALL NOT BE ACCEPTED FOR PUBLIC USE UNLESS AND UNTIL CONSTRUCTION IS COMPLETED AND ACCEPTED AS SUCH BY UNION COUNTY. IN ADDITION, STREET IMPROVEMENTS WITHIN SAID DEDICATED RIGHTS-OF-WAY SHALL NOT BE ACCEPTED FOR PUBLIC MAINTENANCE UNTIL THE MAINTENANCE PERIOD TRANSPIRES AND THE STREET IMPROVEMENTS ARE ACCEPTED FOR PUBLIC MAINTENANCE BY UNION COUNTY.

AUDITOR'S PARCEL ACREAGE

THIS PLAT CONSISTS OF 122.568 ACRES FROM AUDITOR'S PARCEL NO. 1500160020000 (DARBY BREASIDE INCORPORATED, I NST.# 201511250009701)

BASIS OF BEARINGS

Bearings are based on the centerline of State Route 736 as being S 32°08'12" E, based on GPS observations using the State of Ohio Department of Transportation VRS System, the State Plane Coordinate System, Ohio North Zone, North American Datum of 1983, also known as NAD83 (2011 Adjustment)

APPROVALS

______________________ ________
CHAIRMAN, JEROME TOWNSHIP TRUSTEES DATE

______________________ ________
UNION COUNTY ENGINEER DATE

______________________ ________
UNION COUNTY BOARD OF HEALTH DATE

______________________ ________
LUC REGIONAL PLANNING COMMISSION DATE

______________________ ________
UNION COUNTY COMMISSIONER DATE

______________________ ________
UNION COUNTY COMMISSIONER DATE

______________________ ________
UNION COUNTY COMMISSIONER DATE

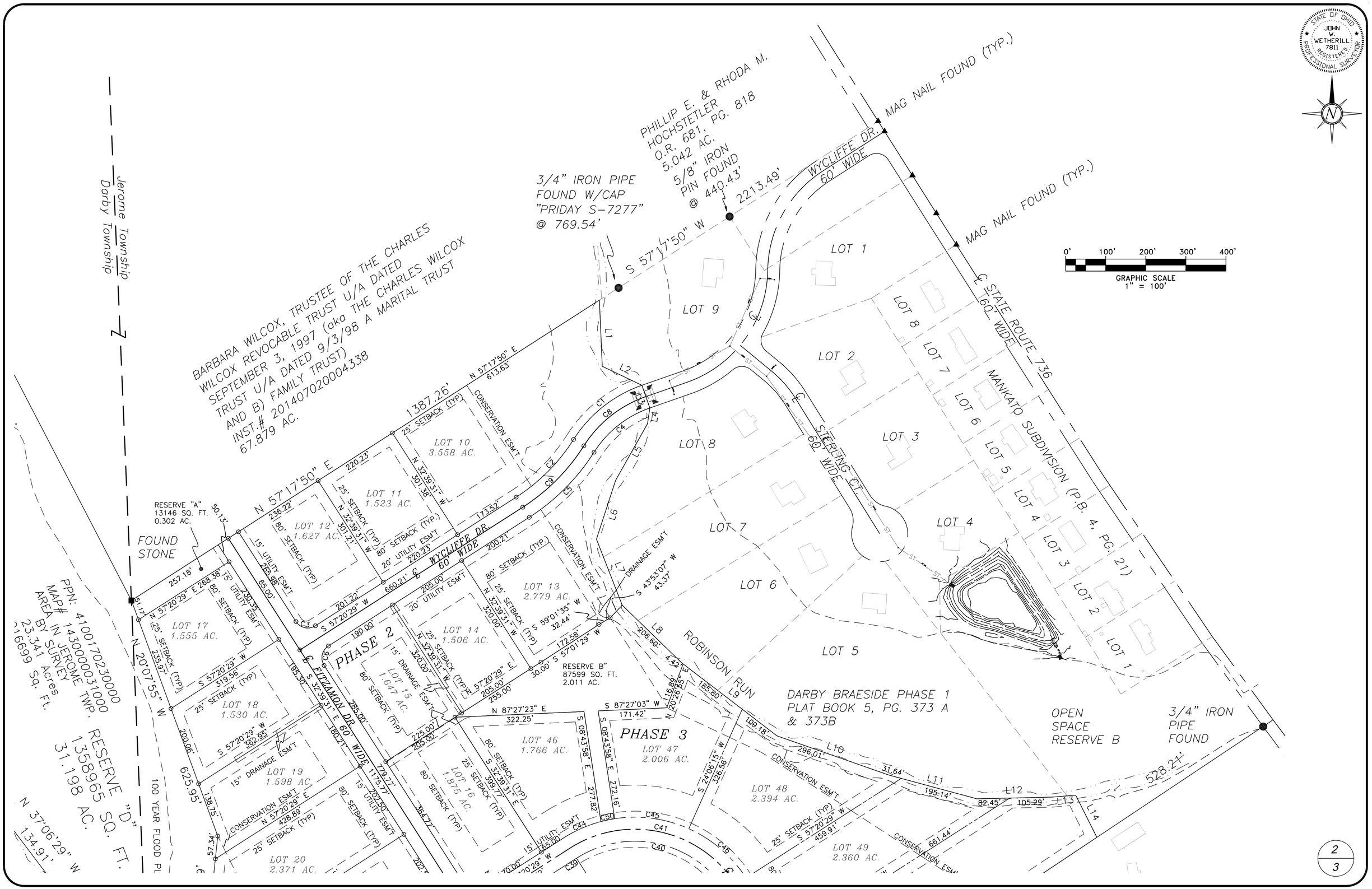
TRANSFERRED THIS ______ DAY OF __________ , 201__.

______________________ ________
UNION COUNTY AUDITOR DATE

FILED FOR RECORD THIS ______ DAY OF __________ , 201__, AT ______ M.

RECORDED THIS ____ DAY OF __________ , 201___, IN PLAT BOOK ______ , PAGE(S) ______

______________________ ________
UNION COUNTY RECORDER DATE


STATE OF OHIO
JOHN W. WETHERILL 7811 REGISTERED PROFESSIONAL SURVEYOR
N
0' 100' 200' 300' 400'
GRAPHIC SCALE 1" = 100'
Jerome Township
Darby Township
PHILLIP E. & RHODA M. HOCHSTETLER O.R. 681, PG. 818 5.042 AC.
5/8" IRON PIN FOUND @ 440.43'
3/4" IRON PIPE FOUND W/CAP "PRIDAY S-7277" @ 769.54'
2213.49'
S 57°17'50" W
MAG NAIL FOUND (TYP.)
WYCLIFFE DR. 60' WIDE
℄ STATE ROUTE 736 60' WIDE
BARBARA WILCOX, TRUSTEE OF THE CHARLES WILCOX REVOCABLE TRUST U/A DATED SEPTEMBER 3, 1997 (aka THE CHARLES WILCOX TRUST U/A DATED 9/3/98 A MARITAL TRUST AND B) FAMILY TRUST) INST.# 201407020004338 67.879 AC.
1387.26'
N 57°17'50" E 613.63'
25' SETBACK (TYP)
CONSERVATION ESM'T
LOT 10 3.558 AC.
LOT 11 1.523 AC.
LOT 12 1.627 AC.
LOT 13 2.779 AC.
LOT 14 1.506 AC.
LOT 15 1.647 AC.
LOT 16 1.875 AC.
LOT 17 1.555 AC.
LOT 18 1.530 AC.
LOT 19 1.598 AC.
LOT 20 2.371 AC.
LOT 46 1.766 AC.
LOT 47 2.006 AC.
LOT 48 2.394 AC.
LOT 49 2.360 AC.
LOT 1
LOT 2
LOT 3
LOT 4
LOT 5
LOT 6
LOT 7
LOT 8
LOT 9
MANKATO SUBDIVISION (P.B. 4, PG. 21)
STERLING CT. 60' WIDE
RESERVE "A" 13146 SQ. FT. 0.302 AC.
FOUND STONE
N 57°17'50" E
N 20°07'55" W
PPN: 410017023000 MAP# 1430000031000 AREA IN JEROME TWP. BY SURVEY 23.341 Acres 1016699 Sq. Ft.
RESERVE "D" 1358965 SQ. FT. 31.198 AC.
N 37°06'29" W 134.91'
100 YEAR FLOOD PL
PHASE 2
PHASE 3
℄ FITZAMON DR. 60' WIDE
℄ WYCLIFFE DR. 60' WIDE
RESERVE B" 87599 SQ. FT. 2.011 AC.
DRAINAGE ESM'T
UTILITY ESM'T
15' DRAINAGE ESM'T
15' UTILITY ESM'T
20' UTILITY ESM'T
80' SETBACK (TYP)
ROBINSON RUN
DARBY BRAESIDE PHASE 1 PLAT BOOK 5, PG. 373 A & 373B
OPEN SPACE RESERVE B
3/4" IRON PIPE FOUND
528.21'
625.95'

LINE	BEARING	DISTANCE
L1	N 02°28'41" W	165.36'
L2	N 64°25'44" W	109.53'
L3	N 19°13'55" W	60.00'
L4	S 08°23'02" W	39.81'
L5	S 29°22'35" W	162.04'
L6	S 18°04'07" W	154.36'
L7	S 21°20'10" E	177.06'
L8	S 45°53'51" E	206.60'
L9	S 52°32'00" E	299.39'
L10	N 70°41'32" W	296.01'
L11	N 74°52'38" W	226.78'
L12	S 88°42'25" W	187.74'
L13	N 85°19'14" E	59.36'
L14	N 26°40'42" W	117.78'

CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	221.44'	330.05'	38°26'29"	S 51°35'11" W	217.31'
C2	204.85'	469.95'	24°58'32"	N 44°51'13" E	203.23'
C3	54.98'	35.00'	90°00'00"	N 77°39'31" W	49.50'
C4	180.97'	270.00'	38°24'07"	S 51°34'01" W	177.60'
C5	231.03'	530.00'	24°58'32"	N 44°51'13" E	229.21'
C6	54.98'	35.00'	90°00'00"	S 12°20'29" W	49.50'
C7	54.98'	35.00'	90°00'00"	N 77°39'31" W	49.50'
C8	201.07'	300.00'	38°24'07"	S 51°34'01" W	197.33'
C9	217.95'	500.00'	24°58'32"	N 44°51'13" E	216.23'
C10	54.86'	34.84'	90°12'44"	S 12°26'55" W	49.37'
C11	62.88'	330.00'	10°55'03"	S 51°52'58" W	62.79'
C12	122.61'	330.00'	21°17'17"	S 35°46'47" W	121.91'
C13	110.29'	330.00'	19°08'58"	N 15°33'40" E	109.78'
C14	5.93'	330.00'	1°01'48"	N 05°28'17" E	5.93'
C15	129.34'	330.00'	22°27'26"	N 06°16'21" W	128.52'
C16	4.22'	330.00'	0°43'55"	N 17°52'01" W	4.22'
C17	48.37'	60.00'	46°11'13"	S 04°51'38" W	47.07'
C18	56.53'	70.00'	46°16'25"	S 04°49'01" W	55.01'
C19	109.77'	70.00'	89°50'54"	N 63°14'38" W	98.86'
C20	166.46'	70.00'	136°15'07"	S 03°42'21" W	129.92'
C21	11.02'	60.00'	10°31'09"	S 59°09'38" E	11.00'
C22	37.35'	60.00'	35°40'04"	N 36°04'01" W	36.75'
C23	114.13'	270.00'	24°13'10"	N 06°07'24" W	113.28'
C24	242.01'	270.00'	51°21'18"	S 31°39'50" W	233.99'
C25	54.98'	35.00'	90°00'00"	N 77°39'31" W	49.50'
C26	268.89'	300.00'	51°21'18"	N 31°39'50" E	259.98'
C27	126.81'	300.00'	24°13'10"	N 06°07'24" W	125.87'
C28	182.06'	270.00'	38°38'07"	S 13°20'27" E	178.63'
C29	48.37'	60.00'	46°11'13"	S 29°04'13" W	47.07'
C30	107.43'	70.00'	87°56'08"	N 08°11'45" E	97.20'
C31	85.35'	70.00'	69°51'26"	N 70°42'02" W	80.16'
C32	83.56'	70.00'	68°23'38"	N 40°10'25" E	78.69'
C33	56.43'	70.00'	46°11'13"	N 17°07'00" W	54.91'
C34	48.37'	60.00'	46°11'13"	S 17°07'00" E	47.07'
C35	130.75'	330.00'	22°42'03"	N 05°22'25" W	129.89'
C36	91.78'	330.00'	15°56'04"	N 24°41'29" W	91.48'
C37	202.29'	300.00'	38°38'07"	N 13°20'27" W	198.48'
C38	54.95'	35.00'	89°56'57"	N 12°18'58" E	49.48'
C39	0.50'	270.00'	0°06'25"	N 57°23'42" E	0.50'
C40	423.61'	270.00'	89°53'35"	N 77°36'18" W	381.48'
C41	471.24'	300.00'	90°00'00"	N 77°39'31" W	424.26'
C42	48.37'	60.00'	46°11'13"	S 09°33'54" E	47.07'
C43	166.38'	70.00'	136°11'13"	N 54°33'54" W	129.89'
C44	102.74'	330.00'	17°50'15"	S 66°15'37" W	102.32'
C45	189.13'	330.00'	32°50'13"	S 82°18'51" E	186.55'
C46	190.83'	330.00'	33°07'54"	N 49°19'48" W	188.18'
C47	0.61'	330.00'	0°06'20"	N 32°42'41" W	0.61'
C48	48.37'	60.00'	46°11'13"	S 55°45'07" E	47.07'
C49	166.38'	70.00'	136°11'13"	S 10°45'07" E	129.89'
C50	35.07'	330.00'	6°05'18"	S 78°13'23" W	35.05'

DARBY BRAESIDE

Development Standards and Design Guidelines

Darby Braeside

On the banks of the Big Darby Creek.

As the last development permitted on the now-protected Big Darby Creek, Darby Braeside is an extraordinary gated community, thoughtfully created to capture the rural sophistication of Union County.

614.282.7555 | DarbyBraeside.com | Live@DarbyBraeside.com

8673 SR 736 | Plain City, Ohio 43064

Introduction and Design Intent

The purpose of this Design Guideline is to provide the architectural and landscape guidance necessary to achieve the vision of Darby Braeside and maintain the integrity of this distinctive community. These guidelines are intended to encourage design professionals to create architecturally significant designs that draw inspiration from American architectural styles and build continuity within Darby Braeside, with thoughtful consideration given to orientation, scale and proportion, rooflines, massing, features and details, materials, texture, color and elevations. Years of care and planning have been given to the development of Darby Braeside – these guidelines were established to enhance the natural surroundings and qualities of the Big Darby Creek, enrich the rural sophistication of Jerome Township, ensure consistent standards of construction and to safeguard the value of the home owner's investment.

Architectural Scaling

"Primary structures" shall be natural or simulated brick, stone or clapboard, and stucco shall be used in moderation. The height, form and scale of architectural elements shall follow American architectural styles and move subtly between the historic and the modern.

Architectural elements include, but are not limited to:

- Windows
- Doors
- Columns
- Shutters
- Hyphens
- Pavilions

American architectural styles include:

- Georgian
- Farmhouse
- Colonial
- English Country
- Country French
- Coastal

General Notes

Each lot in Darby Braeside is unique and may have architectural guidelines specific to the lot.

Prior to submittal of architectural plans, a concept meeting with the Darby Braeside Architectural Review Board (DRB) shall be required for purchasers of lots in Darby Braeside. This service is offered to all purchasers of lots, builders and architects.

Final architectural and preliminary landscape plans are required to be formally submitted, reviewed and approved by DRB prior to commencement of construction and installation of materials related to the home's construction. Architectural designs will be reviewed within 30 days of receipt of the Architectural Review Submittal Form, plans and the ArchitecturalApproval Fee of $800.

Final landscape plans must be formally submitted for approval a minimum of 30 days prior to installation of any related materials. Landscape designs will be reviewed within 21 days of receipt of final plans and the Landscape Approval Fee of $300.

Failure to submit required plans and forms is a violation of Design Guidelines and may result in the issuance of a Stop Work Order and other measures deemed necessary by DRB.

Subject to change without notice.

B. Single Family Lot Development Standards

	1. Single Family Lot Development Matrix	LOT TYPE		
		Main Drive Lots	Cul de sac Lots	Creek Side Lots
Primary Structure and Garages	Build-To-Zone			
	Front Setback [1,2]	80 feet as indicated on Final Plat		
	Side Setback [3]	20 feet		
	Rear Setback	30 feet		
	Ranch-Min. Bldg. SF [7]	2,500 sq. ft.	2,500 sq. ft.	2,500 sq. ft.
	2, 2 ½ Story-Min. Bldg. SF [7]	2,800 sq. ft.	2,800 sq. ft.	2,800 sq. ft.
	Max Lot Impervious Coverage [5]	45%		
	Architectural Styles	Rural, sophisticated and blending with the environment. See Architectural Pattern Book (or example character images)		
	Special Architectural Treatment	As corner lots or lots terminating views or vistas, the following lots will be held to a higher architectural standard by the DRB: 1, 9, 12,15, 16, 27, 28, 35, 36, and 37		
Garage and Auto-court	Garage Door Max. Width	10 feet	10 feet	10 feet
	Cars Min/Max (Attached to house)	2 / 4 (6)	2 / 4 (6)	2 / 4 (6)
	Front Setback	See garage setback standards		
	Side Driveway Setback	10 feet	10 feet	10 feet
	Rear Driveway Setbacks	30 feet	30 feet	30 feet
	Driveway Max Width	16 feet	16 feet	16 feet
	Auto-court Max Width [6]	25 feet	25 feet	25 feet
	Driveway Materials	Permitted: Asphalt, crushed limestone, decomposed granite, tar and chip, pavers or any approved combination with hard surface apron per county specifications.		
	Driveway Apron Materials	Concrete or Pavers		
	Auto-court Materials	Permitted: Concrete, asphalt, crushed limestone, decomposed granite, tar and chip or any approved combination with hard surface apron per county specifications.		

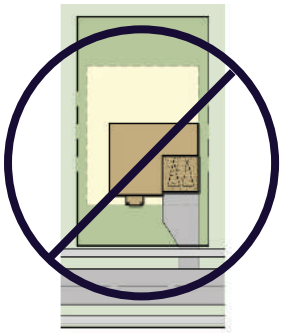
		LOT TYPE		
		Main Drive Lots	Cul de sac Lots	Creek Side Lots
Accessory Buildings	Front Setback [1,2]	80 feet and within the Build-To Zone		
	Side Setback [3]	20 feet		
	Rear Setback	30 feet		
	Max Number of Buildings	3	3	3
	Max Aggregate Building SF	1,750 sq. ft.		
	Accessory Building Materials	All accessory buildings shall be consistent with building architecture and materials.		
	Architectural Styles	This architectural style shall capture the rural sophistication of Union County, incorporate American architectural styles and blend with the environment. See Architectural Selection Portfolio.		
	Existing Trees	Existing trees shall be preserved as much as possible. Home siting shall attempt to preserve existing trees. See Landscape Section for preservation and replacement procedures.		

1. Corner Lots apply front setback lines to both street frontages.
2. Orientation of homes on lot is subject to DRB approval.
3. Side setbacks are required to be approximately equal excluding easements.
4. Homes greater than 2 stories or 35 ft require DRB approval. Note on application.
5. Impervious lot coverage shall include structures, parking, auto-courts, driveways (except pervious gravel), pedestrian walks, patios (except decks) and other hard surfaces or paved areas.
6. Excludes garage and porch width.
7. House size should not exceed 20% of the total lot size.

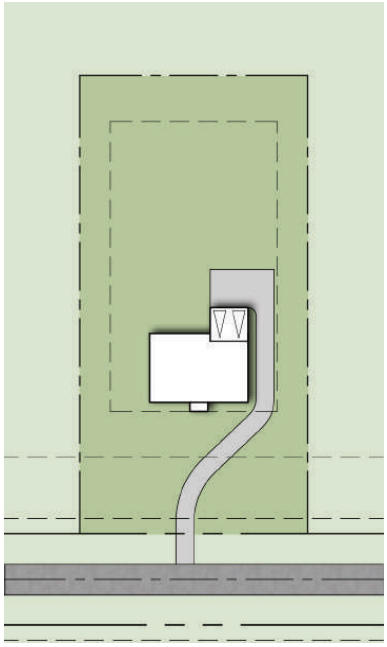
4. Single Family Building Placement and Orientation

Example House & Garage Orientations

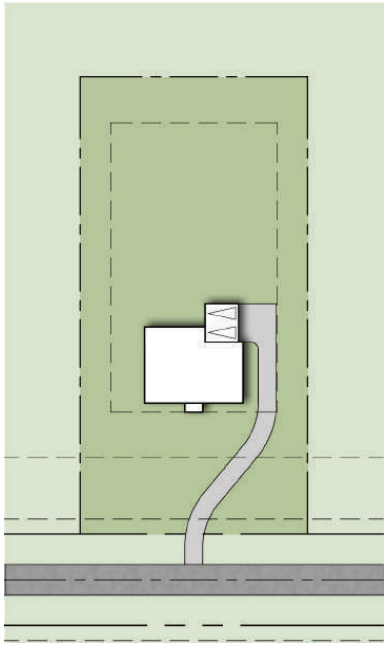
Front Load Garage Prohibited



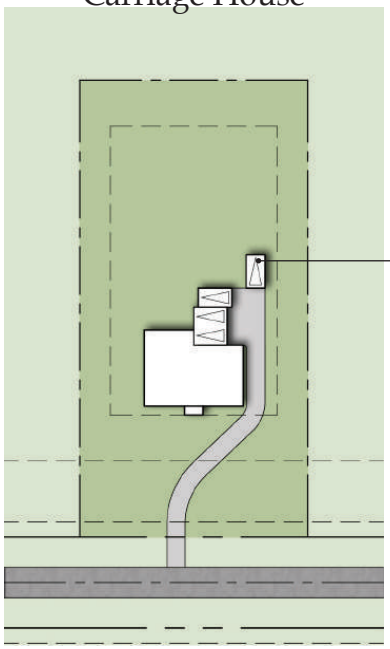
Rear Load



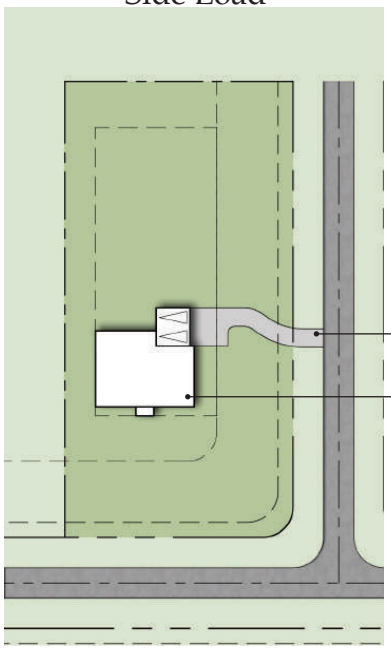
Side Load



Side Load with 4th Car Carriage House

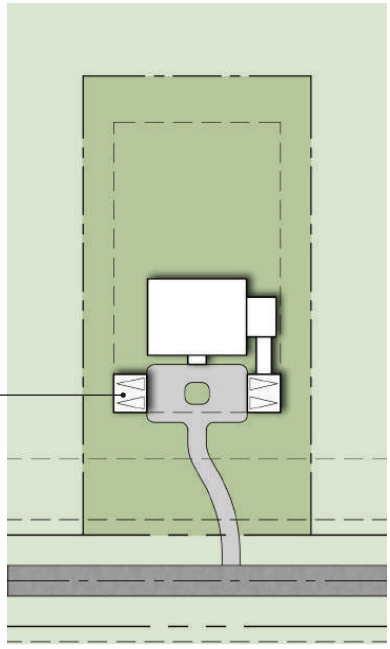


Corner Lot Side Load

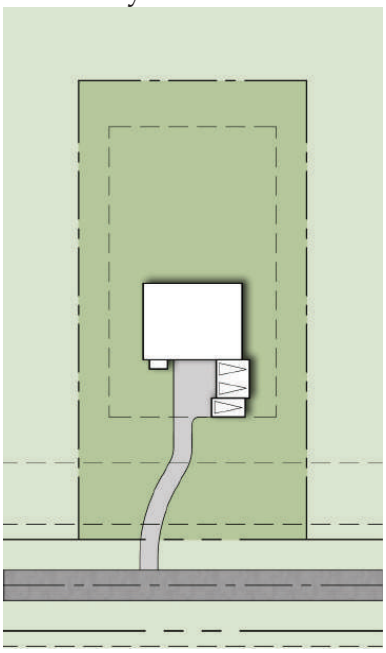


Example House & Garage Orientations

Courtyard Side Load with 3rd and 4th Car Carriage House



Courtyard Side Load



5. Single Family Architecture Requirements

All homes should follow traditional historic examples as outlined in the Darby Braeside Pattern Book. Style and character can follow historic examples without being literal duplications, applied in a Neo-traditional manner. Diversity of architectural styles is encouraged in order to provide visual interest and distinctive character throughout Darby Braeside. The following matrix outlines architectural requirements that must be incorporated into all home designs and subject to DRB approval. All four elevations should meet the same level of design, including use of water tables, trim, and materials.

	Configuration	Materials	Technique & Colors
Building Walls and Elements	• Walls must consist of natural or natural appearing materials. • Glass openings should be between 20% of the entire wall. • Siding should be traditional profiles such as 4”-8” horizontal beveled. • Brick shall be laid in a traditional masonry pattern. • Stone should be laid in a random ashlar pattern. • Brick or stone facing on the full front of home is required to also be on the side elevations or terminate at an appropriate location. • Building elements should be based on traditional historic examples. Refer to the Pattern Book. • Blank or empty side elevations are not permitted. • Exposed concrete or block foundations shall not be permitted. Visible foundations shall be finished with veneer, brick, or stone. Paint shall not be an acceptable finish. Another style appropriate material may be used with DRB approval. • Decks, patios, and exit stairs must be submitted for DRB approval, with materials noted.	• Brick shall be earth tone colors in standard sizes, see selection. • Stone shall be natural or simulated material, see selection. • Precast concrete with the appearance of traditional limestone shall be permitted. • Stucco and EIFS shall be used only in moderation and shall not be permitted on the ground level. Stucco and EIFS must be detailed to look like traditional cornices, soffits, etc. Stucco is only permitted as a primary building material on Italianate style homes and requires DRB approval. • Siding shall be wood or simulated wood (vinyl and aluminum siding shall be prohibited). See selection. • Columns, cornices, and similar elements should be of natural materials or simulated natural materials, such as wood, brick or stone. See selection.	• Brick may have the appearance of painted or “washed” if in context with the architectural theme being portrayed and only in limited situations. • Wall colors should be appropriate to the architectural style of the home. Diversity of color is encouraged throughout the development. High chroma, bright colors should be avoided. • Homes with brick or stone on the front elevation shall include a matching brick or stone plinth on side elevations with a minimum height of 24 inches. • Exposed PVC, such as for vents, utility service, etc., is required to be located on the rear elevation or the rear half of a side elevation and be painted to match the color of adjacent materials and finishes.

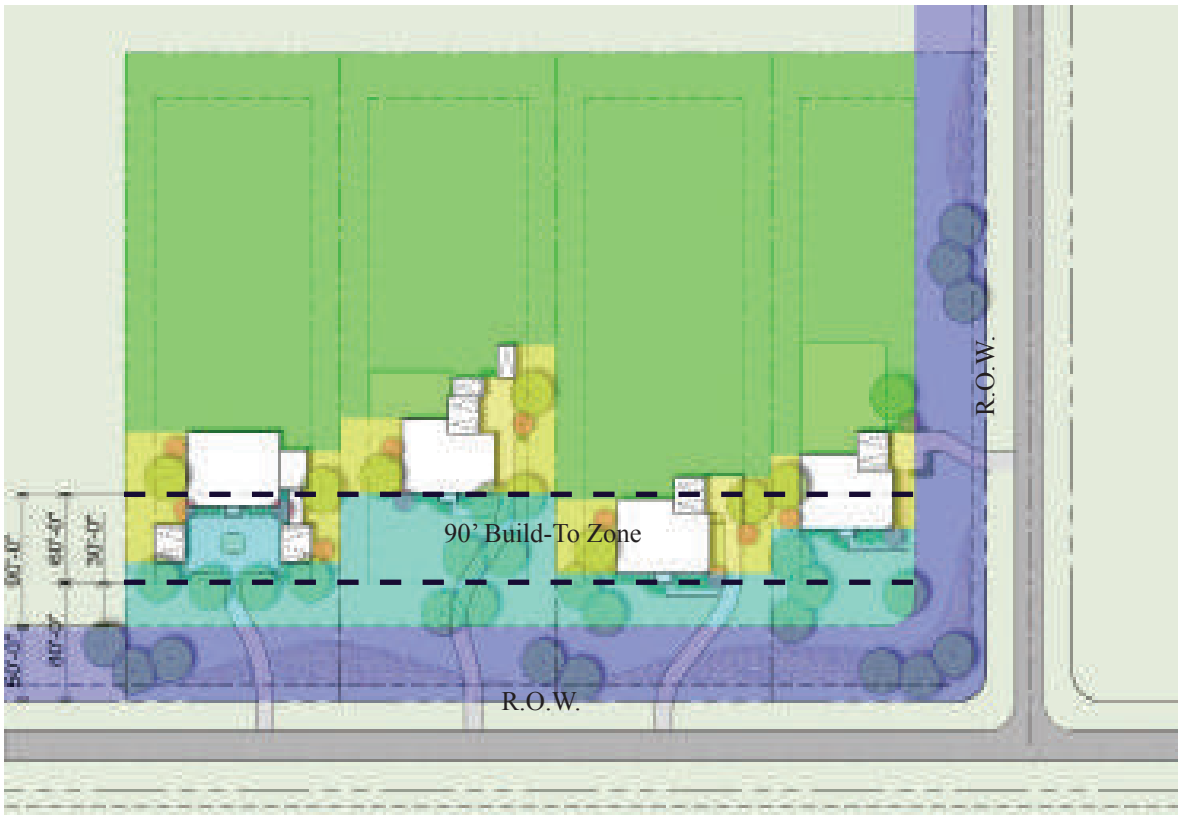
	Configuration	Materials	Technique & Colors
Windows, Garages & Doors	• All windows and doors are required to have trim, with the exception of facades composed of masonry. • Garages are required to be side loaded and any additional garage space above 4 cars must be provided with a detached carriage house, except courtyard where a 3 and 3 configuration is acceptable. • Style appropriate carriage doors are required on all garages. All carriage doors require glazing and style appropriate details.	• Glazing, wood trim, wood grids. Wood with aluminum or vinyl clad, or approved vinyl are acceptable. • Glass shall be clear. Windows only on garage doors or into bathrooms may be clear, frosted, tinted, or stained glass. • Front doors shall be of a style appropriate to the style of the house. • Garage doors may be natural or synthetic materials with natural appearance.	• Grids and windows shall be appropriate in style to the house. • Windows shall be consistent on all four sides
Roofs & Fireplaces	• Sloped roof are required on all homes. • Pitched roofs shall have 8″ overhangs, or as appropriate for the style of the house. • Doghouse and cantilevered chimneys shall be prohibited.	• Natural or simulated slate or tile. • Dimensional shingles (40-50 year). • Wood shakes • Copper. • Single-ply membrane roofs allowed when hidden from public view. • Painted metal	• Use of cornice lines are encouraged. • Bright colored roofs are not allowed.
Lighting	• All lighting is to be directed downward. • Sconce lights shall not be mounted higher than 7′ above finished floor elevation. • Porch light fixtures shall not be mounted higher than 12′ above finished floor elevation. • Lamp posts shall be located within 20′ of the house and shall not encroach into sideyard setbacks • Site lighting shall be downlights and full cut-off. Spotlights and floodlights shall be attached to the house. Uplights shall be prohibited. • Landscape uplighting may be permitted with DRB approval.	• Antiqued and painted materials including brass, steel, aluminum and copper are acceptable. • Fixtures with exposed bulbs are not permitted.	• Lighting should display a uniform, comfortable and warm appearance.

C. Single Family Lot Landscape Design Standards

1. Residential Neighborhood Landscape Standards

Design Intent: Purpose and design intent of this subchapter is to outline design quality parameters for the residential sub areas throughout Darby Braeside, as well as promote the preservation and replacement of trees removed through development. These guidelines are provided as recommendations for various site conditions and design elements. The following matrix identifies the specific minimum site design and landscaping requirements. All site layouts and planting plans and shall be subject to design review and approval by the DRB prior to any site work or installation. Landscape plans must be submitted indicating landscaping for the entire lot, including required landscaping, utility screening, and intended outdoor living areas such as patios or decks and play equipment. All side entry garages must be screened from adjacent lots. The landscape plans exclusive of seed/sod, and irrigation systems should cost a minimum of $10,000.

2. Single Family Lot Zone Diagram



Street Zone is the 50 foot setback from street right-of-way that is reserved for street trees and meadow grasses that help to develop the character of the community and will be designed, installed, and maintained by the developer or Home Owners Association. Areas defined as mowed turf shall be maintained by the lot owner.

Front Yard Zone is the area between the 50 foot setback line of the Street Zone to the front line of the primary structures. See Landscape Requirements 2 a. Foundation Planting, 2 c. Additional Foundation Planting and 4. Trees.

Side Yard Zone is the area between the front and rear corner of the primary structures to the side lot lines. See Landscape Requirements 2 b. Secondary Foundation Planting, 2 c. Additional Foundation Planting and 4. Trees.

Rear Yard Zone is the area between the rear line of the primary structures to the rear lot line.

Build-To Zone is the 90 foot area, 80 to 140 feet from the street right of way, designated for placement of the front building lines and can vary within this range.

3. Single Family Lot Development Matrix

Landscape Requirements	Main Drive Lots	Cul de sac Lots	Creek Side Lots
1. Lot Entries			
a. Driveways	Driveways shall not exceed sixteen feet in width (excluding auto-courts).Drive-way gates, piers, and lights shall be prohibited within any front or side yard setback.		
b. Auto-courts	Auto-courts of side-loaded garages shall be screened from the street and from adjoining lots with a 4 foot screen consisting of hedge, plantings, decorative fence, or walls complimentary with building architecture and materials.		
2. Landscaping			
a. Foundation Planting: Primary Street Frontage	• A planting bed shall be provided along the length of the entire elevation fronting a primary street, except for locations of doors and garage access and shall be a minimum depth of 6 feet at any point. • The planting beds shall have one (1) ornamental tree and a continuous, full coverage planting of shrubs at minimum size at installation. Plantings shall be a mix of small and intermediate sizes, a mix of species, and a mix of evergreen and deciduous materials. • Planting should be designed to coordinate with the architectural features of the adjoining building elevations.		
b. Secondary Foundation Planting: Corner lots, secondary street frontage, or other side elevations with exposed views (per DRB) *The landscape plan must be approved by the DBR.*	• A planting bed shall be provided along the length of the entire elevation fronting a secondary street, except for locations of doors and garage access and shall be a minimum depth of 3 feet at any point. • The planting beds shall be a continuous, full coverage planting of shrubs at minimum size at installation. Plantings shall be a mix of small and intermediate sizes, a mix of species, and a mix of evergreen and deciduous materials. • Planting should be designed to coordinate with the architectural features of the adjoining building elevations. • Corner lots, lots adjoining common open space, and lots that terminate streets or prominent vistas will be held to a higher standard of design and may be required to provide additional landscaping to meet DRB approval.		

Landscape Requirements	Main Drive Lots	Cul de sac Lots	Creek Side Lots
c. Foundation Planting: Minimum Plant Quantities	The Landscape Plan must be approved by the DRB.		
d. Foundation Planting: Additional Plant Qualities	The Landscape Plan must be approved by the DRB.		
3. Tree Preservation and Replacement	The Landscape Plan must be approved by the DRB.		
4. Trees	• Front Yard Zone: Trees may be arranged along the driveway or in clumps with in the Front Yard Zone. • 30 feet from Street Zone-2 shade trees (min.) • 31-59 feet from Street Zone-4 shade trees (min.) • 60-90 feet from Street Zone-6 shade trees (min.) • Side Yard Zone: One shade tree and one ornamental tree is required in the Side Yard Zone per side elevation. Trees should be arranged to break up the building elevations or to correspond with building architecture.		

Landscape Requirements	Main Drive Lots	Cul de sac Lots	Creek Side Lots

5. Plant Material Specifications at installation	• Deciduous shade trees: 2.5 inch caliper
	• Ornamental Trees: 1.5 inch caliper (if multi-stem: 6′ tall)
	• Small Shrubs (Plants that mature to a height of up to 36 inches)
	  • 18 inches minimum height
	• Intermediate Shrubs (Plants shall mature to a height of 36 inches to 7 ft)
	  • 24 inches Minimum Height.
	• All front-yard trees shall be selected from the approved plant list.
	• All plants shall meet or exceed the standards defined in ANSI Z60.1: American Standards for Nursery Stock.		

6. Lawn	For all lots, lawn may be seed or sod. Some lots will be required to have meadow grasses, to a varying degree, to the front of the house, in the Street Zone, these areas can be identified on the master plan.		
7. Service Screening	• All utility meters, air conditioning equipment, exhaust pipes, valve covers, irrigation equipment, other service structures, and architectural bump-outs shall be located to the side or rear of the building and shall be screened from view from any street. • Screen materials may include evergreen shrubs, a mix of evergreen and deciduous shrubs, decorative fences, or walls. • All materials shall be consistent with the home's architecture and landscaping and shall reach a mature height that at minimum matches the height of the item being screened. • Exposed PVC vents, pipes, and risers shall be painted to blend with architecture. Utilities permitted within front yards with DRB approval shall be screened.		
8. Mailbox	Mailbox, post, and address numbers and name plates shall be of a standard style specified by the master developer.		
9. Recreational Facilities	e.g. pools, tennis courts and basketball courts, must be located at the rear of the house and require DRB approval. All ancillary structures require DRB approval.		
10. LP6 Fuel Tanks	All LP6 fuel tanks are to be buried.		
11. Satellite Dishes	All satellite dishes are limited to 2/lot and are to be hidden from the street.		

Fencing

1) Permitted fencing:

a) Open fences: A fence constructed for its functional, ornamental or decorative effect and, when viewed at right angles, having not less than 50 percent of its vertical surface area open to light and air. See Detail for examples.

i) Open or partially open, (ornamental or decorative) fences shall be permitted and shall be no greater than four feet in height above the established grade, unless otherwise permitted herein. The partially open or open fence may be located only within the buildable area of the lot. These fences may be used to enclose the entire perimeter of the rear yard.

ii) Partially open or open accent fences may be located within the buildable area forward of the primary structure if limited to four feet in height and designed to only partially enclose an area.

iii) Wire mesh fencing may be permitted when permanently fastened to the inside of a permitted open or partially open fence, with DRB approval.

iv) Pool fencing shall be ornamental and the appearance and shall meet the approval of the DRB. Height and design parameters shall otherwise be governed by applicable state and local laws or health department regulations.

v) Open fences include 2, 3, and 4 rail fence, split rail fence, accent fence, and wrought iron fence.

vi) Partially open fences include picket fence, arbor fence, and trellis fence.

b) Solid fences: A fence designed to inhibit public view and provide seclusion and, when viewed at right angles, having more than 50% of its vertical surface area closed to light and air. See Detail for examples.

i) Solid fences shall be permitted only in rear yards and shall be no greater than four feet in height, unless otherwise permitted herein, and shall not be used to enclose the entire perimeter of the property.

ii) Such fences shall be located within the buildable area of the lot and only be used to enclose a deck or patio.

iii) Solid fences shall not be located within a required side and rear yard and design and appearance must be approved by the DRB.

iv) Solid fences include board on board fence, alternating board on board fence, louver fence, ventilating fence, solid picket fence, stockade fence, palisade fence, and wall, stone or brick.

2) A maximum of 20% of the lot may be fenced.

3) Prohibited fencing

a) Chainlink,

b) Electrified, barbed wire, razor wire, and stockade fences.

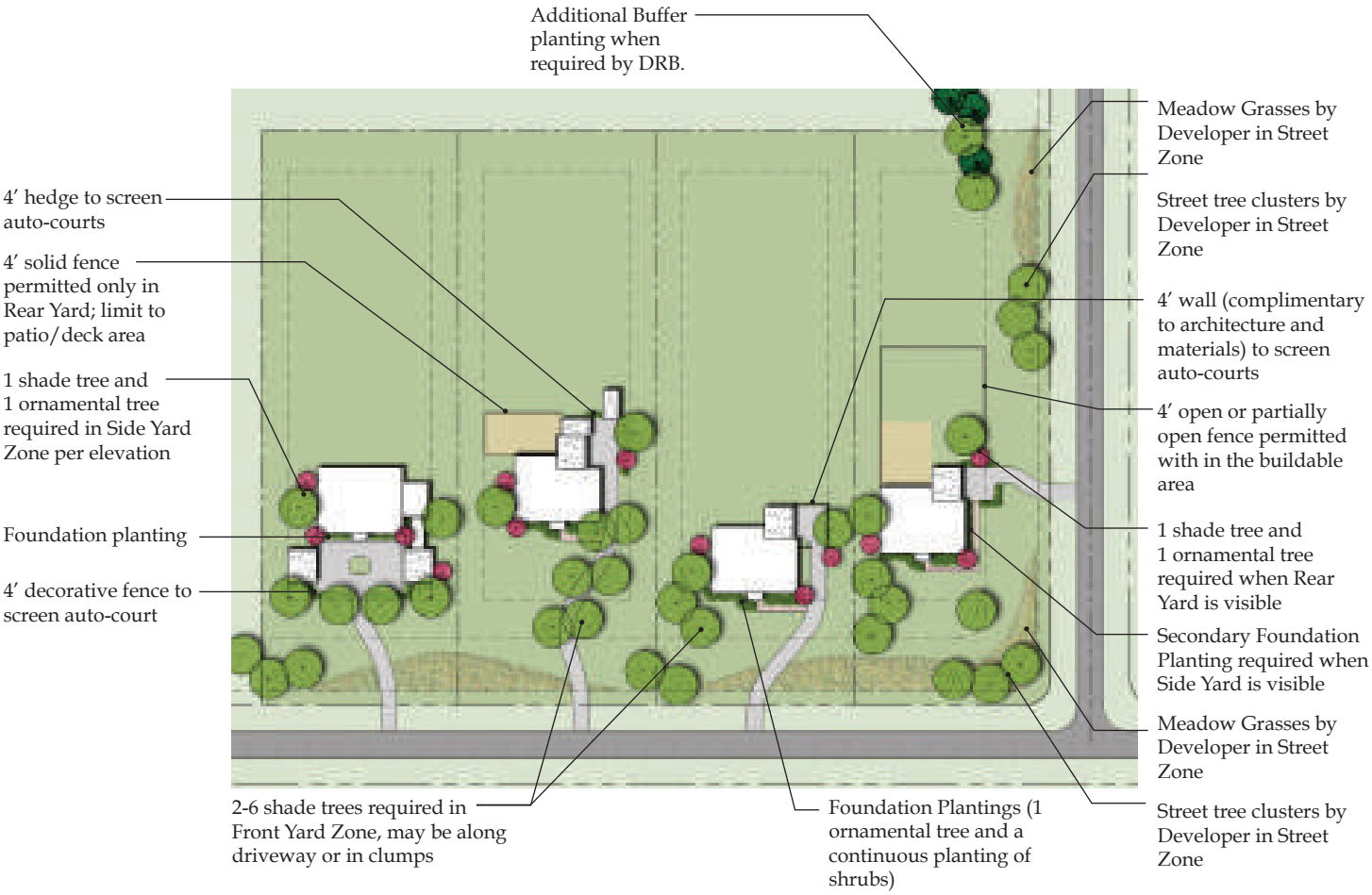
c) Vinyl clad, plastic or pvc (polyvinylchloride) fences.

4) Other fencing:

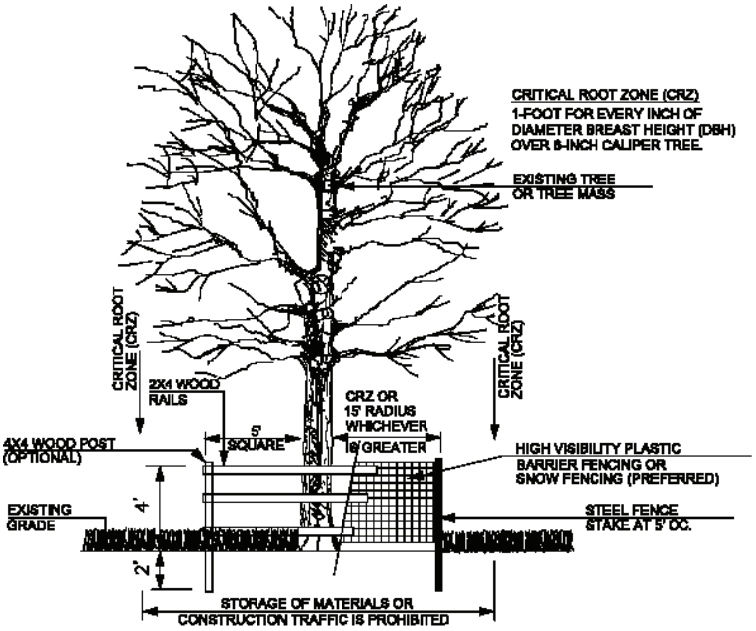
a) The DRB may permit other fences similar in character and design to one or more of the permitted fences herein, upon application.

5) The use of landscape buffers using mixed plant material is encouraged where screening is desired.

4. Single Family Lot Landscape Design Diagram

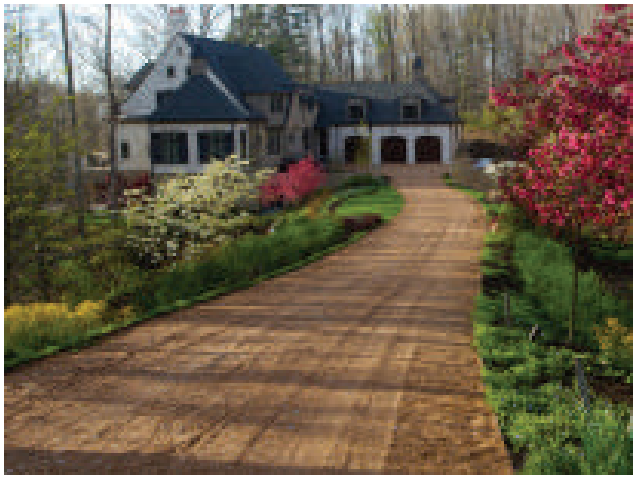


5. Details



a. Tree Protection Detail

6. Reference Images



Plant List: Front Yard Shade Trees	
Botanical Name	**Common Name**
Acer platanoides	Norway Maple
Acer rubrum	Red Maple
Acer saccharum	Sugar Maple
Acer x freemanii	Freeman Maple (various cultivars)
Betula nigra 'Heritage'	Heritage River Birch
Carpinus betulus	European Hornbeam
Carpinus caroliniana	American Hornbeam
Carya ovata	Shagbark Hickory
Corylus colurna	Turkish Filbert
Fagus grandiflora	American Beech
Fagus sylvatica	European Beech
Ginkgo biloba	Ginko
Gleditsia triacanthos var. inermis	Thornless Honeylocust
Gymnocladus dioica	Kentucky Coffeetree
Liquidambar styraciflua	Sweetgum
Lirodendron tulipifera	Tuliptree
Nyssa sylvatica	Blackgum
Quercus alba	White Oak
Quercus palustris	Pin Oak
Quercus rubra	Red Oak
Quercus shumardii	Shumard Oak
Ulmus x (various improved varieties)	Elm
Zelkova serrata	Zelkova

Plant List: Ornamental Trees

Botanical Name	Common Name
Acer ginnala	Amur Maple
Acer grisseum	Paperbark Maple
Acer palmatum	Japanese Maple
Acer tataricum	Tatarian Maple
Amelanchier laevis	Alleghany Serviceberry
Amelanchier x grandiflora	Apple Serviceberry
Betula nigra 'Fox Valley'	Fox Valley River Birch
Cercis canadensis	Redbud
Cornus alternifolia	Pagoda Dogwood
Cornus kousa chinensis	Chinese Dogwood
Cornus mas	Cornelian Cherry
Crataegus (various)	Hawthorn
Halesia carolina	Carolina Silverbell
Magnolia virginana	Sweetbay Magnolia
Malus (various)	Flowering Crabapple
Prunus (various)	Flowering Cherry / Plum
Quercus glandulifera	Konara Oak
Sassafras albidum	Sassafras
Syringa reticulata	Japanese Tree Lilac

Notes: Each species of plant has unique growth characteristics. Likewise, each species of plant has varying needs for particular site conditions. Plants from this list should be matched to appropriate locations, considering the unique conditions of each site, including soil characteristics, drainage, micro climate and seasonal changes, maintenance availability. Plants should be scrutinized for ultimate size, growth rate, and need for maintenance, so as not to over-grow their intended locations. No plant stops growing once it reaches it's "mature" size. It is recommended that a horticulturist and/or a landscape architect be consulted when choosing landscape materials and locations.

Jerome Township
Union County, Ohio

9777 Industrial Parkway
Plain City, Ohio 43064
Office (614) 873-4480
Fax (614) 873-8664

Jerome Township Zoning Office

December 6, 2017

Bradley J. Bodenmiller
LUC Regional Planning Commission
10820 State Route 347, PO Box 219
East Liberty, Ohio 43319

RE.: Darby Braeside – Amended Preliminary Plat Phases 2-4

Dear Brad,

I have reviewed the Amended Preliminary Plat for Darby Braeside Phases 2-4, as sent to our office on November 27, 2017. Upon review, the Amended Preliminary Plat as filed seems to comply with the layout of the proposed units as proposed for this section. Our review is limited solely to the issues relating to compliance with zoning, such as the proposed lot count, lot sizes, setbacks, open space percentages, etc. As such the **zoning office has no major concerns** with the Final Plat as filed. As always, the townships review is limited strictly to zoning related items and does not cover technical related issues such as traffic, access, or site engineering. Please feel free to contact me at your convenience with any questions you may have regarding this review or the pending Amended Preliminary Plat Approval.

Based upon this review **our office has no comments** regarding the plat and would raise no issues in regards to its pending approval.

If you have any questions or comments in regards to this matter please feel free to contact me at your earliest convenience.

Respectfully,

Mark Spagnuolo
Jerome Township Zoning Officer

940 London Ave
Suite 1100
Marysville, Ohio 43040

Administration
Environmental Health
Health Education
Phone: (937) 642-2053
Fax: (937) 645-3047

Nursing
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Web Address
www.uchd.net

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Dr. Jason E. Orcena

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Mr. Mark Smith

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An equal opportunity employer/ provider

UNION COUNTY OHIO
grow with us.

UNION COUNTY
HEALTH DEPARTMENT

Preliminary Plan Checklist
RPC Subdivisions

Date: **December 5, 2017**
Applicant: **Wayne Ballentyne**
RPC Number:

Legend:
__X__=OK
__N__=Not Applicable
__I__=Incomplete

Subdivision Name: Darby Braeside – Amended Preliminary Plat

The Preliminary Development Plan shall include:

__I__ 1. Total land area to be used
__I__ 2. Location and size of all lots, including any residual acreage
__X__ 3. Reference scale: ex. 1" = 50'
__X__ 4. North arrow
__ X__5. Location of all bodies of water, streams, ditches, sewers, drain tiles, existing and proposed potable water supply sources and lines on this or adjacent lots within 50 feet of the proposed subdivision, or any other information that may affect the installation or operation of household sewage treatment systems (STS) or the enforcement of rules 3701-29-01 to 3701-29-21 of the Ohio Sanitary Code
__X__ 6. Distance from nearest intersection and or existing address
__X__7. Existing and potential building locations
__ X__ 8. Existing and final Grade of all lots
__X __ 9. Flood plain delineated
__X__ 10. Driveway shown, Not across STS areas
__X__11. Existing/Proposed easements shown (drainageways, storm, utilities, etc.)
__X__12. Sanitary/Drainage/Collector tile easement shown
__X__13. Soil scientist report-indicating properties and characteristics of the soils in this subdivision, including but not limited to water table,

bedrock, and dense glacial till (test hole locations shown with test hole numbers)

_N_ 14. Soil delineation per soil survey

__X_ 15. Areas for STS are in suitable soil

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__X_ 17. Plan views of primary and secondary STS

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Additional comments

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Please feel free to contact our office if you wish to set up an appointment to review these lots in more detail.

Thank you,

J.R. R.S.

Jim Cogar R.S.
Deputy Director
Environmental Health
Union County Health Department

Cc: File

Re: Distribution Letter for Darby Braeside - Amended Preliminary Plat

Jim Cogar <jim.cogar@uchd.net>

Tue 12/5/2017 3:51 PM

To:Brad Bodenmiller <bradbodenmiller@lucplanning.com>;

Hi Brad,

I've spoken with my boss and we both agreed that the Board of Health (BOH) approval of this amended preliminary plat is not necessary. The BOH is obviously familiar with this subdivision having already approved the use of private septic and water systems. I've been in communication with Randy Vantilburg and Wayne Ballantyne recently and plan on sending my comments to Randy by the end of the week; we al ready discussed several types of revisions needed over the phone. I also plan to have comments to you by tomorrow.

Thank you for the email and feel free to contact me if you have any questions.

Thanks again,

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Deputy Director
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940 London Ave. Suite 1100
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Cc: 'Jerometownship' <jerometownship@aol.com>; 'Anita Nicol' <jeromezclerk@aol.com>; 'Mark Spagnuolo' <mark.jtzo@icloud.com>; Dave Gulden <davegulden@lucplanning.com>; 'wleimeister@plain-city.com' <wleimeister@plain-city.com>; 'csp@centurylink.net' <csp@centurylink.net>
Subject: Distribution Letter for Darby Braeside - Amended Preliminary Plat

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I attached a copy of the Distribution Letter generated for Darby Braeside - Amended Preliminary Plat. Please note the meeting dates and call with any questions.

I plan to contact Randy VanTilburg to discuss the application during during the next few weeks.

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RE: Distribution Letter for Darby Braeside - Amended Preliminary Plat

Jim Cogar <jim.cogar@uchd.net>

Wed 12/6/2017 4:58 PM

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To:Brad Bodenmiller <bradbodenmiller@lucplanning.com>;

Hi Brad,

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Apologies in advance for my confusion.

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Sent: Wednesday, December 6, 2017 3:18 PM
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Subject: Re: Distribution Letter for Darby Braeside - Amended Preliminary Plat

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grow with us.

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HEALTH DEPARTMENT

Preliminary Plan Checklist
RPC Subdivisions

Date: **December 5, 2017**
Applicant: **Wayne Ballentyne**
RPC Number:

Legend:
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Subdivision Name: Darby Braeside – Amended Preliminary Plat

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Cc: File

Re: Distribution Letter for Darby Braeside - Amended Preliminary Plat

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Marysville, Ohio 43040
P 937. 645. 3018
F 937. 645. 3161
www.co.union.oh.us/engineer

Marysville Operations Facility
16400 County Home Road
Marysville, Ohio 43040
P 937. 645. 3017
F 937. 645. 3111

Richwood Outpost
190 Beatty Avenue
Richwood, Ohio 43344

***Public Service** with integrity*

December 6, 2017

Bradley Bodenmiller
LUC Regional Planning Commission
Box 219
East Liberty, Ohio 43319

Re: Darby Braeside – Amended Preliminary Plat Review

Brad,

We have completed our review for the above preliminary plat, received by our office on November 27, 2017. We recommend it be approved with the below modifications and recommendations. Items listed below should be addressed in the final construction drawings, or resolved as indicated.

1. Verification of an adequate outlet will be required for the retention basin in Reserve "C".
2. Roadway frontage for access to the retention basin in Reserve "B" will need to constructed with the initial phase in order to provide acceptable access to the retention basin.
3. Further information will be required regarding ownership and maintenance activities permitted within Reserves "A" and "D". Reserve "D" encompasses Big Darby Creek, and adequate riparian setbacks need to be provided to restrict activity within and adjacent to this scenic river, per OEPA and Army Corps of Engineer requirements.

In accordance with the Subdivision Regulations of Union County, additional information is required from the developer prior to final plat approvals, including but not limited to final construction documents. It is the responsibility of the developer to become familiar with the regulations and file requisite information within the time frames outlined in the regulations. Should you have any questions or concerns, feel free to contact me at (937) 645-3165.

Bill Narducci

Bill Narducci, P.E.
Assistant County Engineer
Union County Engineer

Cc: Luke Sutton, Union County Engineer's Office (via email)
Jeremy Burrey, Union Soil and Water Conservation District (via email)

Union Rural Electric

15461 US Route 36 • PO Box 393 • Marysville, OH 43040-0393
(937) 642-1826 • (800) 642-1826 • Fax (937) 644-4239
www.ure.com
Your Touchstone Energy® Cooperative

December 6, 2017

Bradley Bodenmiller
LUC Regional Planning Commission
10820 SR 347
East Liberty, OH 43319

RE: UREC comments for Darby Braeside Amended Preliminary Plat

Brad,

Union Rural Electric Cooperative, Inc. has reviewed and noted comments per paper and PDF drawings received 11/27/17.

I. Drawing set of 3 sheets issued Preliminary Plats for Darby Braeside Phases 2-4. Surveyor Date: November 22, 2017:

1) Sheet 1 of 3
   a) Request utility easement language.
   b) URE require continuous easements for looping development facilities.
   c) URE electric services to be from front or side lot.
   d) URE easement requirements are 20 feet for underground primary and secondary facilities. Actual location of electrical facilities on lots can be located within a 10 feet easement if adjacent property has additional easements or right of way for ingress and egress totaling a minimum of 20 feet.
   e) Noted discrepancy between number of lots noted as 40 and number of lots counted at 41.
   f) Unable to determine which lots are assigned to the different phases.
   g) Request phase boundary lines.

2) Sheet 2 of 3
   a) Have concerns with amount of slop in the 20 feet utility easements for C1, C2, C3 and C4.
   b) Developer to install creek/stream/wetland crossing conduits (directional bore if applicable) 10 feet beyond creek/stream/wetland protection easements. Including bridge area.
   h) Request phase boundary lines.
   i) URE to work with developer Engineering firm to establish offset easements between lots for primary or secondary facilities.

3) Sheet 3 of 3
   a) Request phase boundary lines.
   b) URE to work with developer Engineering firm to establish offset easements between lots for primary or secondary facilities.

II. Drawing set of 19 sheets issued Darby Braeside Phases 2-4 Preliminary Engineering Plan – Street, Storm and Grading Plans.

Project Date: November 7, 2017:

1) Sheet 1 of 19 – Title Sheet
   a) Phase 2 – 12 Lots – Numbers 10 through 21
   b) Phase 3 – 21 Lots – Numbers 22 through 42
   c) Phase 4 – 8 Lots – Numbers 43 through 46
   d) Total number of lots are 4.
   c) Developer to install creek/stream/wetland/flood plain crossing conduits (directional bore if applicable) 10 feet beyond creek/stream/wetland/flood plain protection easements.
      - Require 8 – 4 inch electrical gray conduits on each side of Wycliffe Drive.
2) Sheet 2 of 19 – General Notes, Quantities & Typical Sections
   a) Request clarification of gas line placement in development.
   b) Note utility conduits for electric and communication facilities at creek/stream/wetland/flood plain and street crossing locations.
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   a) No comments
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6) Sheet 13-14 of 19 – Storm Sewer Profiles
   a) Request other utility facility be noted.
7) Sheet 15 of 19 – SWPPP Details
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8) Sheet 16-19 of 19 – Septic Plan
   a) Same concerns as noted in item 5 above.
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III. UREC require development agreement be executed with the developer to establish a Contribution In Aid of Construction (CIAC) cost with payment, construction layout with survey lathe and other clarifications before UREC facilities are installed.

Please contact me with questions or concerns.

Thanks,

Ron Rockenbaugh
Manager of Engineering Services
Union Rural Electric Cooperative, Inc.
PO Box 393
15461 US Route 36
Marysville, Ohio 43040
Cell: (937) 537-0369
Direct: (937) 645-9241

THE PARTY IN CHARGE OF THE TRENCHING ALSO HAS THE FOLLOWING RESPONSIBILITIES IN ORDER TO MAINTAIN A SAFE AND EFFECTIVE UNDERGROUND CABLE INSTALLATION

1.)SCHEDULEING OF URE TRENCH / CONDUIT INSPECTION MUST BE AT LEAST 2 DAYS IN ADVANCE. FAILURE TO PROPERLY COORDINATE THIS WORK WITH URE MAY RESULT IN ADDITIONAL TRIP CHARGES(S) AND/OR ADDITIONAL EXCAVATION COSTS TO THE CUSTOMER. URE SHALL DETERMINE THE ROUTING OF THE TRENCH

2.) NOTIFY OHIO UTILITIES PROTECTION SERVICE (OUPS) 800-362-2764 AT LEAST TWO WORKING DAYS PRIOR TO TRENCHING. THIS ALLOWS TIME TO LOCATE EXISTING UNDERGROUND FACILITIES.

3.) ENTIRE TRENCH ROUTE MUST BE AT LEAST 36 INCHES MINIMUM DEPTH.

4). CLEARING OF ALL DEBRIS AND STONE FROM THE OPEN TRENCH.

5.) REPAIRING OR RETRENCHING CAVE-INS ETC. AS REQUIRED BY URE

6.) IF DITCH IS NOT ADEQUATE WHEN A LINE CREW ARRIVES, A TRIP CHARGE ACCORDING TO THE COOPERATIVE'S TERMS AND CONDITIONS FOR SUPPLYING ELECTRIC SERVICE WILL BE ASSESSED.

7.) THE PROPERTY OWNER/EXCIVATOR HAS FULL RESPONSIBILITY FOR REPAIRING CUT/DAMAGED DRAIN TILE OR ANY UNDERGROUND FACILITIES SUCH AS WATER LINES, LEACH BEDS, ELECTRICAL LINES, ETC.

8.) HAND DIG AREAS WHICH ARE WITHIN 2' OF URE OWNED EQUIPMENT.

9.) CALL (937) 642-18-26 OR (800) 642-1826 FOR ADDITIONAL INFORMATION AS NECESSARY.

10) CONDUIT TO HAVE A MINIMUM PITCH OF 1 INCH PER 10 FEET.

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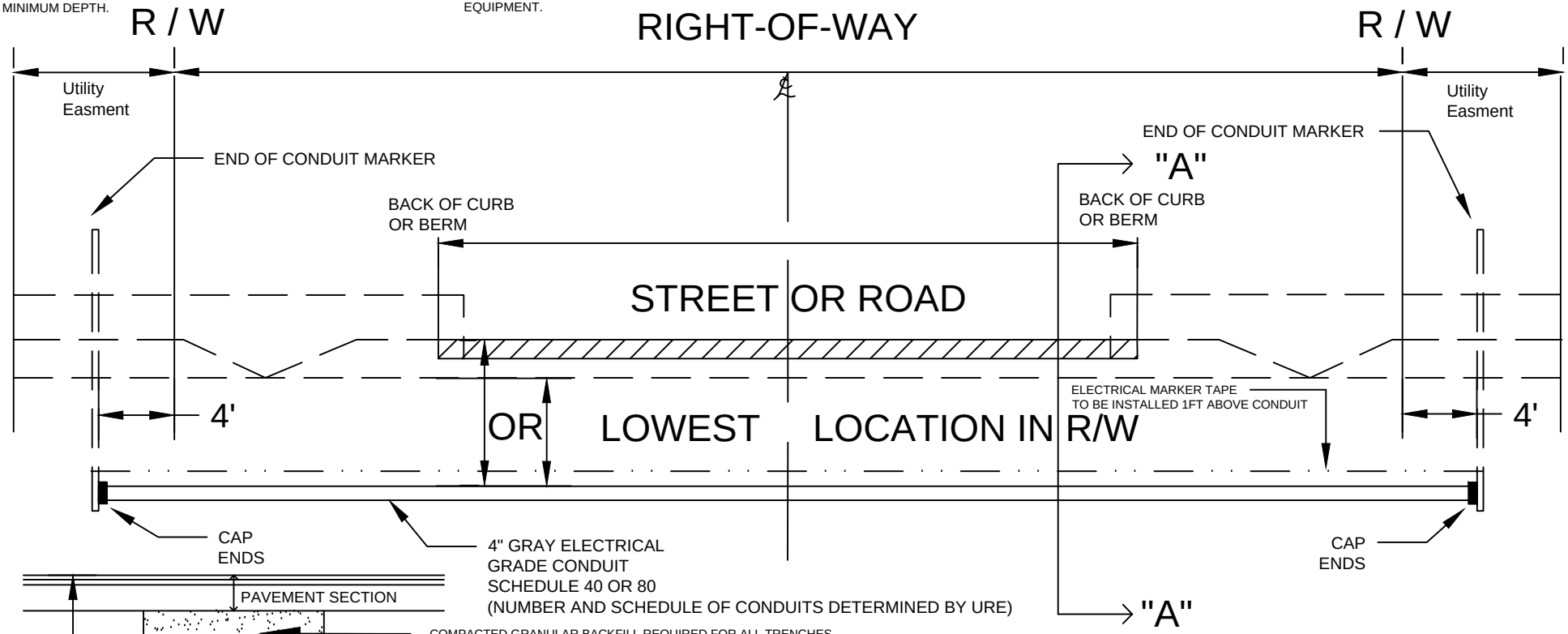
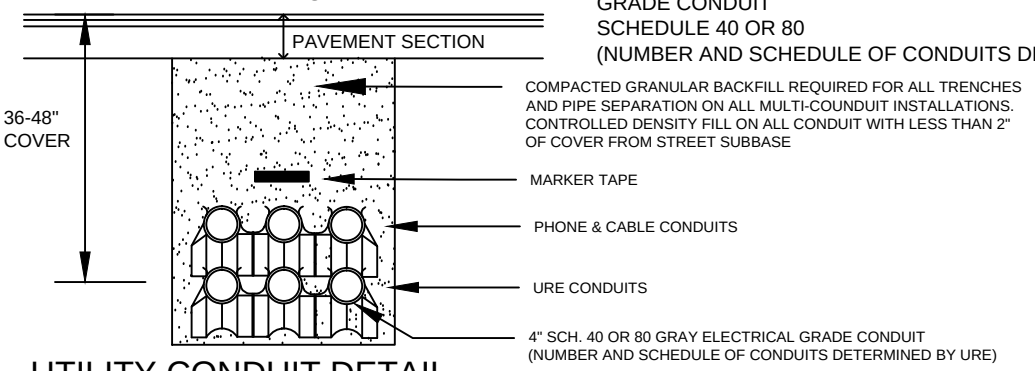


SECTION "A"-"A"



UTILITY CONDUIT DETAIL

NOT TO SCALE

SECTION "A"-"A"

URE Your Touchstone Energy Cooperative

ROAD OR STREET CROSSING TYPICAL

JULY 2014

Union Rural Electric

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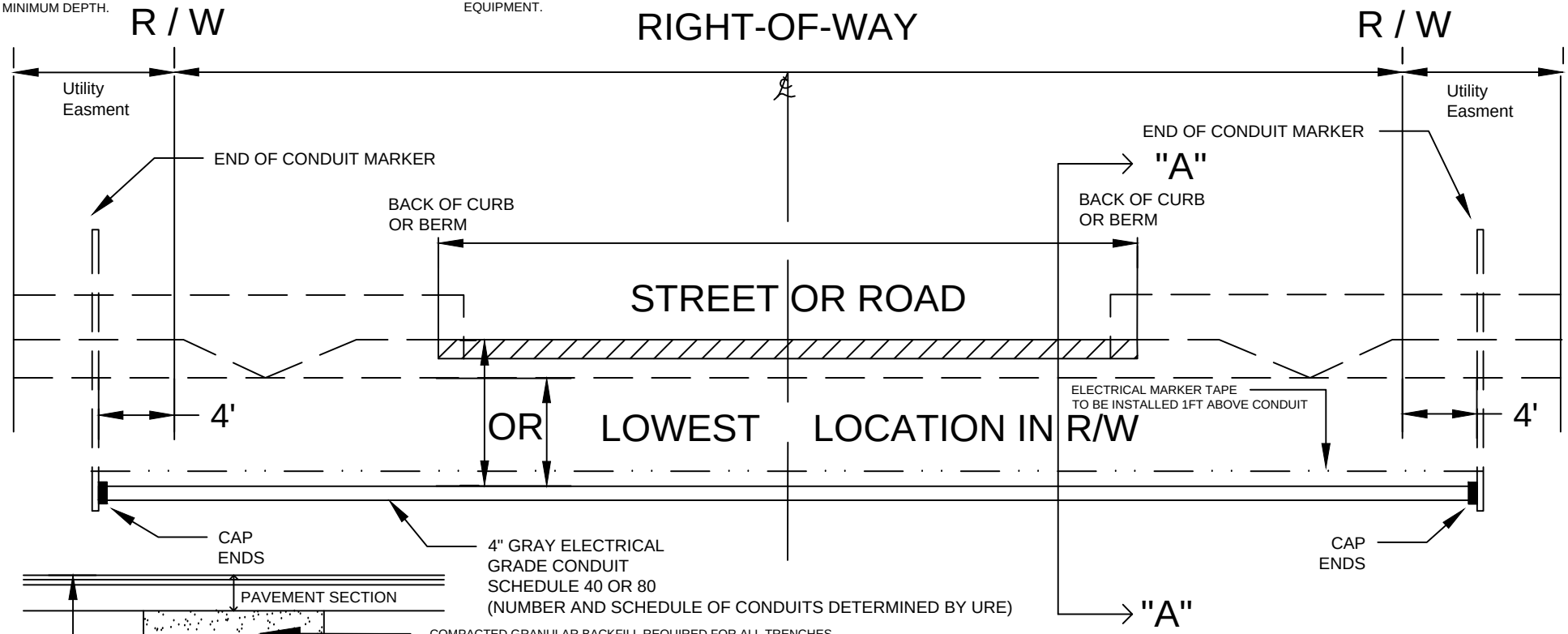

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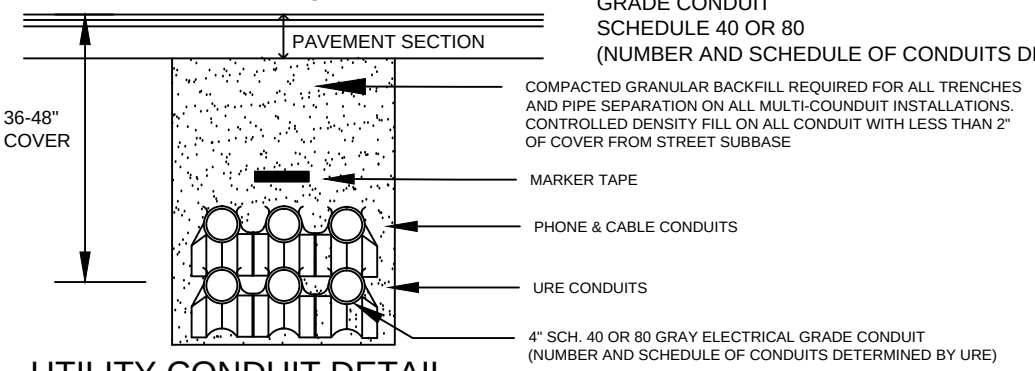

UTILITY CONDUIT DETAIL

NOT TO SCALE

SECTION "A"-"A"

URE Your Touchstone Energy Cooperative

ROAD OR STREET CROSSING TYPICAL

JULY 2014

Staff Report – ERN-1 Phase 2

Applicant:	**Jerome Village Company, LLC** c/o Gary Nuss 375 North Front Street, Suite 200 Columbus, OH 43215 nussg@nationwide.com **Terrain Evolution, Inc.** c/o Justin Wollenberg PE 720 East Broad Street, Suite 203 Columbus, OH 43215 jwollenberg@terrainevolution.com
Request:	Approval of Eversole Run Neighborhood, Section 1, Phase 2 – Final Plat.
Location:	Located north of Wells Road and southwest of the proposed Hyland-Croy Road and Ravenhill Parkway in Jerome Township, Union County.

Staff Analysis:	This Final Plat involves 25.9 acres of land and proposes 46 single-family residential lots. Acreages: ○ 3.690 acres in right-of-way ○ 11.208 acres in lots ○ 11.002 acres in open space Proposed utilities: ○ City of Marysville public water service ○ Eversole Run Sewer District collection and City of Marysville public treatment Preliminary Plat: ○ The Preliminary Plat was approved in August 2017. At that time, it was called Eversole Run Neighborhood, Section 1 (North). • **Union County Engineer's Office** ○ The Engineer's Office submitted comments in a letter dated 12-06-17. The Engineer's Office did not recommend approval, but felt its comments could be addressed by the 12-14-17 LUC meetings. The Engineer's Office reported that the Construction

	Drawings were approved and a performance bond is pending a decision by the Prosecutor's Office and Commissioners. 1. The Engineer's Office provided technical comments for the applicant to address. • **Union County Soil & Water Conservation District** o No comments received as of 12-06-17. • **Union County Health Department** o No comments received as of 12-06-17. Standard comments from the Health Department are below: 1. "All efforts should be made to provide a point of connection (via easements and/or service lines) to both water and sewer to any adjacent home, business, or any other facility that is serviced by a private water system (PWS) and/or sewage treatment system (SWS)." 2. Any home, business, or other structure that is currently being serviced by a private sewage treatment system (STS) and ends up being situated within 200' of a sanitary sewer easement, shall be brought to the attention of the Union County Health Department." 3. "If at any at time during development of the subdivision a private water system (PWS) (well, cistern, etc.) or sewage treatment system (STS) is found, our office shall be immediately contacted for inspection. Proper permitting must be obtained for sealing and/or abandonment of a private water system (PWS) and sewage treatment system (STS)." • **City of Marysville** o In an email dated 12-05-17, the City advised it did not have any comments. • **Jerome Township** o The Township submitted comments in a letter dated 12-06-17. The zoning office advised it had no objections regarding the plat and raised no issues in regards to its pending approval. • **ODOT District 6** o No comments received as of 12-06-17.

	• **Union Rural Electric**
	  o URE submitted several comments in a letter dated 12-06-17.
	  1. The comments relate to URE easement requirements. Please refer to letter from URE.
	• **LUC Regional Planning Commission**
	  1. Sheet 1: Under signatures, the Health Department signature should read "approved", not "reviewed" (Article 8).
	  2. A letter from the County Engineer verifying all required improvements have been installed and approved by the proper officials or agencies, or verifying a bond or other surety, approved by the County Commissioners and their legal counsel, has been furnished assuring installation of the required improvements" (§324, 2.; §326; §330).

Staff Recommendations:	Staff recommends ***DENIAL*** of Eversole Run Neighborhood, Section 1, Phase 2 – Final Plat. Although the minor technical items included in this staff report could be incorporated into the Final Plat Mylar for the 12-14-17 LUC meetings, confirmation of approval of the outstanding bond or other surety is required (§324, 2.; §326; §330) before staff is comfortable recommending otherwise.

Z&S Committee Recommendations:	

Logan-Union-Champaign
regional planning commission

Director: Dave Gulden, AICP

Application for Final Plat Approval

Date: November 21, 2017

Name of Subdivision: Eversole Run Neighborhood
Section/Phase: Section 1, Phase 2 Block
Location: Union County - North of Wells Road, West of Hyland Croy Road
Township: Jerome Military Survey: 2991 & 3005
Complete Parcel(s) Identification Number (PIN): 1700120130010, 1700120121000, 1700100201000, 1700100200000, 1700100190000

Has a Preliminary Plat been approved for this subdivision?: Yes x No ____ Date: 8/10/2017

Name of Applicant: Jerome Village Company, LLC - Attn: Gary Nuss
Address: 375 North Front Street, Suite 200
City: Columbus State: Ohio Zip: 43215
Phone: 614.857.2334 Fax: 614.857.2346 Email: nussg@nationwide.com

Name of Owner of property to be subdivided: Same as Applicant
Address:
City: State: Zip:
Phone: Fax: Email:

Name of Applicant's Surveyor or Engineer: Engineer - Terrain Evolution, Inc. - Attn: Justin Wollenberg, PE
Address: 720 East Broad Street, Suite 203
City: Columbus State: Ohio Zip: 43215
Phone: 614.385.1092 Fax: 614.385.1085 Email: jwollenberg@terrainevolution.com

Proposed Acreage to be Subdivided: 25.900

Current Zoning Classification: PUD

Proposed Zoning Changes: N/A

Proposed Land Use: Single Family Residential

Development Characteristics
Acreage w/in Approved Preliminary Plat: 73.460 Acres

Acreage w/in Section and/or Block: 25.900 Acres

Number of **APPROVED** lots from Preliminary Plat 116

9676 E. Foundry St, PO Box 219
East Liberty, Ohio 43319
• Phone: 937-666-3431 • Fax: 937-666-6203
• Email: luc-rpc@lucplanning.com • Web: www.lucplanning.com

Logan-Union-Champaign
regional planning commission

Director: Dave Gulden, AICP

Number of Lots **PROPOSED** w/in this Section: 46

Number of **APPROVED** units from Preliminary Plat: 116

Number of Units **PROPOSED** w/in this Section: 46

Typical Lot Width: 70/80/90 Feet Typical Lot Area: 8,400/9,600/11,700

Single Family Units: _____ Sq. ft Multi-Family Units: _____

Acreage to be devoted to recreation, parks or open space: 11.002

Recreation facilities to be provided: no

Approved method of Supplying Water Service: City of Marysville, Ohio

Approved method of Sanitary Waste Disposal: Eversole Run Sewer District

Were any Requests for Variance(s) from the Subdivision Regulations approved by the County Commissioners? yes

Approved 50' rigth-of-way Widths Resolution #306-09 Date 6-11-09

Construction improvements have achieved satisfactory completion and has been Certified by the County Engineer in accordance with Section 326 and 330 of the Subdivision Regulation? *If no, continue to next question.* No

If no to the above question, please submit a Performance Bond in accordance with the following:

Has estimated construction cost been submitted by the responsible design engineer? yes
Has estimated construction cost been approved by the County Engineer? yes
Bond has been submitted to County Engineer? no
Bond approved by County Commissioners? no

For Official Use

Date filed: _____ Filing Fee: _____

Date of Meeting of Planning Commission: _____

Action by Planning Commission: _____

If rejected, reason(s) for: _____

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Logan-Union-Champaign
regional planning commission

Director: Dave Gulden, AICP

Final Plat Review Checklist

#	Required Item Description	Have	Need
0	Drawn at a scale not less than 1:100 and shall be on one or more sheets 24" X 36"; drawn in India ink or photographically reproduced on Mylar or other materials of equal permanence.	x	
1	Name of the Subdivision, location by section, range or township, or Virginia Military Survey (VMS) number; date, north point, written and graphic scale and acreage.	X	
2	Names and addresses of the subdivider and the professional surveyor who prepared the Final Plat	X	
3	Plat boundaries, based on accurate traverse, with directional and lineal dimensions.	x	
4	Bearings and distances to nearest established street lines or other recognized permanent monuments.	X	
5	Exact locations, right-of-way widths, and names of all streets within and adjoining the plat; building setback lines.	X	
6	Radii, internal angles, points of curvature, tangent bearings, lengths of arcs, and lengths and bearings of chords.	X	
7	All easements and rights-of-ways provided for public services or utilities. All plats shall contain a restriction that no permanent structures or plantings, etc. shall be permitted in the easement areas.	x	
8	All lot numbers and lines with accurate dimensions in feet and hundredths. House numbers may be required to be shown.	X	
9	Accurate location and description of all monuments. The plat shall clearly indicate which monuments are in place at the time of certification of the Final Plat by the surveyor. The plat shall also clearly indicate which monuments will be placed, if any, after construction of the improvements and before the completion date.	x	
10	Accurate outlines of areas to be dedicated or reserved for public use, or any area to be reserved for common uses of all property owners.	X	
11	The limits of all Flood Hazard Areas (show the FEMA map number and date). Base Flood Elevations and minimum first floor elevations shall be shown for all lots located within Flood Hazard Areas.		N/A
12	Certain restrictions and covenants the subdivider intends to include in the deeds to the lots in the subdivision including any restrictions required by the County.	X	
13	Certification by a professional surveyor to the effect that the plat represents an actual field survey performed by him; that all dimensional details are correct, and that the monuments shown thereon were or will be placed by the established completion date or prior to the sale of each lot, whichever occurs first (See Section 326).	x	
14	Notarized certification by the owner or owners of the authorization of the plat and the dedication of streets and other public areas.	X	

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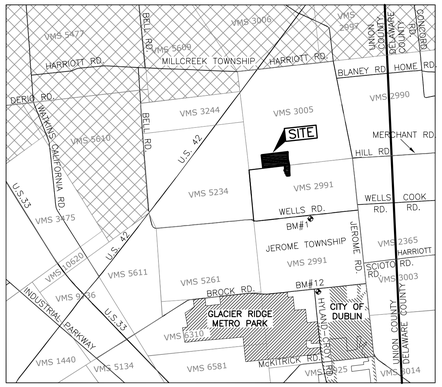
15	A vicinity map at a scale of generally not more than six thousand feet to an inch (6,000:1) shall be shown on, or shall accompany the Final Plat.	X		
16	If a zoning change or variance is involved, a letter from the Township Zoning Inspector shall be required indicating that the change or variance has been approved and is in effect.			N/A
17	A letter from the County Engineer shall be required showing that all required improvements have been either installed and approved by the proper officials or agencies, or that a bond or other surety has been furnished assuring installation of the required improvements.		x	
18	Written certification from the Board of County Commissioners for operation and maintenance of the wastewater or water treatment plant, if applicable.			N/A
19	Certification by a registered surveyor to the effect that the plat represents a survey completed by the surveyor and that the monuments shown thereon exist as located in all dimensional details are correct.	x		
20	A notarized acknowledgement of all owners and lien holders to the plat and its restrictions including dedication to the public uses of streets, alleys, parks and other spaces shown thereon and granting required easements.	x		
21	Approval and acceptance clause for the signatures of a representative of the Logan-Union-Champaign County Regional Planning Commission, the County Engineer, the County Health Department, the Board of County Commissioners, the County Auditor, the County Recorder, and a representative of the Township Trustees in which the subdivision is located.	x		
22	Final Plat Fees: Payment/Check made out to LUC Regional Planning Commission, based on the current fee schedule.	X		

EVERSOLE RUN NEIGHBORHOOD SECTION 1 PHASE 2

SITUATED IN
VIRGINIA MILITARY SURVEY'S No.2991 AND 3005
JEROME TOWNSHIP, UNION COUNTY, OHIO

LUC. R.P.C. FILE # _____

LOCATION MAP



GRAPHIC SCALE

4000 2000 0 4000

(IN FEET)
1 inch = 4000 ft.

Situated in State of Ohio, County of Union, Jerome Township, Virginia Military Survey No. 2990 and Virginia Military Survey No. 3005, being 25.900 acres of land of which 2.587 acres of land is located in the remainder of that 14.926 acre tract of land as described in a deed to Jerome Village Company, LLC, of record in Official Record 755, Page 179, 12.466 acres of land is located in the remainder of that 23.968 acre tract of land as described in a deed to said Jerome Village Company, LLC, of record in Official Record 739, Page 121, 7.730 acres of land is located in the remainder of that 29.000 acre tract of land as described in a deed to said Jerome Village Company, LLC, of record inOfficial Record 722, Page 832, 1.682 acres of land is located in the remainder of that 45.228 acre tract of land as described in a deed to Jerome Village Company, LLC, of record in Official Record 697, Page 961 and 1.435 acres of land is located in the remainder of that 52.840 acre tract of land as described in a deed to said Jerome Village Company, LLC of record in Instrument No. 201408010005206, Recorder's Office, Union County, Ohio

SHEET INDEX
Sheet 1 - Title/Signature Sheet
Sheet 2 - ERN 1-2 Index/Overview
Sheet 3 - ERN 1-2 Detail Sheet
Sheet 4 - ERN 1-2 Detail Sheet

BASIS OF BEARINGS
The bearings shown hereon are based on the Ohio State Plane Coordinate System (North Zone) as established by GPS observations.

ERN 1-2 Area Summary		
Right-of-Way (Township)	3.690	AC
Lots	11.208	AC
Openspace	11.002	AC
Total	25.900	AC

ERN 1-2 Lot Summary	
	46
70' Frontage	30
80' Frontage	11
90' Frontage	5

ERN 1-2 Density			
Gross	(Lots/Total Area)	1.776	du/ac
Net	(Lots/Lot Area)	4.104	du/ac

Minimum Lot Size		
70' Frontage	8,400	SF
80' Frontage	9,600	SF
90' Frontage	11,700	SF

Setbacks	70' Frontage		80' Frontage		90' Frontage	
Front Yard	25	FT	25	FT	25	FT
Rear Yard	30	FT	30	FT	30	FT
Side Yard	5	FT	6	FT	8	FT

PARCEL BREAKDOWN

Parcel Number	Map/GIS Number	Acreages of Parcel within ERN 1-2
17-0010019.0000	126-00-00-033.000	2.587 AC.
17-0010020.0000	126-00-00-016.000	12.466 AC.
17-0010020.1000	126-00-00-016.001	7.730 AC.
17-0012012.1000	126-00-00-014.001	1.682 AC.
17-0012013.0010	126-00-00-015.005	1.435 AC.

EVERSOLE RUN NEIGHBORHOOD SECTION 1 PHASE 2 IS SUBJECT TO JEROME VILLAGE MASTER DEED DECLARATION AND RESTRICTIONS AS RECORDED IN VOLUME 907 PAGES 572, UNION COUNTY RECORDER'S OFFICE, AS AMENDED, THE RESIDENTIAL PROPERTY OWNERS ASSOCIATION DEED DECLARATION, RESTRICTIONS AND BYLAWS AS RECORDED IN VOLUME 911, PAGE 922, UNION COUNTY RECORDER'S OFFICE AND THE DECLARATION OF COVENANTS, RESTRICTIONS AND AGREEMENTS FOR JVCA RECORDED IN VOLUME 859 PAGE 275, UNION COUNTY RECORDER'S OFFICE.

STANDARD DEED RESTRICTIONS FOR UNION COUNTY

Residential and Commercial

1. There shall be no discharge in to any streams or storm water outlets of any waste materials in violation of applicable local, state, or federal regulations.
2. N/A
3. Grading of the storm water retention areas shall not be changed.
4. N/A
5. The lot owner and his successors and assigns agree to assume any and all maintenance charges which are established by the Union County Commissioners for this subdivision.
6. N/A

6a.No construction may begin or building started without the individual lot owner obtaining zoning, building, water & sewer tap, and driveway permits. Zoning permits are to be obtained from the Township Zoning Inspector. Building permits are obtained from the Union County Building Regulation Department and driveway permits are obtained from the Union County Engineer's Office. Water & sewer tap permits are obtained from the applicable service provider.

7. The lot owner and his successors and assigns agree to assume any and all sanitary sewer and water service charges which are established by the applicable provider.
8. All construction shall meet the requirements of the Township, Union County, and other applicable code authorities.

Residential Only

11. Downspout drains shall not be connected directly to roadway underdrains.

Miscellaneous Restrictions/Notes

24. This subdivision is located adjacent to lands which may be used for agricultural farming purposes. Lot owners can expect noise from farm machinery, dust from farming operations, the application of chemicals to the soil and crops, odors and noise from livestock, and other typical farming nuisances. Owners can expect farming operations to happen day or night. You can expect hunting on agricultural land. Do not expect to use agricultural lands for your purposes without first getting permission from the land owner. Do not allow your children to play on agricultural lands. Do not discard clippings and trimmings from lawns, tree, bushes, plants, etc. or other wastes that you may generate on agricultural land. Dispose of all wastes appropriately. Additionally, there may be existing ditches, surface swales or underground tiles that drain water from adjacent land on to or through your property. You have a legal responsibility to allow the reasonable flow of water on to or through your property from upground properties. You also have a legal responsibility to maintain and repair any ditches, surface swales or underground tile on your property.
25. Parking: Union County may restrict or eliminate on-street parking along the side of the pavement within Canby Court West, Canby Court East, Smoketree Drive and Sweetbay Drive . The owners of the fee simple titles to all of the lots in Eversole Run Neighborhood Section 1 Phase 2 Subdivision, their heirs, successors and assigns, hereby waive any and all objections to said parking restriction or elimination.
28. Utility Providers: Buyers of the lots in this subdivision are hereby notified that, at the time of platting, utility service to this subdivision for electric power is provided by Ohio Edison, telephone service is provided by Frontier Communications or Time Warner, and natural gas is provided by Columbia Gas.

Jerome Village Blanket Restrictions

1. No individual driveways permitted on: Home Road, Jerome Road, Hyland-Croy Road, Ewing Road, US 42, Seely Road, James Road, Joshua Road, Ravenhill Parkway, Wells Road, Ryan Parkway, Brock Road.
2. Driveways for individual lots, whether commercial, residential, or other, shall not be permitted on major or minor collector roads. All driveways shall connect to local roads within a sub area.
3. All new local road connections are subject to stopping sight distance and intersection sight distance requirements.
4. All restrictions are minimum requirements. If conflict arises between access restrictions and an intersection improvement (i.e., turn lane tapers, roundabout tapers, etc.), the intersection improvement shall govern and access restrictions shall be adjusted accordingly. The County Engineer shall have final say on all relocated access locations.
5. If conflict arises between the access restrictions and Union County access management standards, the County Engineer shall determine which standard is to be applied.
6. No on-street parking permitted on Hyland-Croy, Jerome, Ryan, Seely, Wells, Brock, Ravenhill, Ewing, Joshua, or Home Road.
7. No on-street parking within Eversole Run Neighborhood Section 1 Phase 2 .
8. Open spaces, whether existing or created during platting of a pod, or during development of a commercial, residential, or other type of lot, shall be connected as much as possible to the open space dedicated along Ravenhill Parkway And Hyland-Croy. Connections shall be directly adjacent to the open space along Ravenhill Parkway or Hyland-Croy , if the open spaces do not have adjacent property lines, connection shall be made through contiguous open space, where possible.
9. Future local road locations are subject to approval by the Union County Engineer. Final location and design shall be submitted to and approved by the County Engineer prior to platting of lots, groups of lots, or pods.

Utility Easements (U)

We the undersigned owners of the within platted land, do hereby grant unto the Eversole Run Sewer District, City of Marysville, Union Rural Electric , Frontier Communications, Time Warner Cable, Columbia Gas, and their successors and assigns (Hereinafter referred to as grantees) A permanent right-of-way and easement ten (10) feet in width under, over, and through all sublots and all lands owned by the grantor shown hereon and parallel with and contiguous to Canby Court West, Canby Court East, Smoketree Drive and Sweetbay Drive and also upon land as depicted hereon to construct, place, operate, maintain, repair, reconstruct or relocate such waterlines, sewer lines, underground electric, gas and communication cable, ducts, conduits, pipes, gas pipe lines, surface or below ground mounted transformers and pedestals, concrete pads and other facilities as deemed necessary or convenient by the grantees for distributing, transporting, and transmitting electricity, gas and communication signals for public and private use at such locations as the grantees may determine upon, within, and across said easement premises. No permanent structures, plantings, etc. shall be permitted in the easement areas. Said easement rights shall include the right, without liability therefore to remove trees and landscaping, including lawns within and without said easement premises which may interfere with the installation and maintenance, right to install, repair, augment, and maintain service cables, and pipe lines outside the above described easement premises or the right of access, ingress and egress to and from any of the within described premises for exercising any of the purposes of this right-of-way and easement grant.

Drainage Easements (D)

We the undersigned owners of the platted land, do here by grant unto Union County and their successors and assigns (hereinafter referred to as grantees), a permanent easement within areas designated ïDrainage Easementò ïUtility Easementò and ïDrainage and Utility Easement òto construct, operate, maintain, repair, reconstruct or relocate drainage facilities such as storm sewers, drainage swales or courses and other facilities as deemed necessary or convenient by the grantees for drainage required for public and private use at such locations as the grantees may determine upon, within, and across said easement premises. No permanent structures, plantings, etc. shall be permitted in the easement areas. Said easement rights shall include the right, without liability therefore to remove trees and landscaping, including lawns or any other structure within said easement premises which may interfere with the installation and maintenance of drainage facilities.

Jerome Village Blanket Notes

Note A: All of Jerome Village is in the flood hazard zone X (areas outside the 500-year flood plain) on the Federal Emergency Management Agency Flood Insurance Rate Maps, Map Number 39159C0380D, 39159C0385D, 39159C0390D and 39159C0395D, effective dates December 16, 2008. 39159C0385D is a non-printed panel with no flood hazard areas.

Note B: Be advised; a subsurface drainage system may exist on this site. The system and/or outlet if located on this property must be maintained at all times.

Note C: All storm water drainage including flood routing, open ditches and basins which accept public storm water, will be a part of the Union County ditch maintenance program. Each subarea will file a separate ditch maintenance petition. Only areas outside of the right-of-way will be a part of the County Ditch Maintenance Program.

Note D: All dead, diseased, noxious or decayed trees or vegetation, log jams, etc. shall be removed from streams that will be a part of the Union County ditch maintenance program.

Note E: All easements and setbacks for stream maintenance shall be reviewed by Union County Soil & Water Conservation District for access to said streams prior to acceptance.

Note F: Removed (not applicable to ERN 1-2)

Note G: Existing and proposed trees are allowed within right-of-way if roadway is curbed and posted speed is 35 mph or less. County Engineer to review on case by case basis for all other conditions.

Note H: Vegetated swales, including rain gardens & bio-swales, are to be graded within median of road right-of-way to provide required drainage. Ponding depths within median are not to exceed 8' and are to drain within 36 hours. No permanent pools will be allowed within road right-of-way.

Note I: Removed (not applicable to ERN 1-2)

Note J: Mounding, landscaping, or guardrail may be required between stormwater retention/detention facilities and road right-of-way, if the edge of water is within 100' of the edge of pavement.

Jerome Village Variances

1. Variance from the Union County Subdivision Regulations, Section 406, minimum right-of-way widths to allow a 50' right-of-way width for all local street classifications within Jerome Village. Resolution #306-09. Dated 6-11-09.

SURVEYOR CERTIFICATION:
American Land Surveyors do hereby certify the following:
1. The accompanying plat represents a subdivision of land in VMS 2990, Jerome Township, Union County, Ohio.
2. The tract has an area of 3.690 acres in streets, 11.208 acres in lots, and 11.002 acres in Reserves making a total of 25.900 acres.
3. This plat was prepared based on a field survey performed in November, 2016 by American Land Surveyors, LLC.;
4. All dimensions are shown in feet and decimal parts thereof. dimensions shown along curved lines are chord distances;
5. This property is located in Zone X per F.E.M.A. Community Panel No. 39159C0390D, dated December 16, 2008
6. Monumentation set at the locations shown hereon consist of a 5/8 òinch steel reinforcing rod, 30 inches in length affixed with an orange plastic cap bearing the inscription "Jon Adcock, S-8461", Right-of-way and centerline monumentation shall be placed at all points of curvature, tangency and points of intersection, and shall be set prior to lot sales.
   a. Additional Monuments shall be caused to be placed along all lot corners and changes in bearing, as well as all points of curvature and tangency prior to the Lot being sold. Lot monumentation may have a cap and inscription that varies from above.
7. The accompanying plat is a correct representation of Eversole Run Neighborhood Section 1 Phase 2 as surveyed.

Signed and sealed this _____ day of _____, 2017.

_____
Jon (Brett) Adcock, Registered Professional Surveyor No. 8461

DEVELOPER:
Jerome Village Company, LLC.
375 N. Front Street, Suite 200
Columbus, Ohio 43215
Attention: Gary Nuss

SURVEYOR:
American Land Surveyors, LLC
1346 Hemlock Court N.E.
Lancaster, Ohio 43130
Attn: Jon (Brett) Adcock, P.S.

Know all men by these presents that Jerome Village Company, LLC. owner of the land indicated on the accompanying plat, have authorized the platting thereof and do hereby dedicate all right-of-way and easements shown hereon to the public use forever.

In witness thereof, the following have set their hand this _____ day of _____, 2017.

Jerome Village Company, LLC:
By: Nationwide Realty Investors, Ltd., its manager

By: _____
James Rost, Vice President

Signed and acknowledged in the presence of:

Signature: _____ Witness

Printed Name: _____

Signature: _____ Witness

Printed Name: _____

STATE OF OHIO
COUNTY OF UNION
Before me, a Notary Public in and for said County, personally appeared James Rost, Vice President and Operating Officer of Nationwide Realty Investors, Ltd., as manager of Jerome Village Company, LLC, who acknowledged the signing of the foregoing instrument to be his voluntary act and deed for the uses and purposes therein expressed.

In witness thereof, I have hereunto set my hand and affixed my official seal this _____ day of _____, 2017.

Signature: _____. My commission expires: _____.
Notary Public

Reviewed this _____ day of _____, 2017: _____
Chairman, Jerome Township Trustees

Reviewed this _____ day of _____, 2017: _____
Union County Health Department

Approved this _____ day of _____, 2017: _____
Union County Engineer

Approved this _____ day of _____, 2017: _____
LUC Regional Planning Commission

Rights-of-way for public streets and roads herein dedicated to public use are hereby approved this _____ day of _____, 20____ for the County of Union, State of Ohio. Street improvements within said dedicated rights-of-way shall not be accepted for public use unless and until construction is completed and accepted as such by Union County. In addition, street improvements within said dedicated rights-of-way shall not be accepted for public maintenance until the maintenance period transpires and the street improvements are accepted for public maintenance by Union County.ò

Approved this _____ day of _____, 2017: _____
Union County Commissioner

_____ _____
Union County Commissioner Union County Commissioner

Transferred this _____ day of _____, 2017: _____
Union County Auditor

Filed for record this _____ day of _____ 2017, at ____ am/pm.

Recorded this _____ day of _____, 2017 at _____ am/pm in

Plat Book _____, Page _____ _____
Union County Recorder

1346 Hemlock Court N.E.
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www.americanlandsurveyors.com

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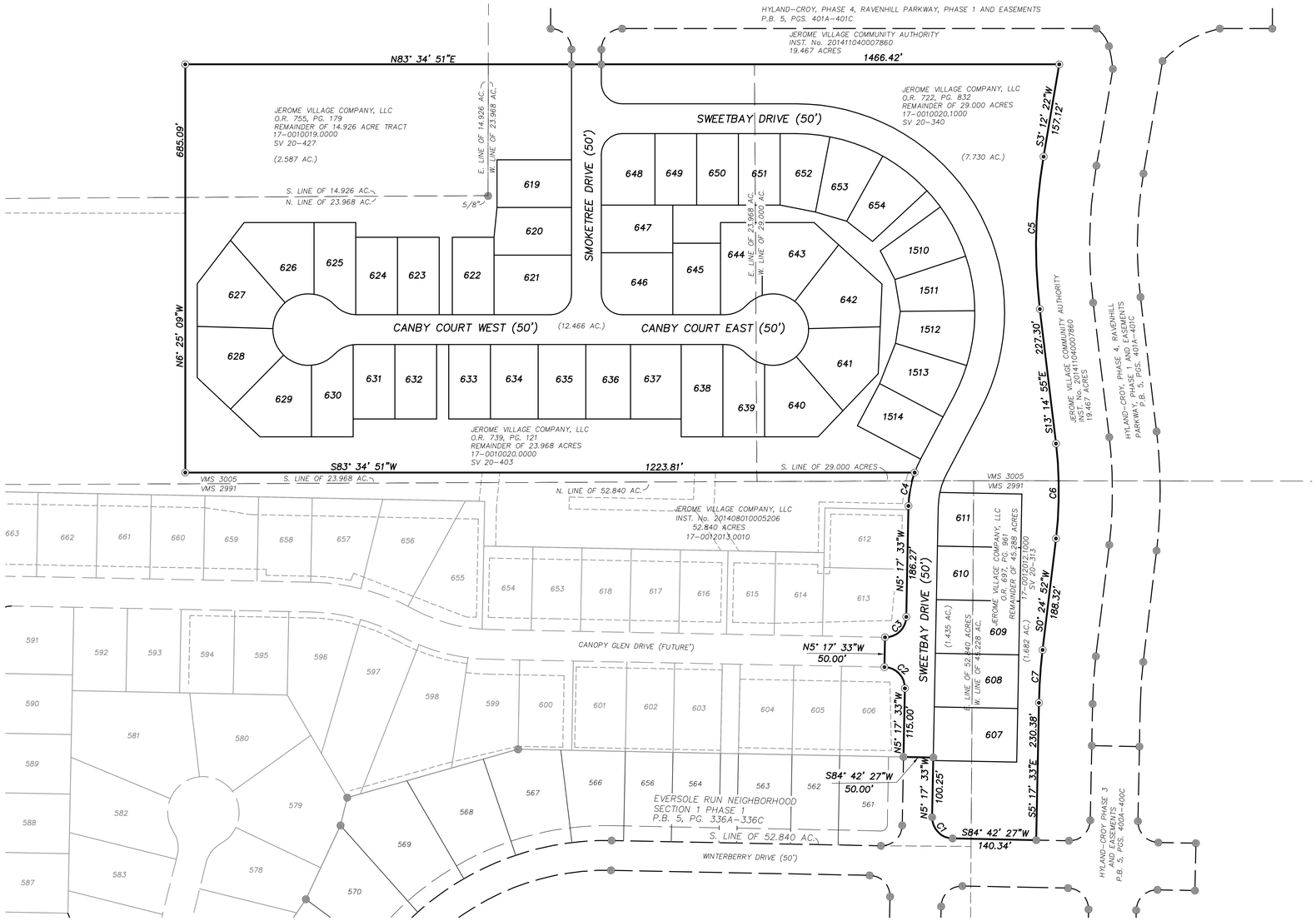
1/4

FIELD	DRAFT	CHECK
JBA	JBA	JBA
JOB NO.:	17-001	
DATE:	NOVEMBER 20, 2017	
SCALE:	N/A	

EVERSOLE RUN NEIGHBORHOOD SECTION 1 PHASE 2

SITUATED IN
VIRGINIA MILITARY SURVEY'S No.2991 AND 3005
JEROME TOWNSHIP, UNION COUNTY, OHIO



GRAPHIC SCALE

100 50 0 100

(IN FEET)
1 inch = 100 ft.

LEGEND:

- IRON PIN SET – 5/8" X 30" REBAR WITH A PLASTIC CAP INSCRIBED "JON ADCOCK S-8461."
- IRON PIN FND. – 5/8" X 30" REBAR WITH A PLASTIC CAP INSCRIBED "JON ADCOCK S-8461."

Curve Table

Curve #	Radius	Delta	Length	Chord Direction	Chord Length
C1	35.00'	90°00'02"	54.98'	N50° 17' 34"W	49.50'
C2	35.00'	90°00'00"	54.98'	N50° 17' 33"W	49.50'
C3	35.00'	90°00'00"	54.98'	N39° 42' 27"E	49.50'
C4	175.00'	18°42'44"	57.15'	N4° 03' 49"E	56.90'
C5	894.00'	16°27'17"	256.75'	S5° 01' 16"E	255.86'
C6	670.00'	13°39'46"	159.77'	S6° 25' 02"E	159.39'
C7	894.00'	5°42'24"	89.04'	S2° 26' 21"E	89.01'

2/4

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FIELD	DRAFT	CHECK
JBA	JBA	JBA

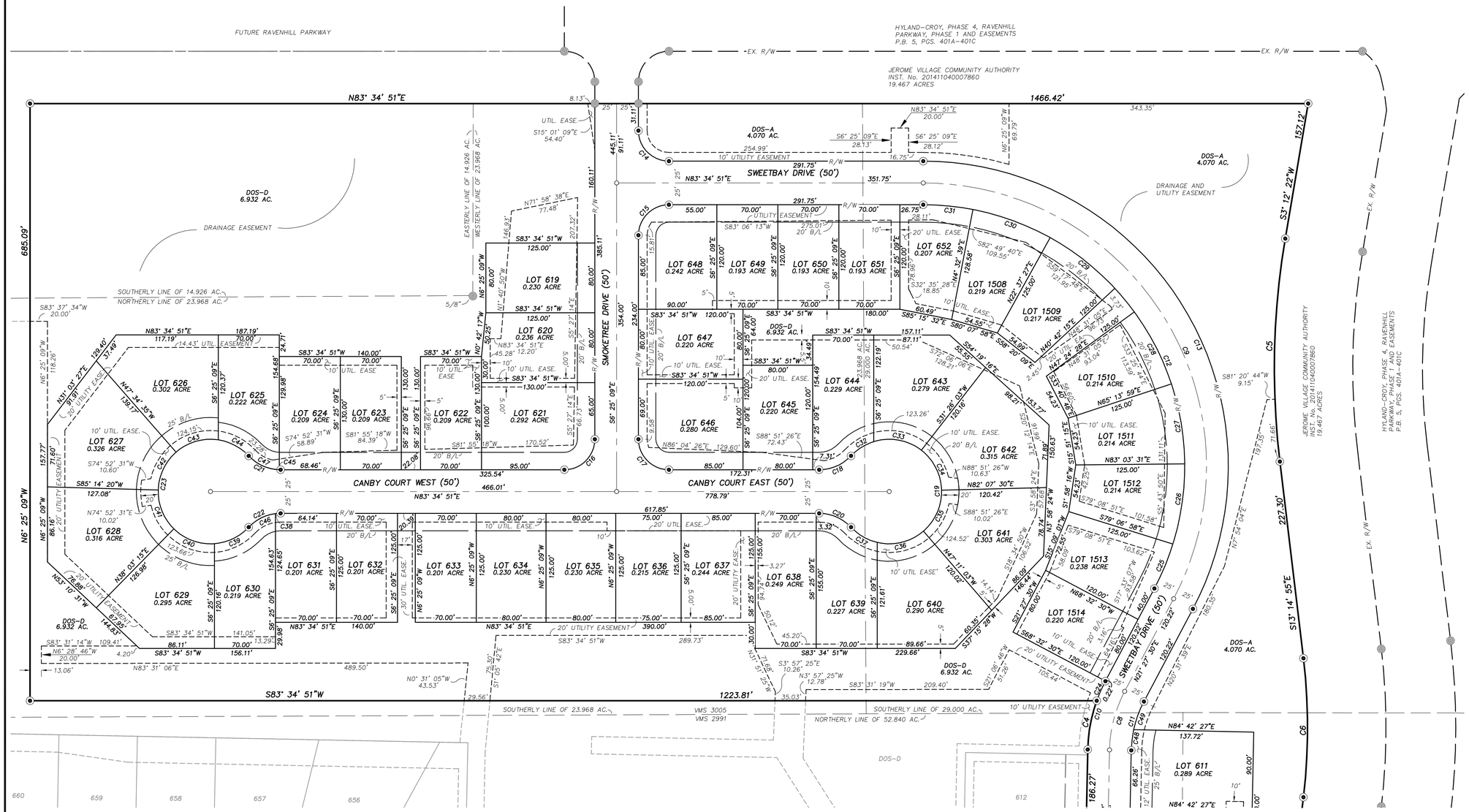
JOB NO.: 17-001
DATE: NOVEMBER 20, 2017
SCALE: 1"=100'

EVERSOLE RUN NEIGHBORHOOD SECTION 1 PHASE 2

SITUATED IN
VIRGINIA MILITARY SURVEY'S No.2991 AND 3005
JEROME TOWNSHIP, UNION COUNTY, OHIO

Curve Table ~ Subdivision Boundary					
Curve #	Radius	Delta	Length	Chord Direction	Chord Length
C4	175.00'	18°42'44"	57.15'	N4° 03' 49"E	56.90'
C5	894.00'	16°27'17"	256.75'	S5° 01' 16"E	255.86'
C6	670.00'	13°39'46"	159.77'	S6° 25' 02"E	159.39'
C7	894.00'	5°42'24"	89.04'	S2° 26' 21"E	89.01'

GRAPHIC SCALE
60 30 0 60
(IN FEET)
1 inch = 60 ft.



Curve Table ~ Centerline					
Curve #	Radius	Delta	Length	Chord Direction	Chord Length
C8	150.00'	26°45'03"	70.03'	S8° 04' 59"W	69.40'
C9	325.00'	117°52'39"	668.64'	N37° 28' 49"W	556.80'

Curve Table ~ Right-of-Way					
Curve #	Radius	Delta	Length	Chord Direction	Chord Length
C10	175.00'	26°45'03"	81.71'	S8° 04' 59"W	80.97'
C11	125.00'	26°45'03"	58.36'	S8° 04' 59"W	57.83'
C12	300.00'	117°52'39"	617.21'	N37° 28' 49"W	513.97'
C13	350.00'	117°52'39"	720.07'	N37° 28' 49"W	599.63'
C14	35.00'	90°00'00"	54.98'	S51° 25' 09"E	49.50'
C15	35.00'	90°00'00"	54.98'	S38° 34' 51"W	49.50'
C16	35.00'	90°00'00"	54.98'	N38° 34' 51"E	49.50'
C17	35.00'	90°00'00"	54.98'	S51° 25' 09"E	49.50'
C18	50.00'	47°00'51"	41.03'	N60° 04' 26"E	39.89'
C19	60.00'	274°01'42"	286.96'	N6° 25' 09"W	81.82'
C20	50.00'	47°00'51"	41.03'	N72° 54' 44"W	39.89'
C21	50.00'	47°00'51"	41.03'	S72° 54' 44"E	39.89'
C22	50.00'	47°00'51"	41.03'	S60° 04' 26"W	39.89'
C23	60.00'	274°01'42"	286.96'	S6° 25' 09"E	81.82'

Curve Table ~ Lots					
Curve #	Radius	Delta	Length	Chord Direction	Chord Length
C24	175.00'	8°02'19"	24.55'	S17° 26' 21"W	24.53'
C25	300.00'	10°34'28"	55.37'	S16° 10' 16"W	55.29'
C26	300.00'	17°49'31"	93.33'	S1° 58' 16"W	92.96'
C27	300.00'	17°49'31"	93.33'	S15° 51' 15"E	92.96'
C28	300.00'	17°49'31"	93.33'	S33° 40' 46"E	92.96'
C29	300.00'	18°04'48"	94.67'	S58° 20' 09"E	94.27'
C30	300.00'	18°04'48"	94.67'	S76° 24' 57"E	94.27'
C31	300.00'	10°57'48"	57.40'	N89° 03' 45"E	57.32'
C32	60.00'	29°46'55"	31.19'	S51° 27' 28"W	30.84'
C33	60.00'	55°05'08"	57.69'	N86° 06' 31"W	55.49'
C34	60.00'	50°41'27"	53.08'	N33° 13' 13"W	51.37'
C35	60.00'	50°41'27"	53.08'	N17° 28' 13"E	51.37'
C36	60.00'	54°03'07"	56.60'	N69° 50' 30"E	54.53'
C37	60.00'	33°43'38"	35.32'	S66° 16' 07"E	34.81'
C38	50.00'	6°43'34"	5.87'	N80° 13' 04"E	5.87'
C39	60.00'	42°36'23"	44.62'	N57° 52' 12"E	43.60'
C40	60.00'	48°52'51"	51.19'	S76° 23' 11"E	49.65'
C41	60.00'	47°11'05"	49.41'	S28° 21' 13"E	48.03'
C42	60.00'	47°11'05"	49.41'	S18° 49' 52"W	48.03'
C43	60.00'	49°42'44"	52.06'	S67° 16' 47"W	50.44'
C44	60.00'	38°27'33"	40.27'	N68° 38' 05"W	39.52'
C45	50.01'	1°46'02"	1.54'	S84° 27' 52"W	1.54'
C46	50.00'	47°00'51"	41.03'	S60° 04' 26"W	39.89'
C47	50.00'	47°00'51"	41.03'	S72° 54' 44"E	39.89'
C48	125.00'	10°57'00"	23.89'	S0° 10' 57"W	23.85'
C49	125.00'	15°48'03"	34.47'	S13° 33' 29"W	34.36'

LEGEND:

- IRON PIN SET – 5/8" X 30" REBAR WITH A PLASTIC CAP INSCRIBED "JON ADCOCK S-8461."
- IRON PIN FND. – 5/8" X 30" REBAR WITH A PLASTIC CAP INSCRIBED "JON ADCOCK S-8461."
- MAG NAIL SET

3/4

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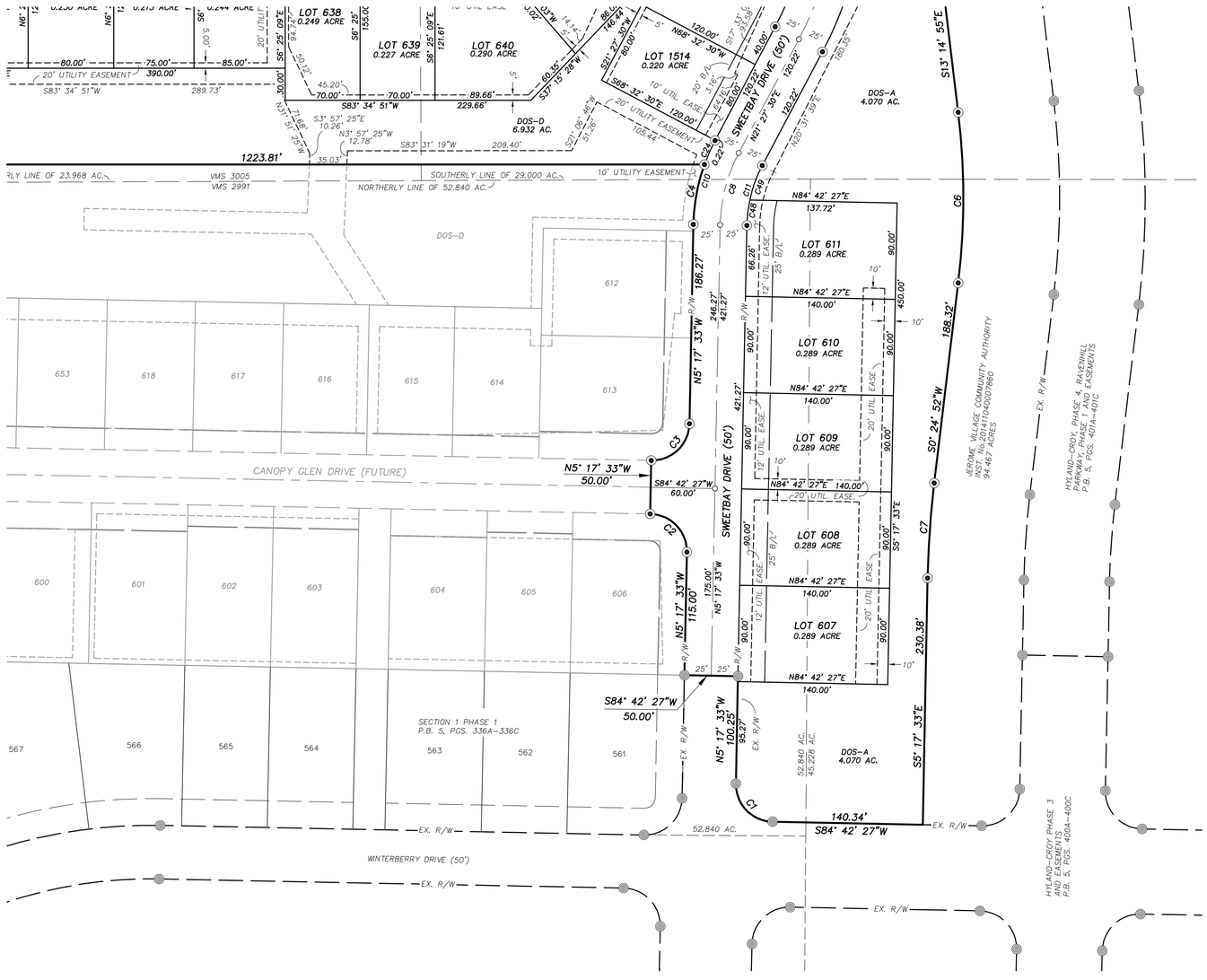
FIELD	DRAFT	CHECK
JBA	JBA	JBA
JOB NO.:	17-001	
DATE:	NOVEMBER 20, 2017	
SCALE:	1"=60'	

EVERSOLE RUN NEIGHBORHOOD SECTION 1 PHASE 2

SITUATED IN
VIRGINIA MILITARY SURVEY'S No.2991 AND 3005
JEROME TOWNSHIP, UNION COUNTY, OHIO

GRAPHIC SCALE
60 30 0 60
(IN FEET)
1 inch = 60 ft.



Curve Table ~ Subdivision Boundary					
Curve #	Radius	Delta	Length	Chord Direction	Chord Length
C1	35.00'	90°00'02"	54.98'	N50° 17' 34"W	49.50'
C2	35.00'	90°00'00"	54.98'	N50° 17' 33"W	49.50'
C3	35.00'	90°00'00"	54.98'	N39° 42' 27"E	49.50'
C4	175.00'	18°42'44"	57.15'	N4° 03' 49"E	56.90'
C6	670.00'	13°39'46"	159.77'	S6° 25' 02"E	159.39'
C7	894.00'	5°42'24"	89.04'	S2° 26' 21"E	89.01'

LEGEND:

- IRON PIN SET – 5/8" X 30" REBAR WITH A PLASTIC CAP INSCRIBED "JON ADCOCK S-8461."
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Focused on Excellence

FIELD	DRAFT	CHECK
JBA	JBA	JBA
JOB NO.:	17-001	
DATE:	NOVEMBER 20, 2017	
SCALE:	1"=60'	

Jerome Township
Union County, Ohio

9777 Industrial Parkway
Plain City, Ohio 43064
Office (614) 873-4480
Fax (614) 873-8664

Jerome Township Zoning Office

December 6, 2017

Bradley J. Bodenmiller
LUC Regional Planning Commission
10820 State Route 347, PO Box 219
East Liberty, Ohio 43319

RE.: Jerome Village, Eversole Run Neighborhood Section 1 (ERN-1) Phase 2, - Final Plat (formerly Section 1, "North")

Dear Brad,

I have reviewed the Final Plat of Jerome Village Eversole Run Neighborhood Section 1 (ERN-1) Phase 2, - Final Plat (formerly Section 1, "North") as sent to our office on November 27, 2017. Upon review, the Final Plat as filed seems to comply with the layout of the proposed lots approved by the Zoning Commission for this section with the exception of lots 1393, 1394, 1395, 1396, 1397 1398 and 1399 which have been renumbered as 653, 654, 1510, 1511, 1512, 1512 and 1514 respectively. The lots appear to be in the same location and same dimension, they simply appear to have been renumbered.

Please note that our review is limited solely to the issues relating to compliance with the approved zoning, such as the proposed lot count, lot sizes, setbacks, open space percentages, etc. As always, the townships review is limited strictly to zoning related items and does not cover technical related issues such as traffic, access, or site engineering. As such the zoning office has no major concerns with the Final Plat as filed. Please feel free to contact at your convenience with any questions you may have regarding this review or the pending Final Plat Approval.

Based upon this review our office has **no objections** regarding the plat and would raise no issues in regards to its pending approval.

If you have any questions or comments in regards to this matter please feel free to contact me at your earliest convenience.

Respectfully,

Mark Spagnuolo
Jerome Township Zoning Officer

County Engineer
Environmental Engineer
Building Department
233 W. Sixth Street
Marysville, Ohio 43040
P 937. 645. 3018
F 937. 645. 3161
www.co.union.oh.us/engineer

Marysville Operations Facility
16400 County Home Road
Marysville, Ohio 43040
P 937. 645. 3017
F 937. 645. 3111

Richwood Outpost
190 Beatty Avenue
Richwood, Ohio 43344

***Public Service** with integrity*

December 6, 2017

Bradley Bodenmiller
LUC Regional Planning Commission
Box 219
East Liberty, Ohio 43319

Re: Eversole Run Neighborhood, Section 1 Phase 2
Final Plat Review

Brad,

We have completed our review for the above final plat, received by our office on November 27, 2017. The construction drawings have been approved by our office. Construction work has commenced on site, but has not been completed. As such, we have requested and received a performance bond for improvements shown on the plat. Our Prosecutor's Office is in the process of reviewing the performance bond and we anticipate gaining Commissioners approval prior to the Executive Committee meeting. We also are in the process of reviewing the plat for technical consistency, and should have comments from that review within the next 24 hours. We will share those with you and the development team when they are completed.

Due to the outstanding comments, we do not feel comfortable issuing an endorsement of approval at this time. However, due to the nature of the comments, we feel that they can be addressed by the December 14th Zoning and Subdivision Committee/Executive Committee meetings. I will keep you updated on the status of the above outstanding comments and issue correspondence of approval when these items are addressed. If you have any questions or concerns, feel free to contact me at (937) 645-3165.

Should you have any questions or concerns, feel free to contact me at (937) 645-3165.

Bill Narducci

Bill Narducci, P.E.
Assistant County Engineer
Union County Engineer

Cc: Luke Sutton, Union County Engineer's Office (via email)

December 6, 2017

Bradley Bodenmiller
LUC Regional Planning Commission
10820 SR 347
East Liberty, OH 43319

RE: URE comments for Jerome Village, Eversole Run Neighborhood, Section 1 (ERN-1) Phase 2– Final Plat

Brad,

Union Rural Electric Cooperative, Inc. has reviewed and noted comments per paper and PDF drawings received 11/27/17. Drawing set of 4 sheets issued Eversole Run Neighborhood Section 1 Phase 2 Dated: November 20, 2017:

1) Sheet 1 of 4
   a) Item 28 noted wrong electric power utility. Need to change from Ohio Edison to Union Rural Electric Cooperative.
   b) Under Utility Easement (U)
      - Request additional language for grantees to have rear lot easements defined.
      - Request language for DOS – Dedicated Open Space and ORS – Open Space Reserve to be used for Utility Easement.
   c) Noted items:
      - Number of lots = 46
      - Rear yard setbacks = 30 Feet
      - Side yard setbacks vary per frontage lengths from 5, 6 or 8 feet.
   d) Developer Surveyor to note easement area for electrical facilities per URE standard development agreement.

2) Sheet 2 of 4
   a) Lot number changes from preliminary plat version – From: 1393 through 1399 – To: 653, 654, 1510 through 1514. Note 653 and 654 to match page 3 numbering (1508 and 1509).
   b) Question plat curve number C4.
      - Concern with existing road crossing conduits having easement language for connection to development.
      - Request 20 feet easement language adjacent to C4

3) Sheet 3 of 4
   a) URE require continuous easements for looping development facilities.
   b) See sheet 2 of 4 notes b) for plat curve number C4.

c) Request rear lot easements to be a minimum of 10 feet on individual lots with adjacent area having minimum 10 feet for minimum total of 20 feet.
    - Request clarification of additional easement in open space noted as NORTHERLY LINE OF 23.968 ACRES behind lots 619, 620, 622, 623, 624, 625 and 626 with additional dash lines for minimum total of 20 feet or noted area as utility easement.
    - Request easement to be 10 feet from 5 feet on rear lots from 631 through 641.
    - Request adjacent easement area at end of rear lots from 631 through 637 to be clearly noted as utility easement with additional note.
    - Request DOS-6 with 6.932 acres be noted as drainage and utility easement.
    - Request easement to be 10 feet from 5 feet on rear lots for lots 1513 and 1514
    - Request easement to be 10 feet from 5 feet on rear lots for lots 643 and 644

d) Noted DOS-A of 4.070 acres as drainage and utility easement has existing electrical facilities for round-about lighting.

e) URE has existing energized front lot facilities for services for lots 607 through 611.

f) Note lot numbers 1508 and 1509 are different on page 2 of 4

4) Sheet 4 of 4
    a) URE has existing energized front lot facilities for services to lots 607 through 611.
    b) Please reference above notes related to other lot easements and plat curve C4.

5) URE require development agreement to be processed for ERN 1-2.

Please contact me with questions or concerns.

Thanks,

Ron Rockenbaugh
Manager of Engineering Services
Union Rural Electric Cooperative, Inc.
PO Box 393
15461 US Route 36
Marysville, Ohio 43040
Cell: (937) 537-0369
Direct: (937) 645-9241

Re: Subdivision plats - Reviewing agency comments

KH Kyle Hoyng <khoyng@marysvilleohio.org> Reply all |

Tue 12/5, 1:41 PM

Brad Bodenmiller; Jeremy Hoyt <jhoyt@marysvilleohio.org>

Inbox

To help protect your privacy, some content in this message has been blocked. To re-enable the blocked features, click here.

To always show content from this sender, click here.

Flag for follow up. Start by Tuesday, December 05, 2017. Due by Tuesday, December 05, 2017.

You replied on 12/5/2017 1:48 PM.

Brad,

The City of Marysville has no comments on the following plats:
- The Courtyards at Jerome Village, Phase 8
- Eversole Run Neighborhood Section 1 Phase 2

Thanks. Let us know if you have any questions.

Kyle Hoyng, P.E.
Utility Engineer
City of Marysville, Ohio

209 South Main Street
Marysville, Ohio 43040
(937)645-7376 (office)
(937)645-7351 (fax)
khoyng@marysvilleohio.org

On Mon, Dec 4, 2017 at 4:44 PM, Brad Bodenmiller <bradbodenmiller@lucplanning.com> wrote:

> Good afternoon,
>
> Last week, LUC delivered/mailed several distribution letters and subdivision plats. Some of you received as many as 6 distribution letters (depending on location and PUCO territory). This email is a

Reply all | Delete Junk |

The submittals are available online at www.lucplanning.com under "This Month at LUC." Please don't hesitate to call me if you have any questions at (937) 666-3431. Thanks, everyone!

Bradley J. Bodenmiller

Planner II | LUC Regional Planning Commission

P.O. Box 219 | 10820 State Route 347 | East Liberty, Ohio 43319

P: (937) 666-3431 | www.lucplanning.com

0 of 0

Staff Report – Eversole Run Neighborhood, Section 2

Applicant:	**Jerome Village Company, LLC** c/o Gary Nuss 375 North Front Street, Suite 200 Columbus, OH 43215 nussg@nationwide.com **Terrain Evolution, Inc.** c/o Justin Wollenberg, PE 720 East Broad Street, Suite 203 Columbus, OH 43215 jwollenberg@terrainevolution.com
Request:	Approval of the Eversole Run Neighborhood, Section 2 (ERN-2) Preliminary Plat Extension for a period of two (2) years.
Location:	Located west of Jerome Road, north of Wells Road, and south of Harriott Road in Jerome Township, Union County.

Staff Analysis:	This Preliminary Plat Extension is for the Eversole Run Neighborhood, Section 2 (ERN-2) Preliminary Plat. This subdivision involves 79.412 acres of land and proposes 135 lots for single family residential development. The applicant has requested an additional two-year extension. Acreages: ○ 11.554 acres in right-of-way ○ 42.677 acres in single-family residential lots ○ 25.181 acres in reserves (DOS) Proposed utilities: ○ City of Marysville public water system ○ Method of sanitary waste disposal is the Jerome Village collection system and City of Marysville treatment Preliminary Plat: ○ The Eversole Run Neighborhood, Section 2 (ERN-2) Preliminary Plat was originally approved in December 2015.

	• **Union County Engineer's Office** ○ The Engineer's Office's recommended the Preliminary Plat be extended with the modifications recommended in the previously approved Preliminary Plat Extension letter, dated 12-03-2015. • **Union County Soil & Water Conservation District** ○ No comments as of 12-06-2017. • **Union County Health Department** ○ No comments as of 12-06-2017. • **City of Marysville** ○ No comments as of 12-06-2017. • **Jerome Township** ○ No comments as of 12-06-2017. • **ODOT District 6** ○ No comments as of 12-06-2017. • **Ohio Edison** ○ No comments as of 12-06-2017. • **LUC Regional Planning Commission** ○ All 12-10-2015 comments from reviewing agencies and the approval with conditions remain effective (§ 318).

Staff Recommendations:	LUC Staff recommends ***APPROVAL*** of the Eversole Run Neighborhood, Section 2 (ERN-2) Preliminary Plat Extension with the ***condition*** that all comments from LUC and reviewing agencies, including the 12-10-2015 LUC approval, shall be incorporated into the Construction Drawings and the Final Plat. The developer shall ensure that prior to plat submittals, all requirements and items outlined in the Union County Subdivision Regulations are incorporated *prior* to submittal.

Z&S Committee Recommendations:	

TerrainEvolution
terrainevolution.com

720 East Broad Street
Suite 203
Columbus, OH 43215

P: 614.385.1090
info@terrainevolution.com

November 22, 2017

Mr. Dave Gulden, Director
LUC Regional Planning Commission
9676 E. Foundry Street
East Liberty, Ohio 43319

Re: Jerome Village ERN-2
Preliminary Plat Extension Request

Dear Mr. Gulden:

Jerome Village – Eversole Run Neighborhood Section 2 (ERN-2) Preliminary Plat was approved by the LUC Executive Committee December 10, 2015. Per current regulations, it is our understanding that approval of the Preliminary Plat is valid for a period of two (2) years, at which time request for extension is required.

Please accept this letter as our formal request for an extension of the Jerome Village Preliminary Plat for the maximum duration available. Please contact me if we are required to provide additional submittals, i.e. plans, electronic files, etc. to complete the extension approval process.

Should you have any questions, please contact me to discuss.

Respectfully Submitted,
Terrain Evolution, Inc.

Justin Wollenberg, PE, CPESC
Project Manager

CC: File
Nationwide Realty Investors

Logan-Union-Champaign
regional planning commission

Director: Dave Gulden, AICP

Application for Preliminary Plat Approval

Date: 11/20/2017

Name of Subdivision: Eversole Run Neighborhood, Section 2
Location: Jerome Township, Union County, Ohio
Township: Jerome Military Survey: 2991 & 3005
Complete Parcel(s) Identification Number (PIN): See attachment

Have **ALL** Sketch Plan review letters been obtained? Yes (Engineer, SWCD, Board of Health)

Name of Applicant: Jerome Village Company, LLC - Attn: Gary Nuss
Address: 375 North Front Street, Suite 200
City: Columbus State: Ohio Zip: 43215
Phone: 614.857.2334 Fax: 614.857.2346 Email: nussg@nationwide.com

Name of Owner of property to be subdivided: Same as applicant
Address:
City: State: Zip:
Phone: Fax: Email:

Name of Applicant's Surveyor or Engineer: Terrain Evolution, Inc. - Attn: Justin Wollenberg, PE, Project Manager
Address: 720 East Broad Street, Suite 203
City: Columbus State: Ohio Zip: 43215
Phone: 614.385.1092 Fax: 614.385.1085 Email: jwollenberg@terrainevolution.com

Proposed Acreage to be Subdivided: 79.412 Ac.

Current Zoning Classification: PUD

Proposed Zoning Changes: None

Proposed Land Use: Single Family Residential

Development Characteristics
Number of proposed lots: 135 Typical lot width (feet): 80, 85, 90, 100
Number of proposed units: 135 Typical lot area (sq. ft.): 10400, 11050, 11700, 13000
Single Family Units: 135 Multi-Family Units: 0

Acreage to be devoted to recreation, parks or open space: 25.181 Ac.

9676 E. Foundry St, PO Box 219
East Liberty, Ohio 43319
• Phone: 937-666-3431 • Fax: 937-666-6203
• Email: luc-rpc@lucplanning.com • Web: www.lucplanning.com

Recreation facilities to be provided: No

Do you propose deed restrictions? (If yes, attach a copy): Yes X No ____

1. Proposed method of Supplying Water Service: City of Marysville water system

2. Proposed method of Sanitary Waste Disposal: Jerome Village Collection & City of Marysville treatment
(If on-site disposal systems are proposed, please attach letter certifying the County Board of Health approval)

3. Requests for Variances from Subdivision Regs: See Preliminary Plat cover sheet for variances
(If yes, please explain variances and reason for variances)

List all proposed improvements and utilities and state your intention to install or provide a guarantee prior to final plat approval:

	Improvement	Installation	Guarantee
a.	Public Roadway		x
b.	Storm sewer Collection & Mgnt		x
c.	Water Distribution		x
d.	Sanitary Sewer Collection System		x
e.			

For Official Use

Date filed: _____ Filing Fee: _____

Date of Meeting of Planning Commission: _____

Action by Planning Commission: _____

If rejected, reason(s) for: _____

Logan-Union-Champaign
regional planning commission

Director: Dave Gulden, AICP

Preliminary Plat Review Checklist

#	Required Item Description	Have	Need
1	Drawn at a scale not less than 1:100 and shall be on one or more sheets 24" X 36"	x	
2	Proposed name of the subdivision, which shall not duplicate or closely approximate the name of any other subdivision in the county.	x	
3	Location by section, range, and township or Virginia Military Survey (VMS).	x	
4	Names, addresses and telephone numbers of the owner, subdivider, and professional surveyor or professional engineer who prepared the plat; and the name, address and telephone number of the professional surveyor who performed the boundary survey.	x	
5	Date of survey.	x	
6	Scale of the plat, north point, and date.	x	
7	Boundaries of the subdivision and its acreage.	x	
8	Names of adjacent subdivisions, owners of record of adjoining parcels of unsubdivided land, and the location of their boundary lines.	x	
9	Locations, widths, and names of existing streets, railroad rights-of-way, easements, parks, permanent buildings, and corporation and township lines; location of wooded areas and other significant natural features; soil types and soil type limits; limits of Flood Hazard zones.	x	
10	Zoning classification of the tract and adjoining properties.	x	
11	Existing contours (USGS datum) at an interval of not greater than two feet if the slope of the ground is fifteen percent or less; and not greater than five feet where the slope is more than fifteen percent.	x	
12	Existing sewers, water and gas mains, culverts and other underground structures, and electric and telephone poles and lines and other above ground structures within and adjacent to the tract.	x	
13	Layout, names and widths of proposed streets and easements.	x	
14	Building setback lines with dimensions.	x	
15	Layout and dimensions of all proposed water and sewer lines, showing their connections with the existing systems, and all proposed easements for utility, water and sewer lines.	x	
16	Layout, numbers and approximate dimensions of each lot. When lots are located on a curve or when side lot lines are not at ninety degree angles, the width at the building line shall be shown, if it is less than the frontage width. Location of access from lots to the proposed streets shall be shown.	x	
17	Parcels of land to be reserved for public use or to be reserved by covenant for residents of the subdivision.	x	

9676 E. Foundry St, PO Box 219
East Liberty, Ohio 43319
• Phone: 937-666-3431 • Fax: 937-666-6203
• Email: luc-rpc@lucplanning.com • Web: www.lucplanning.com

18	The limits of all Flood Hazard Areas (zone A, AE, B, and X) as determined by the Federal Emergency Management Agency (show the FEMA map number and date). The Base Flood Elevation shall be determined and shown. Minimum first floor elevations shall be shown for all lots located within Flood Hazard Areas.	x	

Supplementary Information			
19	Statement of proposed use of lots, giving the type and number of dwelling units; and type of business or industry if use is not residential.	x	
20	Description of proposed covenants and restrictions.	x	
21	Description of proposed zoning changes.	x	
22	Typical sections and tentative profiles of streets and other related improvements as required in Article 5. Calculations as required to justify horizontal and vertical curves, pipe sizes, etc. The County Engineer shall have approved the layout and design of the lots, streets and other improvements prior to the Preliminary Plat approval.	x	
23	A preliminary drainage plan which shall identify adequate drainage outlets and shall contain adequate measures for control of erosion and siltation and for surface water management in accordance with Article 5 and the Technical Design Standards. The County Soil and Water Conservation District shall have approved the preliminary drainage plan prior to Preliminary Plat approval.	x	
24	If the subdivider proposes individual household sewage systems, the County Board of Health or the OEPA shall have approved the use of individual household sewage systems prior to the Preliminary Plat approval. N/A		
25	If the subdivider proposes individual household wells, the subdivider shall supply evidence acceptable to the County Board of Health of the availability of satisfactory water. The County Board of Health or the OEPA shall have approved the use of individual household wells prior to the Preliminary Plat approval. N/A		
26	Letters from utility companies, as required, indicates approval of easement locations and widths prior to the Preliminary Plat approval.		x
27	A vicinity map at scale of generally not more than six thousand feet to an inch shall be shown on, or shall accompany, the Preliminary Plat. This map shall show all existing subdivisions, roads, and tract lines, together with the names of the owners of land immediately adjoining the proposed subdivision and between it and the nearest existing thoroughfares. It shall also show the most advantageous connections between the roads in the proposed subdivision and those of the neighboring areas.	x	
28	Preliminary Plat Fees: Payment/Check made out to LUC Regional Planning Commission, based on the current fee schedule.	x	

PRELIMINARY PLAT PLANS FOR

EVERSOLE RUN NEIGHBORHOOD SECTION 2

VIRGINIA MILITARY SURVEY (VMS) 2991 & 3005

JEROME TOWNSHIP, UNION COUNTY, OHIO

BENCH MARKS

SOURCE — FRANKLIN COUNTY ENGINEERING DEPARTMENT MONUMENT 04–0087. ELEV.=998.117 (NAVD 88)

UNION COUNTY B.M. — 1.2 MILES SOUTH ALONG STATE HIGHWAY 38 FROM THE SOUTH CORPORATION LIMIT OF MARYSVILLE, UNION COUNTY AT THE JUNCTION OF A ROAD LEADING WEST, 33.9' WEST OF THE CENTERLINE OF STATE HIGHWAY 38, 23.8' SOUTH OF THE CENTERLINE OF THE ROAD. 3.0' SOUTH OF A FENCE CORNER POST AND ABOUT 4' LOWER THAN THE HIGHWAY. A UNITED STATES GEOLOGICAL SURVEY STANDARD DISK, STAMPED 1022 AND SET IN THE TOP OF A CONCRETE POST. ELEV.=1019.61 (NAVD 88)

B.M. #1 — PK IN SIDE OF UTILITY POLE, SOUTH SIDE OF WELLS ROAD, 150'± WEST OF GPS CONTROL POINT #50226. ELEV.=971.61 (NAVD 88)

B.M. #101 — IRON PIN SET IN THE GROUND, 32'± EAST OF THE CENTERLINE OF JEROME ROAD, 1650'± SOUTH OF CENTERLINE OF BLANEY ROAD, 2910'± NORTH OF CENTERLINE OF HILL ROAD.
N40°11'24.79", W83°10'49.00"
ELEV.=962.96 (NAVD 88)

B.M. #102 — IRON PIN SET IN THE GROUND, 62'± SOUTH OF CENTERLINE OF OLD WELLS ROAD, 90'± EAST OF CENTERLINE OF JEROME ROAD, 233'± NORTH OF CENTERLINE OF WELLS ROAD.
ELEV.=960.87 (NAVD 88)

B.M. #103 — IRON PIN SET IN THE GROUND, 39'± EAST OF THE CENTERLINE OF HYLAND–CROY ROAD, 172'± NORTH OF CENTERLINE OF WELLS ROAD, IN FRONT OF RESIDENCE #7700. ELEV.=971.75 (NAVD 88)

B.M. #104 — IRON PIN SET IN THE GROUND, SOUTHWEST SIDE OF WELLS ROAD REGIONAL PUMP STATION, 39'± NORTH OF CENTERLINE OF WELLS ROAD. ELEV.=966.32 (NAVD 88)

B.M. #105 — IRON PIN SET IN THE GROUND, 38'± SOUTHEAST OF THE CENTERLINE OF US 42, 4662'± SOUTHWEST OF THE CENTERLINE OF HARRIOT ROAD, 4862'± NORTH OF CENTERLINE OF WELLS ROAD.
N40°11'08.09", W83°12'26.03"
ELEV.=979.78 (NAVD 88)

B.M. #106 — IRON PIN SET IN THE GROUND, NORTHEAST OF FUTURE RAVENHILL PARKWAY AND HYLAND–CROY ROAD ROUNDABOUT.
N40°11'02.65", W83°11'24.36"
ELEV.=967.05 (NAVD 88)

STORMWATER MANAGEMENT

THE STORMWATER MANAGEMENT CALCULATIONS ARE BASED ON THE CRITICAL STORM CALCULATION. DEVELOPED AREAS SHALL BE REQUIRED TO RELEASE THE CRITICAL STORM AND ALL LESSER STORMS AT A RATE NO GREATER THAN THE PREDEVELOPED ONE YEAR STORM EVENT. ALL STORMS OF GREATER INTENSITY THAN THAT OF THE CRITICAL STORM SHALL RELEASE AT THEIR RESPECTIVE PREDEVELOPED RATES PER UNION COUNTY REGULATIONS.

THE EXISTING LAND USE CONSISTS OF VACANT LAND THAT HAS BEEN FARMED AS WELL AS LEFT FALLOW. THE TRIBUTARY AREAS FOR THIS STUDY ACCUMULATE AND DISCHARGE TO POND–250, P–251 & P–252 THROUGH EVERSOLE RUN.

PROPOSED POND
PROPOSED DETENTION & RETENTION PONDS WILL BE USED FOR STORMWATER MANAGEMENT PURPOSES. PONDS WILL BE WITHIN AN EASEMENT.

WATER QUALITY
WATER QUALITY VOLUMES WILL BE CONTAINED IN THE PROPOSED STORMWATER MANAGEMENT BASINS AND RELEASED IN ACCORDANCE WITH THE OHIO EPA NPDES GENERAL PERMIT NO. OHC000004.

FLOODPLAIN

THE ERN–2 DEVELOPMENT SITE IS LOCATED IN ZONE X, OUTSIDE OF 500–YEAR FLOODPLAIN ON FLOOD INSURANCE RATE MAP, UNION COUNTY, OHIO, #39159C0390D, EFFECTIVE DATE DECEMBER 16 2008.

OPEN SPACE

OPEN SPACE INCLUDING THE DEDICATED OPEN SPACE IN ERN–2 IS TO BE OWNED AND MAINTAINED BY JEROME VILLAGE COMMUNITY AUTHORITY. USE OF OPEN SPACE IS TO BE RESTRICTED TO NECESSARY STORMWATER MANAGEMENT FACILITIES, UTILITY EASEMENTS AND RECREATIONAL USE.

VARIANCE

VARIANCE HAS BEEN APPROVED FROM THE UNION COUNTY SUBDIVISION REGULATIONS, SECTION 406, MINIMUM RIGHT–OF–WAY WIDTHS TO ALLOW A 50' RIGHT–OF–WAY WIDTH FOR ALL LOCAL STREET CLASSIFICATIONS WITHIN JEROME VILLAGE. RESOLUTION #306–09. DATED 6–11–09.

ZONING

EVERSOLE RUN NEIGHBORHOOD, SECTION 2 WAS ZONED PUD AS PART OF THE JEROME VILLAGE DEVELOPMENT, APPROVED BY JEROME TOWNSHIP, APRIL 23, 2007. MODIFIED ZONING APPROVAL BY JEROME TOWNSHIP, SEPTEMBER 28, 2015.

UTILITY COMPANIES

ELECTRIC
OHIO EDISON
1040 SOUTH PROSPECT ST.
MARION, OH 43302
P: (800) 633–4766
F: (740) 382–7108

UNION RURAL ELECTRIC
15461 U.S. ROUTE 36E
P.O. BOX 393
MARYSVILLE, OHIO 43040
P: (937) 642–1826
F: (937) 644–4239

GAS
COLUMBIA GAS
920 W. GOODALE BLVD.
COLUMBUS, OH 43212
P: (614) 460–2172
F: (614) 989–1207

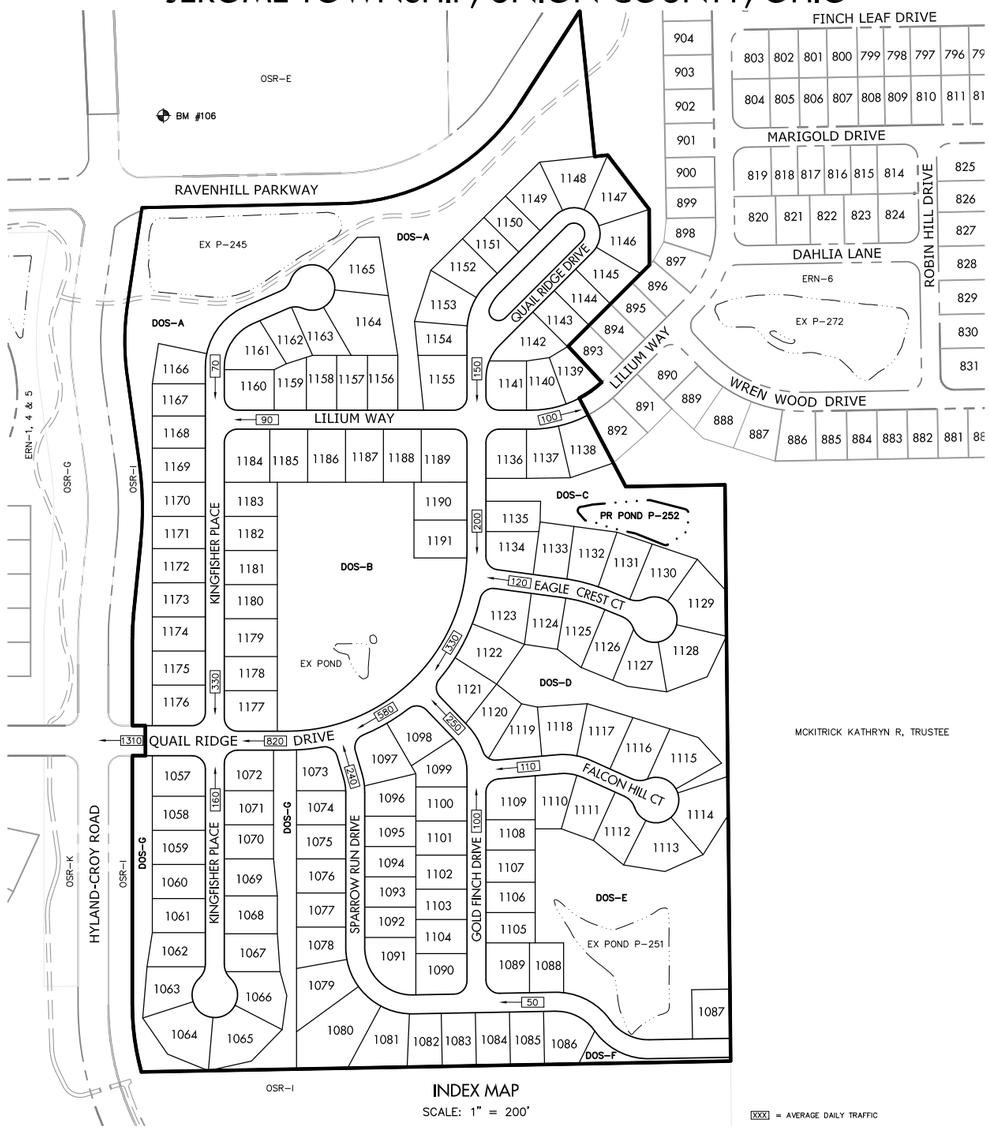
WATER
CITY OF MARYSVILLE
PUBLIC SERVICE CENTER
455 NORTH MAPLE STREET
MARYSVILLE, OHIO 43040
P: (937) 642–0116
F: (937) 642–0179

WASTEWATER
CITY OF MARYSVILLE
WASTEWATER DEPARTMENT
12901 BEECHER–GAMBLE ROAD MARYSVILLE, OHIO 43040
P: (937) 642–1036
F: (937) 642–9792

TELEPHONE/CABLE/INTERNET
TIME WARNER CABLE
P.O. BOX 2553
COLUMBUS, OHIO 43216
P: (614) 481–5263
F: (614) 255–6428

FRONTIER COMMUNICATIONS
550 LEADER STREET
MARION, OHIO 43302
P: (740) 383–0729
F: (937) 382–1910

OHIO Utilities Protection SERVICE
811 or 1-800-362-2764 Call Before You Dig

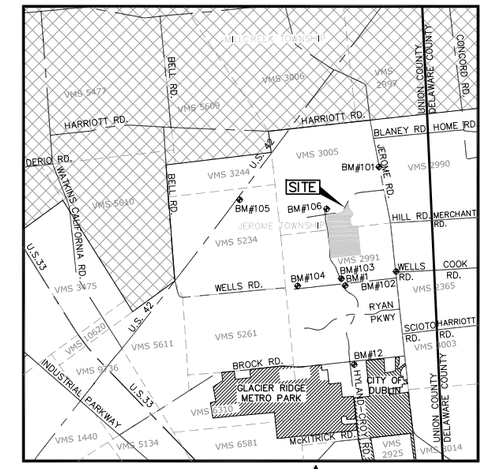


INDEX MAP
SCALE: 1" = 200'

XXX = AVERAGE DAILY TRAFFIC

SHEET INDEX

1	COVER SHEET
2	TYPICAL SECTION & DETAILS
3–4	PRELIMINARY PLAT
5–6	COMPOSITE UTILITY PLAN
7–18	PRELIMINARY STREET PLAN & PROFILE
19	EXISTING CONDITIONS PLAN
20–21	OVERALL PRELIMINARY GRADING PLAN
22	STORMWATER MANAGEMENT PLAN
23–24	STORMWATER POLLUTION PREVENTION PLAN



LOCATION MAP
SCALE: 1" = 4000'

GENERAL DEVELOPMENT SUMMARY

	PROPOSED	ZONED
TOTAL AREA (ACRES)	79.412	80.5
OPEN SPACE	25.181	25.0
RIGHT–OF–WAY (50')	11.554	
LOTS	42.677	
NUMBER OF LOTS	135	162
80' FRONTAGE	29	162
85' FRONTAGE	10	–
90' FRONTAGE	65	–
100' FRONTAGE	31	–
DENSITY (UNITS/ACRE)		
GROSS (# LOTS/TOTAL AREA)	1.700	2.012
NET (# LOTS/LOT AREA)	3.316	–
MINIMUM LOT SIZE		
80' FRONTAGE	10,400 SF	
85' FRONTAGE	11,050 SF	
90' FRONTAGE	11,700 SF	
100' FRONTAGE	13,000 SF	

SETBACKS	80'	85'	90'	100'
FRONT YARD (FROM R/W)	25'	25'	25'	25'
REAR YARD	30'	30'	30'	30'
SIDE YARD	6'	6'	8'	10'

DOS = DEDICATED OPEN SPACE
OSR = OPEN SPACE RESERVE

DEVELOPER/OWNER:

JEROME VILLAGE
JEROME VILLAGE COMPANY, LLC
ATTN: GARY NUSS
375 N. FRONT STREET
COLUMBUS, OH 43215
P: 614–857–2334
F: 614–857–2346

SURVEYOR

AMERICAN LAND SURVEYORS, LLC.
ATTN: JON (BRETT) ADCOCK
1346 HEMLOCK COURT
LANCASTER, OHIO 43130
P: 614–837–0800
F: 740–415–6599

SURVEY DATA

DESCRIPTION	EXISTING PARCEL ID NUMBER	BOUNDARY SURVEY DATE
HENDERLONG	1700100210010	6/30/2014
HENDERLONG	1700100211010	12/5/2006
MILLER	1700100150010	3/13/2006
ANDREWS	1700120110000	2/1/2006
JOHNSTON	1700120121000	6/9/2006
WILCOX	1700100201000	10/31/2006

GRAPHIC SCALE
200 100 0 200
(IN FEET)
1 inch = 200 ft.

CHANGE ORDER SCHEDULE

#	DESCRIPTION OF CHANGE	SHEET NO.	BY	DATE	APPROVAL

TerrainEvolution
Your bridge between Vision and Success
720 East Broad Street | Suite 203 | Columbus, OH 43215
P: 614.385.1090 | F: 614.385.1085 | E: info@terrainevolution.com

JEROME TOWNSHIP, UNION COUNTY, OHIO
JEROME VILLAGE
EVERSOLE RUN NEIGHBORHOOD SECTION 2
COVER SHEET

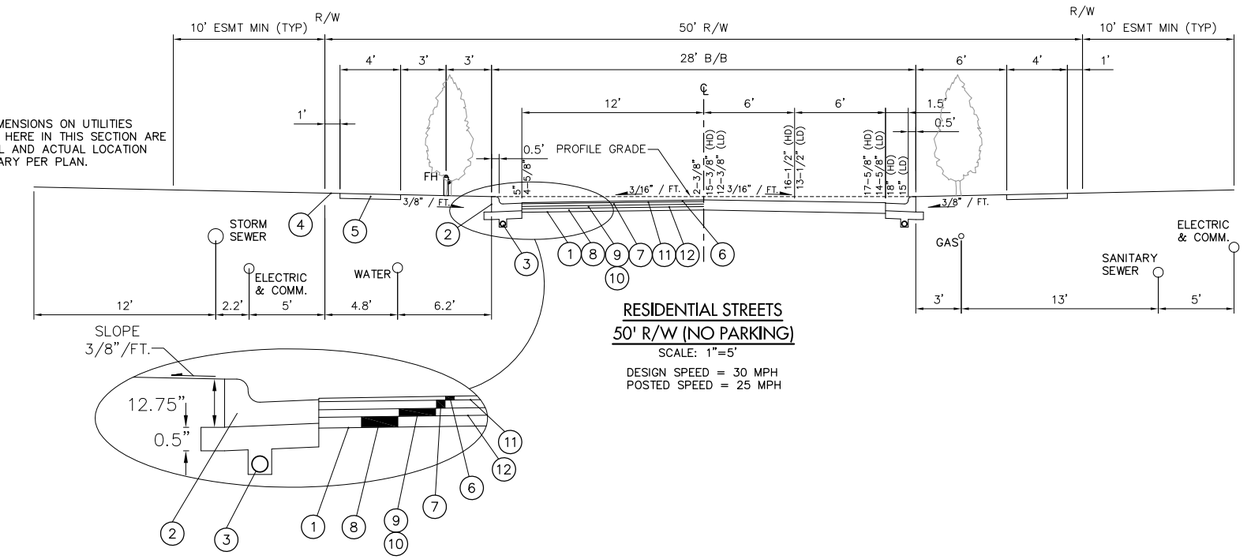
DRAWING SET STATUS:
- [x] PRELIMINARY ENGINEERING SET
- [ ] AGENCY REVIEW SET
- [ ] CONSTRUCTION DOCUMENT SET
- [ ] AS-BUILT DOCUMENT SET

DESIGN	DRAFT	CHECK
DGR	DGR	JPW

PROJECT NO.: 13-008
DATE: OCTOBER, 2015
SCALE: HORIZONTAL: 1" = 200' VERTICAL: N/A

SHEET NO.: 1/24

\\13-008\DWG\COVER\Engineering 13-008.dwg Plotted on 11/17/2015 8:30:05 by jpw - © Terrain Evolution, Inc.

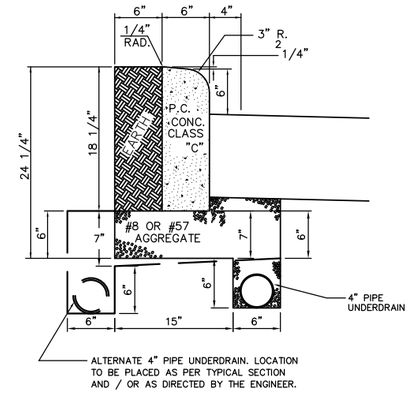


ALL DIMENSIONS ON UTILITIES SHOWN HERE IN THIS SECTION ARE TYPICAL AND ACTUAL LOCATION MAY VARY PER PLAN.

RESIDENTIAL STREETS
50' R/W (NO PARKING)

SCALE: 1"=5'

DESIGN SPEED = 30 MPH
POSTED SPEED = 25 MPH



STRAIGHT 18" CONCRETE CURB

NOT TO SCALE

LIGHT DUTY:
EAGLE CREST COURT
FALCON HILL COURT
KINGFISHER PLACE
STA BP–6+21.76
STA 15+66.82–EP
QUAIL RIDGE DRIVE
STA 16+93.21–EP
GOLD FINCH DRIVE
STA 3+21.30–EP

1. ITEM 204, SUBGRADE COMPACTION
2. ITEM 609, STANDARD CONCRETE COMBINED CURB & GUTTER
3. ITEM 605, 4" PIPE UNDERDRAIN W/NO.8 OR NO.57 STONE
4. ITEM 659, SEEDING & MULCHING
5. ITEM 608, 4" CONCRETE SIDEWALK
6. ITEM 448, 1–1/4" ASPHALT CONCRETE, SURFACE COURSE, TYPE 1, PG 64–22
7. ITEM 448, 1–3/4" ASPHALT CONCRETE, INTERMEDIATE COURSE, TYPE 2, PG 64–22
8. ITEM 304, 4" AGGREGATE BASE
9. ITEM 301, 3" BITUMINOUS AGGREGATE BASE COURSE
11. ITEM 407, TACK COAT (0.075 GAL/SY)
12. ITEM 408, PRIME COAT (0.50 GAL/SY)

SN = 2.66

HEAVY DUTY:
LILIUM WAY
KINGFISHER PLACE
STA 6+21.76–15+66.82
QUAIL RIDGE DRIVE
STA BP–16+93.21
SPARROW RUN DRIVE
GOLD FINCH DRIVE
STA BP–3+21.30

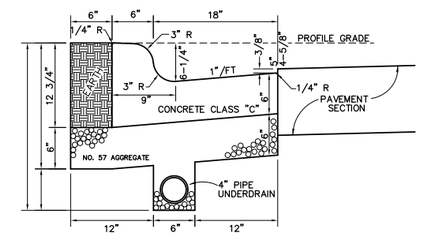
1. ITEM 204, SUBGRADE COMPACTION
2. ITEM 609, STANDARD CONCRETE COMBINED CURB & GUTTER
3. ITEM 605, 4" PIPE UNDERDRAIN W/NO.8 OR NO.57 STONE
4. ITEM 659, SEEDING & MULCHING
5. ITEM 608, 4" CONCRETE SIDEWALK
6. ITEM 448, 1–1/4" ASPHALT CONCRETE, SURFACE COURSE, TYPE 1, PG 64–22
7. ITEM 448, 1–3/4" ASPHALT CONCRETE, INTERMEDIATE COURSE, TYPE 2, PG 64–22
8. ITEM 304, 4" AGGREGATE BASE
10. ITEM 301, 6" BITUMINOUS AGGREGATE BASE COURSE
11. ITEM 407, TACK COAT (0.075 GAL/SY)
12. ITEM 408, PRIME COAT (0.50 GAL/SY)
13. STRAIGHT 18" CONCRETE CURB

SN = 3.71

RCC PAVEMENT BUILDUP:
(ALTERNATIVE)

1. ITEM 204, SUBGRADE COMPACTION
2. ITEM 609, STANDARD CONCRETE COMBINED CURB & GUTTER
3. ITEM 605, 4" PIPE UNDERDRAIN W/NO.8 OR NO.57 STONE
4. ITEM 659, SEEDING & MULCHING
5. ITEM 608, 4" CONCRETE SIDEWALK
6. ITEM 448, 1–1/4" ASPHALT CONCRETE, SURFACE COURSE, TYPE 1, PG 64–22
7. ITEM 448, 1–3/4" ASPHALT CONCRETE, INTERMEDIATE COURSE, TYPE 2, PG 64–22
8. ITEM 304, 4" AGGREGATE BASE
9. 6" ROLLER–COMPACTED CONCRETE
11. ITEM 407, TACK COAT (0.075 GAL/SY)
12. ITEM 408, PRIME COAT (0.50 GAL/SY)

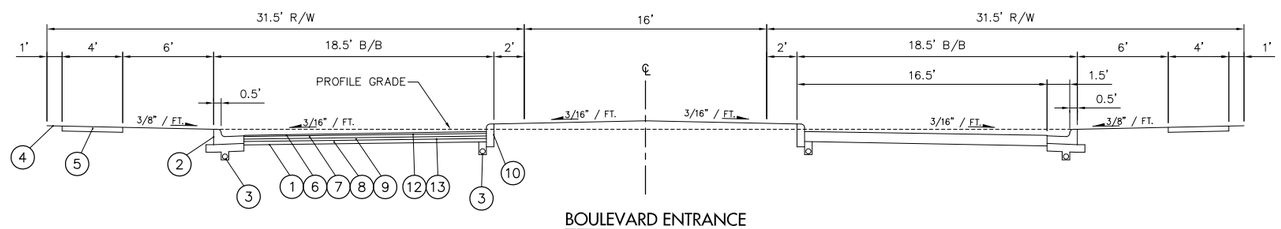
SN = 3.71



NOTE: CLASS "C" CONCRETE, 6 1/2 BAG MIX, 7 TO 9% AIR ENTRAINMENT

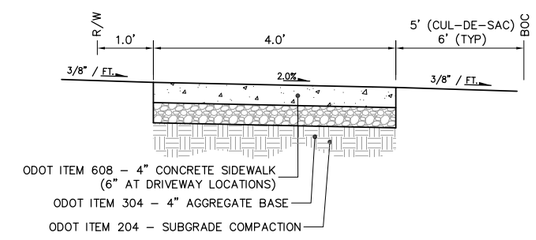
STANDARD CONCRETE COMINBED CURB & GUTTER UNION COUNTY STD. DWG. #7

NOT TO SCALE



BOULEVARD ENTRANCE

SCALE: 1"=5'



NOTES:

- LIGHT BROOM FINISH, PERPENDICULAR TO DIRECTION OF TRAVEL
- HAND–TOOLED, 3/4" DEEP JOINT EVERY 5.0" W/ 4" TOOL (RETRACED)
- EDGES TO BE HAND–TOOLED W/ 4" TOOL (RETRACED)
- EXPANSION JOINT EVERY 5TH BLOCK (25.0')

CONCRETE SIDEWALK

NOT TO SCALE

GRAPHIC SCALE
5 2.5 0 5
(IN FEET)
1 inch = 5 ft.

CHANGE ORDER SCHEDULE

#	DESCRIPTION OF CHANGE	SHEET NO.	APPROVALS BY	DATE

TerrainEvolution
Your bridge between Vision and Success
720 East Broad Street | Suite 203 | Columbus, OH 43215
P: 614.385.1090 | F: 614.385.1085 | E: info@terrainevolution.com

JEROME TOWNSHIP, UNION COUNTY, OHIO

JEROME VILLAGE

EVERSOLE RUN NEIGHBORHOOD SECTION 2

TYPICAL SECTION & DETAILS

DRAWING SET STATUS:
- [x] PRELIMINARY ENGINEERING SET
- [ ] AGENCY REVIEW SET
- [ ] CONSTRUCTION DOCUMENT SET
- [ ] AS-BUILT DOCUMENT SET

DESIGN	DRAFT	CHECK
DGR	DGR	JPW

PROJECT NO.: 13-008

DATE: OCTOBER, 2015

SCALE:
HORIZONTAL: 1" = 5'
VERTICAL: N/A

SHEET NO.: 2/24

LEGEND

EXISTING:
- RIGHT-OF-WAY
- ROADWAY CENTERLINE
- UTILITY EASEMENT

PROPOSED:
- RIGHT-OF-WAY
- ROADWAY CENTERLINE
- UTILITY EASEMENT
- BUILDING SETBACK LINE
- DEDICATED OPEN SPACE
- OPEN SPACE RESERVE

N

GRAPHIC SCALE
100 50 0 100
(IN FEET)
1 inch = 100 ft.

RIGHT-OF-WAY CENTERLINE CURVE TABLE					
CURVE #	RADIUS	Δ	LENGTH	CHORD BEARING	CHORD DISTANCE
C1	150.00'	55°28'56"	145.25'	S68°36'44.55"E	139.64'
C2	150.00'	55°28'55"	145.25'	S68°36'44.06"E	139.64'
C3	150.00'	91°03'39"	238.40'	S50°49'22.07"E	214.09'
C4	150.00'	16°19'00"	42.72'	S13°27'02.84"E	42.57'
C5	150.00'	43°55'48"	115.01'	N27°10'32.45"W	112.21'
C6	150.00'	29°13'34"	76.51'	N85°40'45.51"W	75.69'
C7	450.00'	14°38'11"	114.95'	N80°22'24.54"W	114.64'
C8	500.00'	90°00'00"	785.40'	N39°42'27.32"E	707.11'
C9	300.00'	27°46'15"	145.41'	S70°49'19.81"W	143.99'
C10	150.00'	66°21'30"	173.73'	N27°53'12.32"E	164.18'
C11	150.00'	45°00'00"	117.81'	N17°12'27.32"E	114.81'

GENERAL DEVELOPMENT SUMMARY

	PROPOSED	ZONED
TOTAL AREA (ACRES)	79.412	80.5
OPEN SPACE	25.181	25.0
RIGHT-OF-WAY (50')	11.554	
LOTS	42.677	
NUMBER OF LOTS	135	162
80' FRONTAGE	29	162
85' FRONTAGE	10	–
90' FRONTAGE	65	–
100' FRONTAGE	31	–
DENSITY (UNITS/ACRE)		
GROSS (# LOTS/TOTAL AREA)	1.700	2.012
NET (# LOTS/LOT AREA)	3.316	–
MINIMUM LOT SIZE		
80' FRONTAGE	10,400 SF	
85' FRONTAGE	11,050 SF	
90' FRONTAGE	11,700 SF	
100' FRONTAGE	13,000 SF	

SETBACKS	80'	85'	90'	100'
FRONT YARD (FROM R/W)	25'	25'	25'	25'
REAR YARD	30'	30'	30'	30'
SIDE YARD	6'	6'	8'	10'

DOS = DEDICATED OPEN SPACE
OSR = OPEN SPACE RESERVE

CHANGE ORDER SCHEDULE

#	DESCRIPTION OF CHANGE	SHEET NO.	APPROVALS BY	DATE

TerrainEVolution
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JEROME TOWNSHIP, UNION COUNTY, OHIO

JEROME VILLAGE

EVERSOLE RUN NEIGHBORHOOD
SECTION 2

PRELIMINARY PLAT

DRAWING SET STATUS:
- ■ PRELIMINARY ENGINEERING SET
- ☐ AGENCY REVIEW SET
- ☐ CONSTRUCTION DOCUMENT SET
- ☐ AS-BUILT DOCUMENT SET

DESIGN	DRAFT	CHECK
DGR	DGR	JPW

PROJECT NO.: 13-008

DATE: OCTOBER, 2015

SCALE:
HORIZONTAL: 1" = 100'
VERTICAL: N/A

SHEET NO.: 3/24

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RIGHT-OF-WAY CENTERLINE CURVE TABLE					
CURVE #	RADIUS	Δ	LENGTH	CHORD BEARING	CHORD DISTANCE
C1	150.00'	55°28'56"	145.25'	S68°36'44.55"E	139.64'
C2	150.00'	55°28'55"	145.25'	S68°36'44.06"E	139.64'
C3	150.00'	91°03'39"	238.40'	S50°49'22.07"E	214.09'
C4	150.00'	16°19'00"	42.72'	S13°27'02.84"E	42.57'
C5	150.00'	43°55'48"	115.01'	N27°10'32.45"W	112.21'
C6	150.00'	29°13'34"	76.51'	N85°40'45.51"W	75.69'
C7	450.00'	14°38'11"	114.95'	N80°22'24.54"W	114.64'
C8	500.00'	90°00'00"	785.40'	N39°42'27.32"E	707.11'
C9	300.00'	27°46'15"	145.41'	S70°49'19.81"W	143.99'
C10	150.00'	66°21'30"	173.73'	N27°53'12.32"E	164.18'
C11	150.00'	45°00'00"	117.81'	N17°12'27.32"E	114.81'

GENERAL DEVELOPMENT SUMMARY

	PROPOSED	ZONED			
TOTAL AREA (ACRES)	79.412	80.5			
OPEN SPACE	25.181	25.0			
RIGHT-OF-WAY (50')	11.554				
LOTS	42.677				
NUMBER OF LOTS	135	162			
80' FRONTAGE	29	162			
85' FRONTAGE	10	–			
90' FRONTAGE	65	–			
100' FRONTAGE	31	–			
DENSITY (UNITS/ACRE)					
GROSS (# LOTS/TOTAL AREA)	1.700	2.012			
NET (# LOTS/LOT AREA)	3.316	–			
MINIMUM LOT SIZE					
80' FRONTAGE	10,400 SF				
85' FRONTAGE	11,050 SF				
90' FRONTAGE	11,700 SF				
100' FRONTAGE	13,000 SF				
SETBACKS	80'	85'	90'	100'	
FRONT YARD (FROM R/W)	25'	25'	25'	25'	
REAR YARD	30'	30'	30'	30'	
SIDE YARD	6'	6'	8'	10'	

DOS = DEDICATED OPEN SPACE
OSR = OPEN SPACE RESERVE

GRAPHIC SCALE
100 50 0 100
(IN FEET)
1 inch = 100 ft.

CHANGE ORDER SCHEDULE

#	DESCRIPTION OF CHANGE	SHEET NO.	BY	DATE

TerrainEvolution
Your bridge between Vision and Success
720 East Broad Street | Suite 203 | Columbus, OH 43215
P: 614.385.1090 | F: 614.385.1085 | E: info@terrainevolution.com

JEROME TOWNSHIP, UNION COUNTY, OHIO

JEROME VILLAGE

EVERSOLE RUN NEIGHBORHOOD
SECTION 2

PRELIMINARY PLAT

DRAWING SET STATUS:
- [x] PRELIMINARY ENGINEERING SET
- [ ] AGENCY REVIEW SET
- [ ] CONSTRUCTION DOCUMENT SET
- [ ] AS-BUILT DOCUMENT SET

DESIGN	DRAFT	CHECK
DGR	DGR	JPW

PROJECT NO.: 13-008
DATE: OCTOBER, 2015
SCALE: HORIZONTAL: 1" = 100' VERTICAL: N/A

SHEET NO.: 4/24

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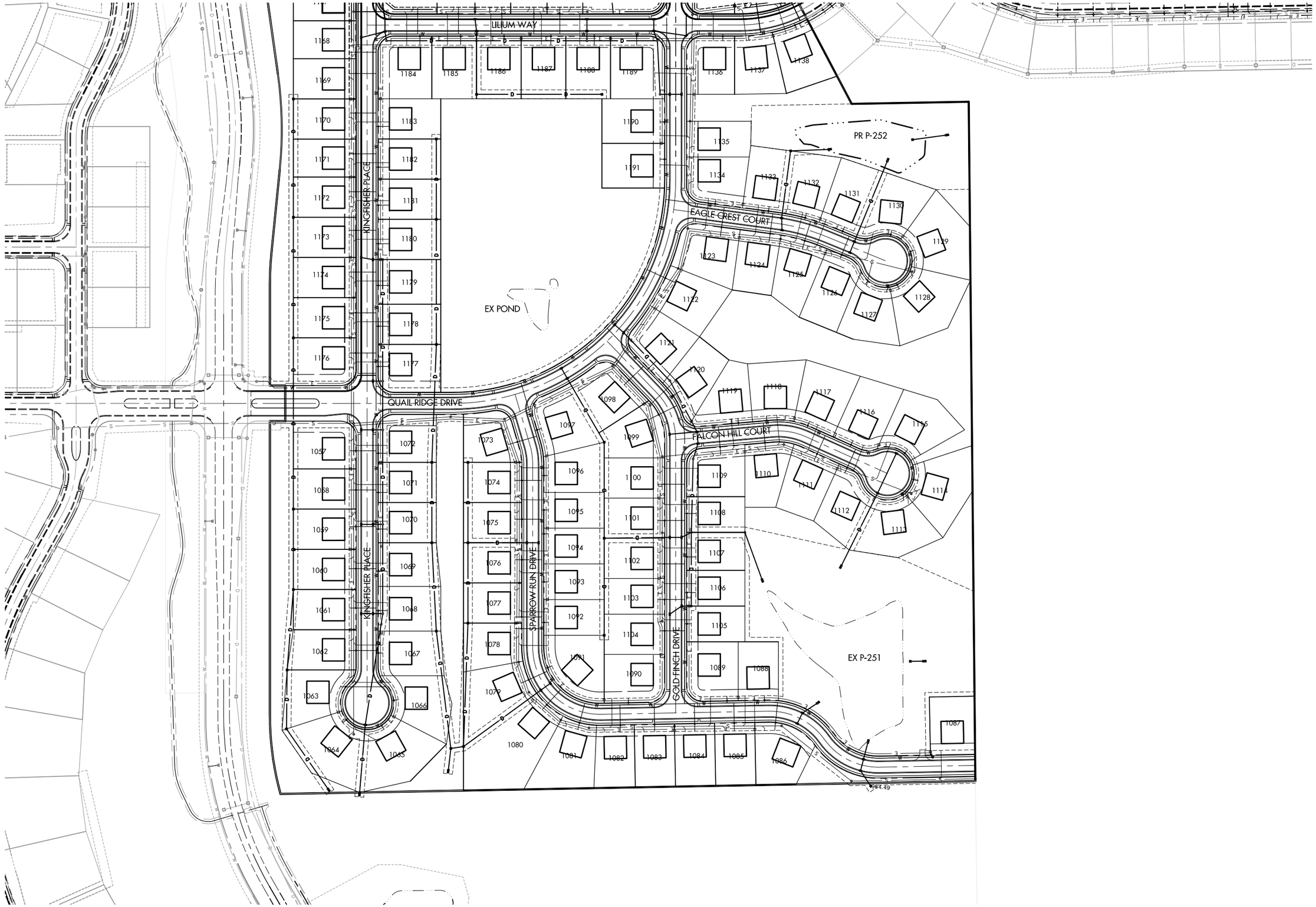

GRAPHIC SCALE

100 50 0 100

(IN FEET)
1 inch = 100 ft.

CHANGE ORDER SCHEDULE

#	DESCRIPTION OF CHANGE	SHEET NO.	APPROVALS BY	DATE

TerrainEvolution
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JEROME TOWNSHIP, UNION COUNTY, OHIO

JEROME VILLAGE

EVERSOLE RUN NEIGHBORHOOD
SECTION 2

COMPOSITE UTILITY PLAN

DRAWING SET STATUS:
- ■ PRELIMINARY ENGINEERING SET
- □ AGENCY REVIEW SET
- □ CONSTRUCTION DOCUMENT SET
- □ AS-BUILT DOCUMENT SET

DESIGN	DRAFT	CHECK
DGR	DGR	JPW

PROJECT NO.: 13-008

DATE: OCTOBER, 2015

SCALE:
HORIZONTAL: 1" = 100'
VERTICAL: N/A

SHEET NO.: 5 /24

GRAPHIC SCALE

100 50 0 100

(IN FEET)
1 inch = 100 ft.

CHANGE ORDER SCHEDULE

#	DESCRIPTION OF CHANGE	SHEET NO.	APPROVALS BY	DATE

TerrainEvolution
Your bridge between ***Vision*** *and* ***Success***
720 East Broad Street | Suite 203 | Columbus, OH 43215
P: 614.385.1090 | **F:** 614.385.1085 | **E:** info@terrainevolution.com

JEROME TOWNSHIP, UNION COUNTY, OHIO

JEROME VILLAGE

EVERSOLE RUN NEIGHBORHOOD
SECTION 2

COMPOSITE UTILITY PLAN

DRAWING SET STATUS:
- ■ PRELIMINARY ENGINEERING SET
- ☐ AGENCY REVIEW SET
- ☐ CONSTRUCTION DOCUMENT SET
- ☐ AS-BUILT DOCUMENT SET

DESIGN	DRAFT	CHECK
DGR	DGR	JPW

PROJECT NO.: 13-008

DATE: OCTOBER, 2015

SCALE:
HORIZONTAL: 1" = 100'
VERTICAL: N/A

SHEET NO.: 6/24

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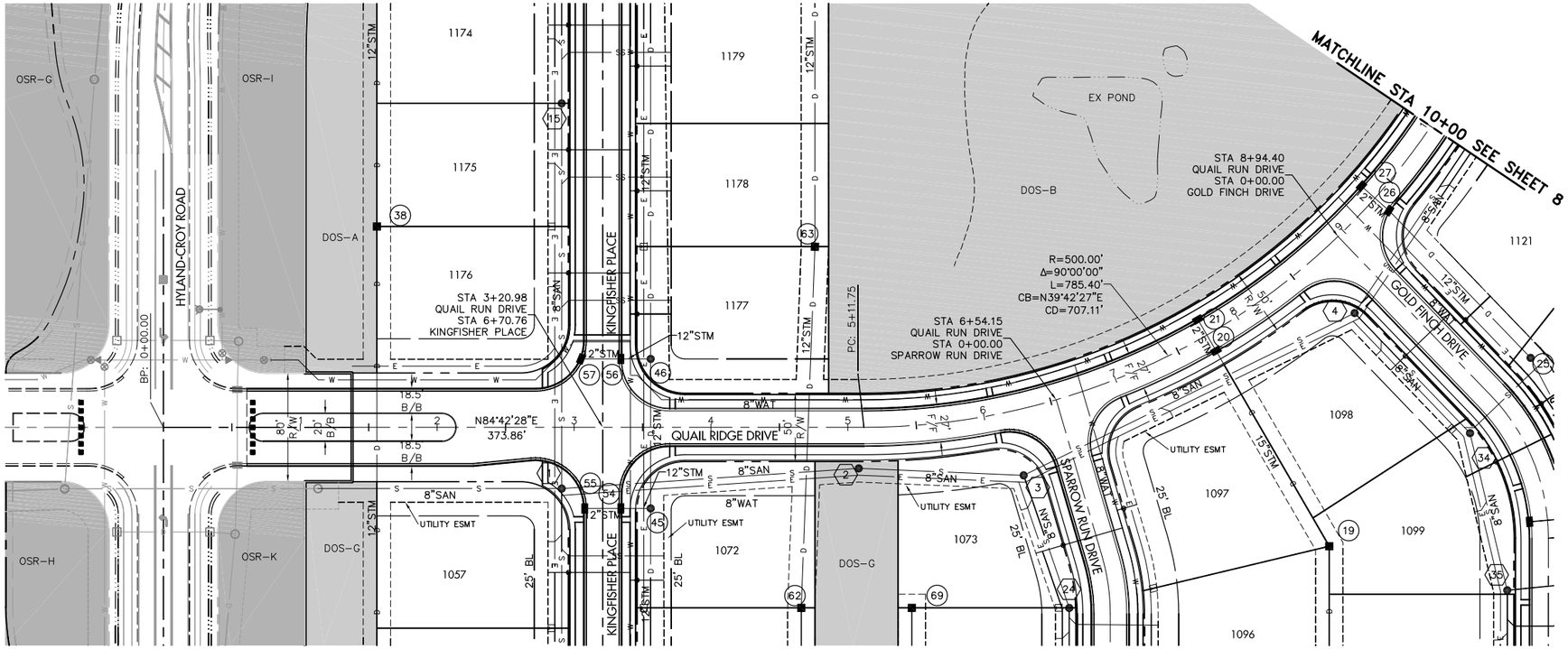

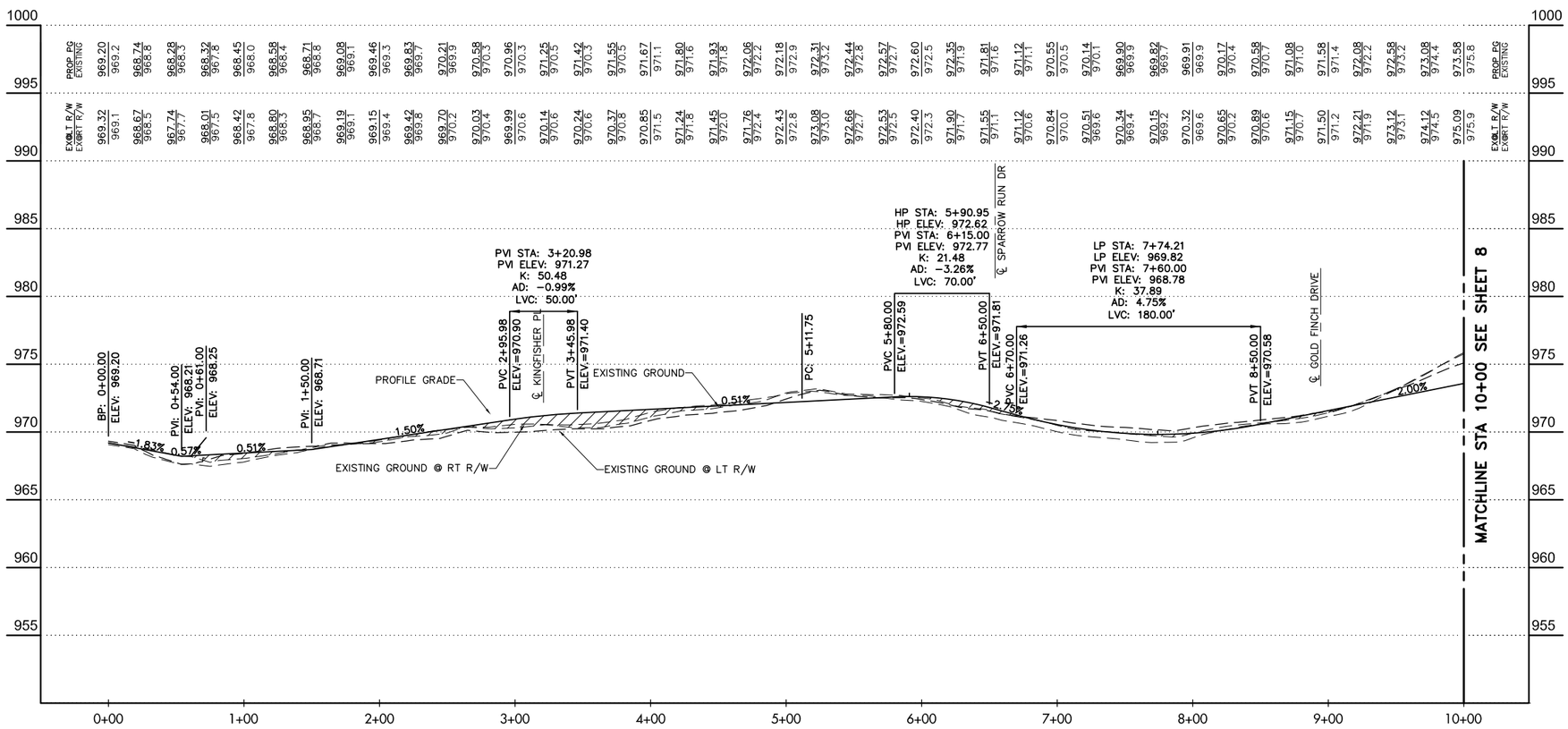

LEGEND

EXISTING:
- RIGHT-OF-WAY
- ROADWAY CENTERLINE
- UTILITY EASEMENT
- WATERLINE
- STORM SEWER
- SANITARY SEWER
- ELECTRIC
- TELEPHONE
- GAS

PROPOSED:
- RIGHT-OF-WAY
- ROADWAY CENTERLINE
- UTILITY EASEMENT
- BUILDING SETBACK LINE
- WATERLINE
- STORM SEWER
- SANITARY SEWER
- WATER VALVE
- FIRE HYDRANT
- WATER SERVICE
- STORM SEWER MANHOLE
- STORM SEWER CATCH BASIN
- STORM SEWER INLET
- SANITARY MANHOLE
- SANITARY SERVICE
- ELECTRIC
- ELECTRIC BOX
- ODOT 203 FILL
- OPEN SPACE RESERVE
- DEVELOPER OPEN SPACE
- PROPOSED SIDEWALK (BY DEVELOPER)

NOTE:
ELECTRIC SHOWN CONCEPTUALLY FOR CONFLICT RESOLUTION. EXACT PRIMARY/SECONDARY RUNS TO BE DETERMINED, SUBJECT TO CHANGE BY OHIO EDISON

GRAPHIC SCALE
50 25 0 50
(IN FEET)
1 inch = 50 ft.

CHANGE ORDER SCHEDULE

#	DESCRIPTION OF CHANGE	SHEET NO.	APPROVALS BY	DATE

TerrainEvolution
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720 East Broad Street | Suite 203 | Columbus, OH 43215
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JEROME TOWNSHIP, UNION COUNTY, OHIO

JEROME VILLAGE

EVERSOLE RUN NEIGHBORHOOD
SECTION 2

STREET PLAN & PROFILE
QUAIL RIDGE DRIVE

DRAWING SET STATUS:
- ■ PRELIMINARY ENGINEERING SET
- ☐ AGENCY REVIEW SET
- ☐ CONSTRUCTION DOCUMENT SET
- ☐ AS-BUILT DOCUMENT SET

DESIGN	DRAFT	CHECK
DGR	DGR	JPW

PROJECT NO.: 13-008

DATE: OCTOBER, 2015

SCALE:
HORIZONTAL: 1" = 50'
VERTICAL: 1" = 5'

SHEET NO.: 7/24

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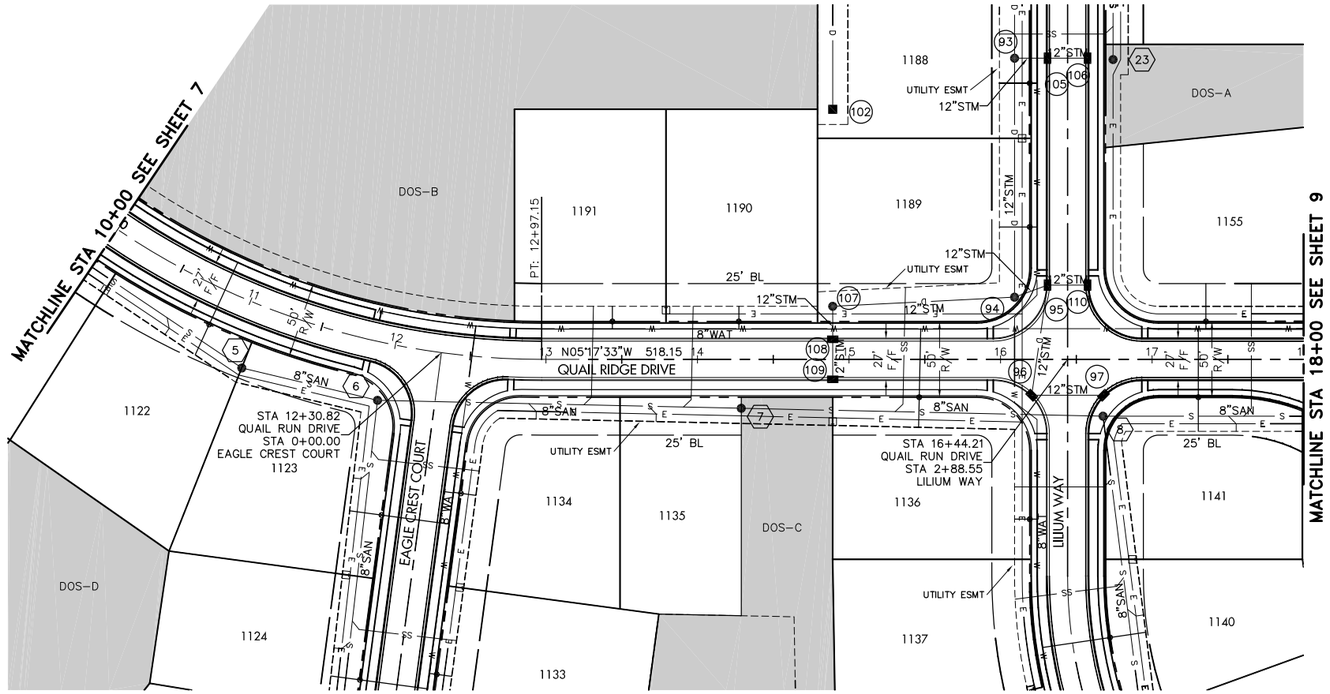

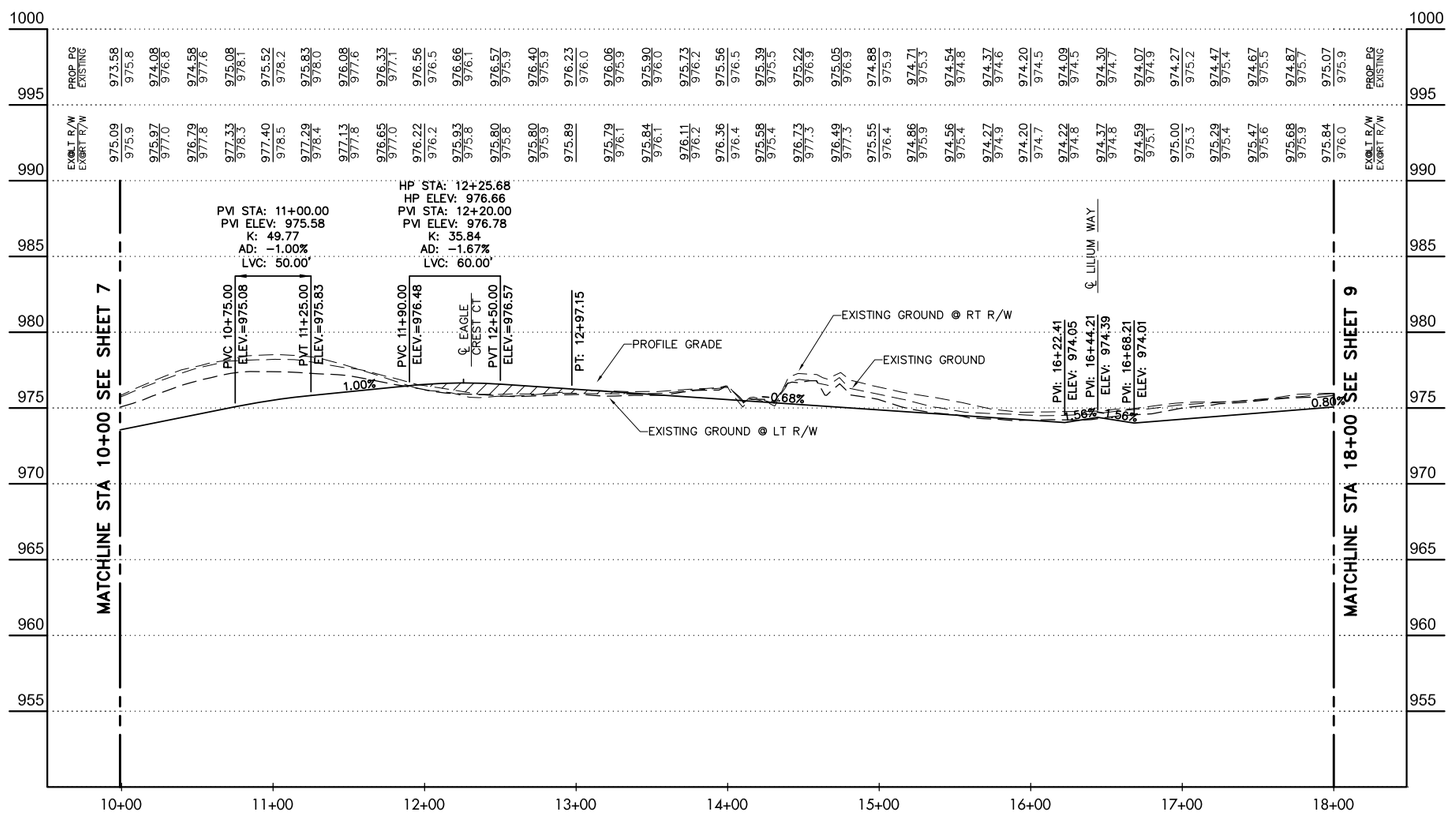

LEGEND

EXISTING:

- RIGHT-OF-WAY
- ROADWAY CENTERLINE
- UTILITY EASEMENT
- WATERLINE
- STORM SEWER
- SANITARY SEWER
- ELECTRIC
- TELEPHONE
- GAS

PROPOSED:

- RIGHT-OF-WAY
- ROADWAY CENTERLINE
- UTILITY EASEMENT
- BUILDING SETBACK LINE
- WATERLINE
- STORM SEWER
- SANITARY SEWER
- WATER VALVE
- FIRE HYDRANT
- WATER SERVICE
- STORM SEWER MANHOLE
- STORM SEWER CATCH BASIN
- STORM SEWER INLET
- SANITARY MANHOLE
- SANITARY SERVICE
- ELECTRIC
- ELECTRIC BOX
- ODOT 203 FILL
- OPEN SPACE RESERVE
- DEVELOPER OPEN SPACE
- PROPOSED SIDEWALK (BY DEVELOPER)

NOTE:
ELECTRIC SHOWN CONCEPTUALLY FOR CONFLICT RESOLUTION. EXACT PRIMARY/SECONDARY RUNS TO BE DETERMINED, SUBJECT TO CHANGE BY OHIO EDISON

GRAPHIC SCALE
50 25 0 50
(IN FEET)
1 inch = 50 ft.

CHANGE ORDER SCHEDULE

#	DESCRIPTION OF CHANGE	SHEET NO.	BY	DATE	APPROVALS

TerrainEvolution
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JEROME TOWNSHIP, UNION COUNTY, OHIO

JEROME VILLAGE

EVERSOLE RUN NEIGHBORHOOD
SECTION 2

STREET PLAN & PROFILE
QUAIL RIDGE DRIVE

DRAWING SET STATUS:

- ■ PRELIMINARY ENGINEERING SET
- ☐ AGENCY REVIEW SET
- ☐ CONSTRUCTION DOCUMENT SET
- ☐ AS-BUILT DOCUMENT SET

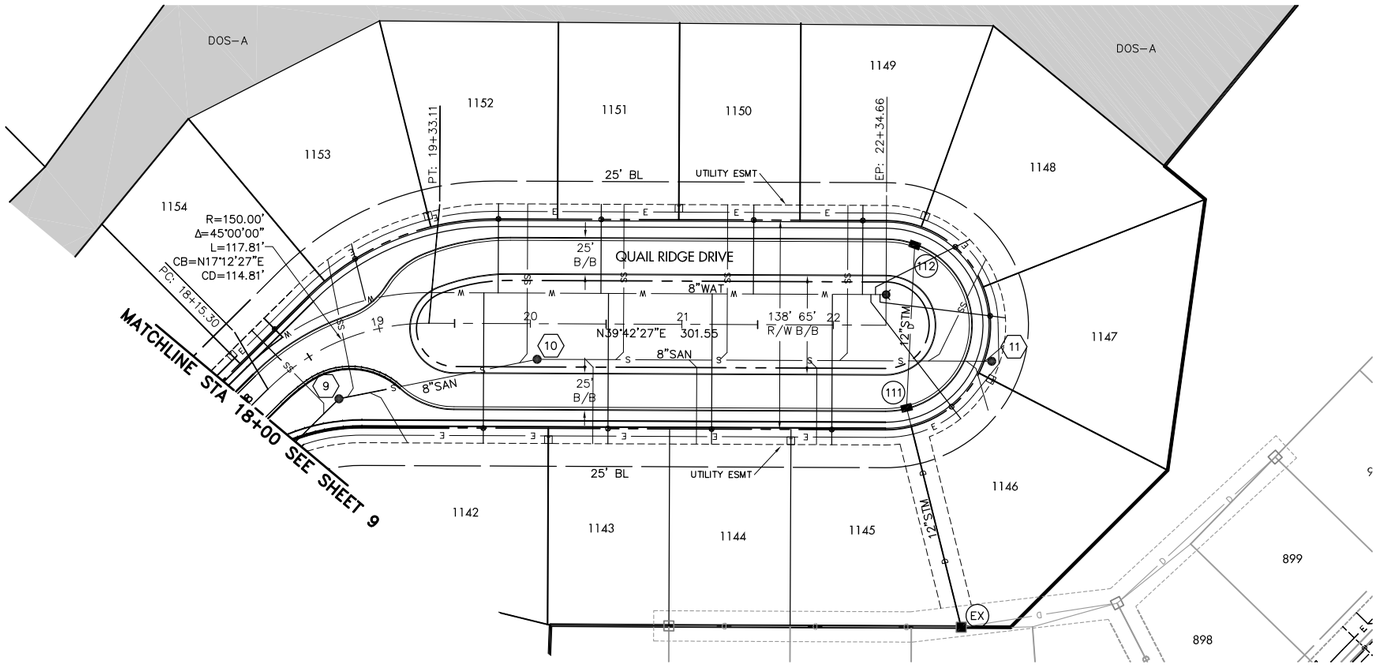
DESIGN	DRAFT	CHECK
DGR	DGR	JPW

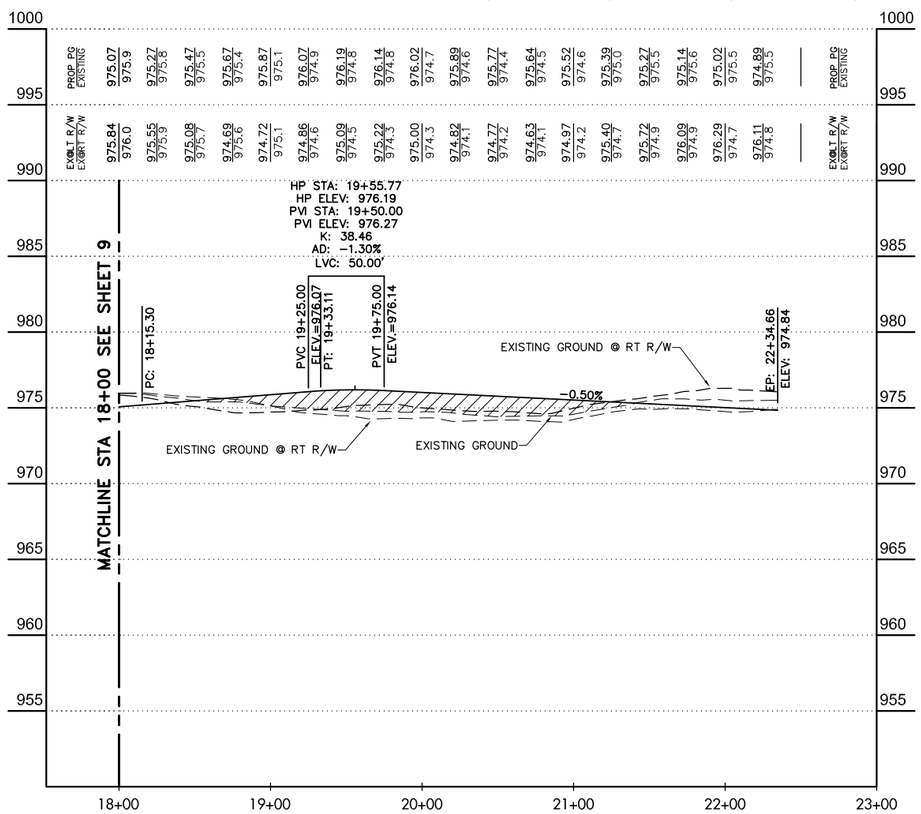
PROJECT NO.: 13-008

DATE: OCTOBER, 2015

SCALE:
HORIZONTAL: 1" = 50'
VERTICAL: 1" = 5'

SHEET NO.: 8/24





LEGEND

EXISTING:

- RIGHT-OF-WAY
- ROADWAY CENTERLINE
- UTILITY EASEMENT
- WATERLINE
- STORM SEWER
- SANITARY SEWER
- ELECTRIC
- TELEPHONE
- GAS

PROPOSED:

- RIGHT-OF-WAY
- ROADWAY CENTERLINE
- UTILITY EASEMENT
- BUILDING SETBACK LINE
- WATERLINE
- STORM SEWER
- SANITARY SEWER
- WATER VALVE
- FIRE HYDRANT
- WATER SERVICE
- STORM SEWER MANHOLE
- STORM SEWER CATCH BASIN
- STORM SEWER INLET
- SANITARY MANHOLE
- SANITARY SERVICE
- ELECTRIC
- ELECTRIC BOX
- ODOT 203 FILL
- OPEN SPACE RESERVE
- DEVELOPER OPEN SPACE
- PROPOSED SIDEWALK (BY DEVELOPER)

NOTE:
ELECTRIC SHOWN CONCEPTUALLY FOR CONFLICT RESOLUTION. EXACT PRIMARY/SECONDARY RUNS TO BE DETERMINED, SUBJECT TO CHANGE BY OHIO EDISON

GRAPHIC SCALE
50 25 0 50
(IN FEET)
1 inch = 50 ft.

CHANGE ORDER SCHEDULE

#	DESCRIPTION OF CHANGE	SHEET NO.	BY	DATE	APPROVALS

TerrainEvolution
Your bridge between Vision and Success
720 East Broad Street | Suite 203 | Columbus, OH 43215
P: 614.385.1090 | F: 614.385.1083 | E: info@terrainevolution.com

JEROME TOWNSHIP, UNION COUNTY, OHIO

JEROME VILLAGE

EVERSOLE RUN NEIGHBORHOOD
SECTION 2

STREET PLAN & PROFILE
QUAIL RIDGE DRIVE

DRAWING SET STATUS:
- ■ PRELIMINARY ENGINEERING SET
- ☐ AGENCY REVIEW SET
- ☐ CONSTRUCTION DOCUMENT SET
- ☐ AS-BUILT DOCUMENT SET

DESIGN	DRAFT	CHECK
DGR	DGR	JPW

PROJECT NO.: 13-008

DATE: OCTOBER, 2015

SCALE:
HORIZONTAL: 1" = 50'
VERTICAL: 1" = 5'

SHEET NO.: 9/24

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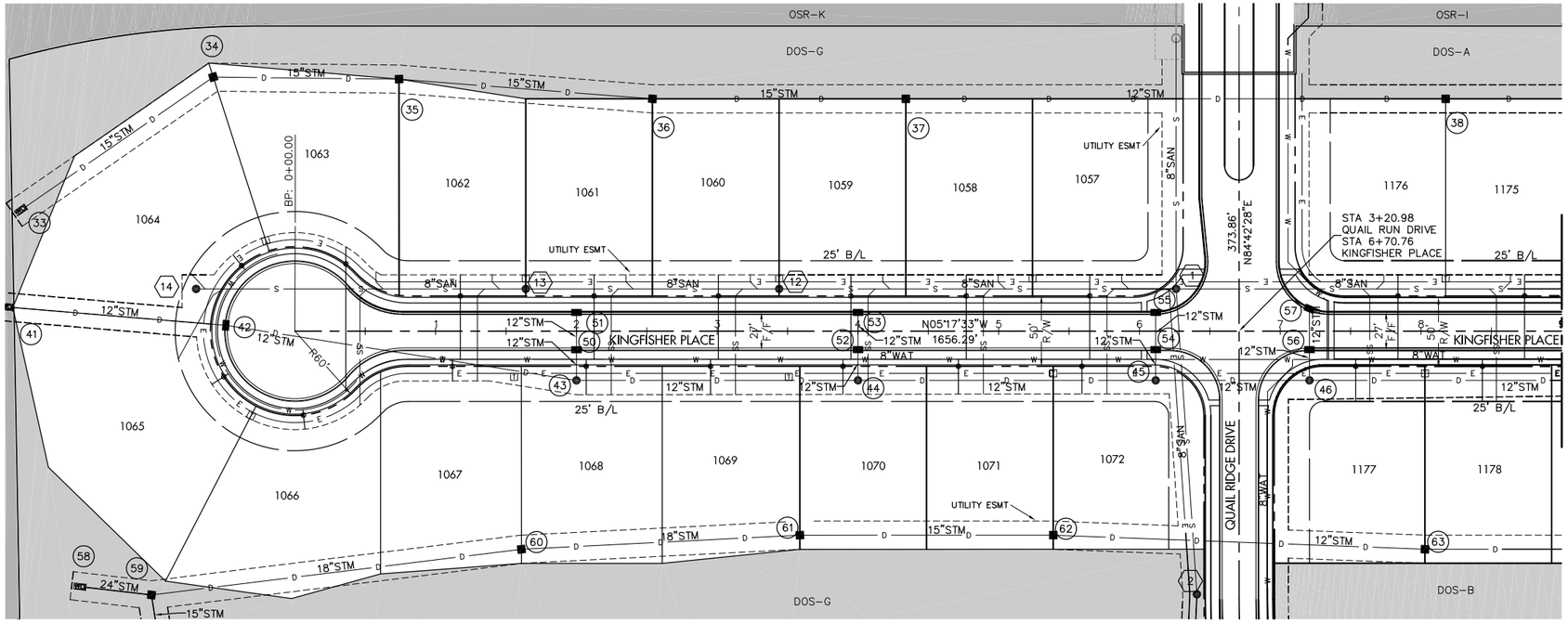
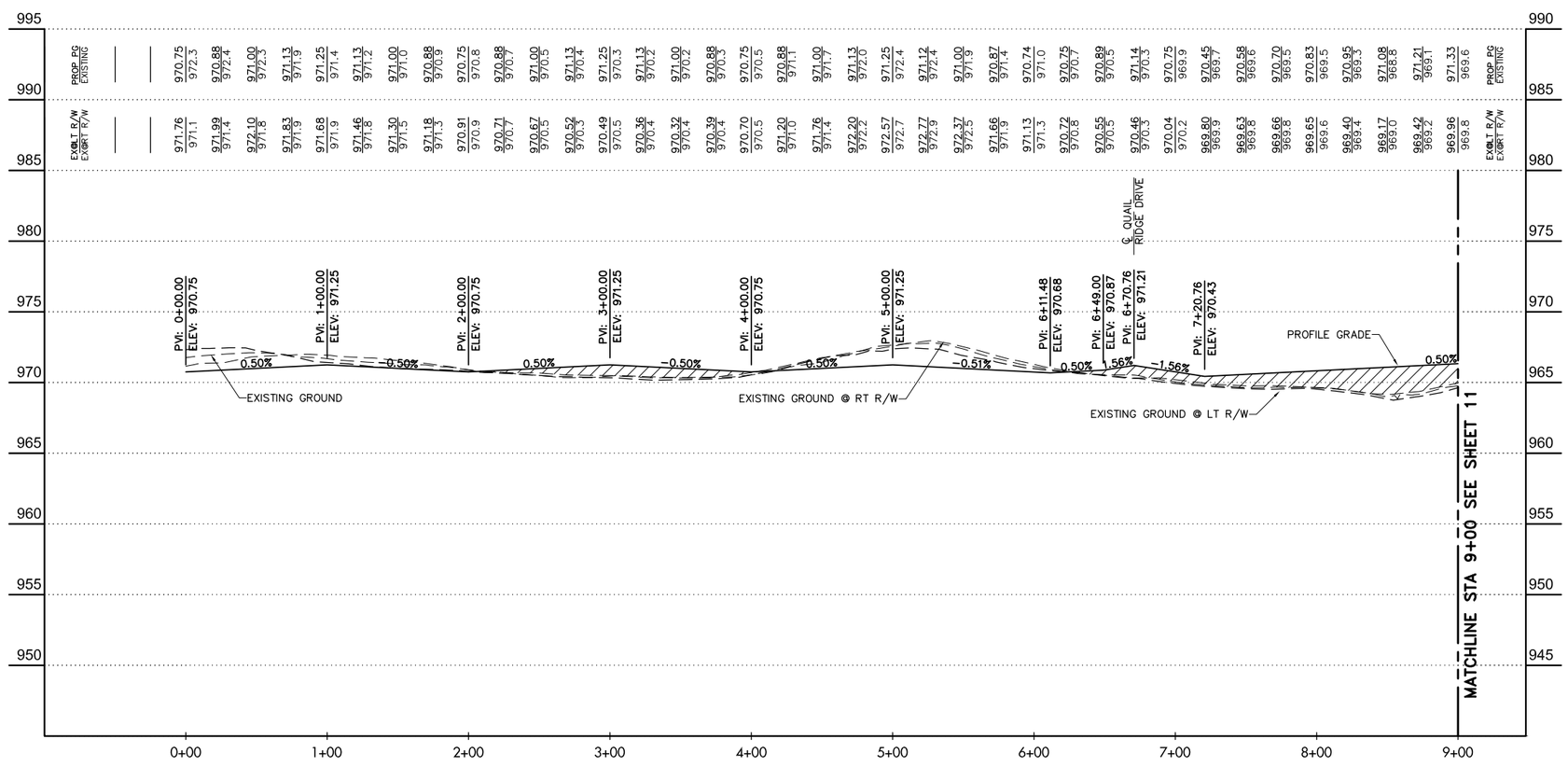




LEGEND

EXISTING:
- RIGHT-OF-WAY
- ROADWAY CENTERLINE
- UTILITY EASEMENT
- WATERLINE
- STORM SEWER
- SANITARY SEWER
- ELECTRIC
- TELEPHONE
- GAS

PROPOSED:
- RIGHT-OF-WAY
- ROADWAY CENTERLINE
- UTILITY EASEMENT
- BUILDING SETBACK LINE
- WATERLINE
- STORM SEWER
- SANITARY SEWER
- WATER VALVE
- FIRE HYDRANT
- WATER SERVICE
- STORM SEWER MANHOLE
- STORM SEWER CATCH BASIN
- STORM SEWER INLET
- SANITARY MANHOLE
- SANITARY SERVICE
- ELECTRIC
- ELECTRIC BOX
- ODOT 203 FILL
- OPEN SPACE RESERVE
- DEVELOPER OPEN SPACE
- PROPOSED SIDEWALK (BY DEVELOPER)

NOTE:
ELECTRIC SHOWN CONCEPTUALLY FOR CONFLICT RESOLUTION. EXACT PRIMARY/SECONDARY RUNS TO BE DETERMINED, SUBJECT TO CHANGE BY OHIO EDISON

GRAPHIC SCALE
50 25 0 50
(IN FEET)
1 inch = 50 ft.

CHANGE ORDER SCHEDULE

#	DESCRIPTION OF CHANGE	SHEET NO.	APPROVALS BY	DATE

TerrainEvolution
Your bridge between Vision and Success
720 East Broad Street | Suite 203 | Columbus, OH 43215
P: 614.385.1090 | F: 614.385.1065 | E: info@terrainevolution.com

JEROME TOWNSHIP, UNION COUNTY, OHIO

JEROME VILLAGE

EVERSOLE RUN NEIGHBORHOOD SECTION 2

STREET PLAN & PROFILE
KINGFISHER PLACE

DRAWING SET STATUS:
- ■ PRELIMINARY ENGINEERING SET
- ☐ AGENCY REVIEW SET
- ☐ CONSTRUCTION DOCUMENT SET
- ☐ AS-BUILT DOCUMENT SET

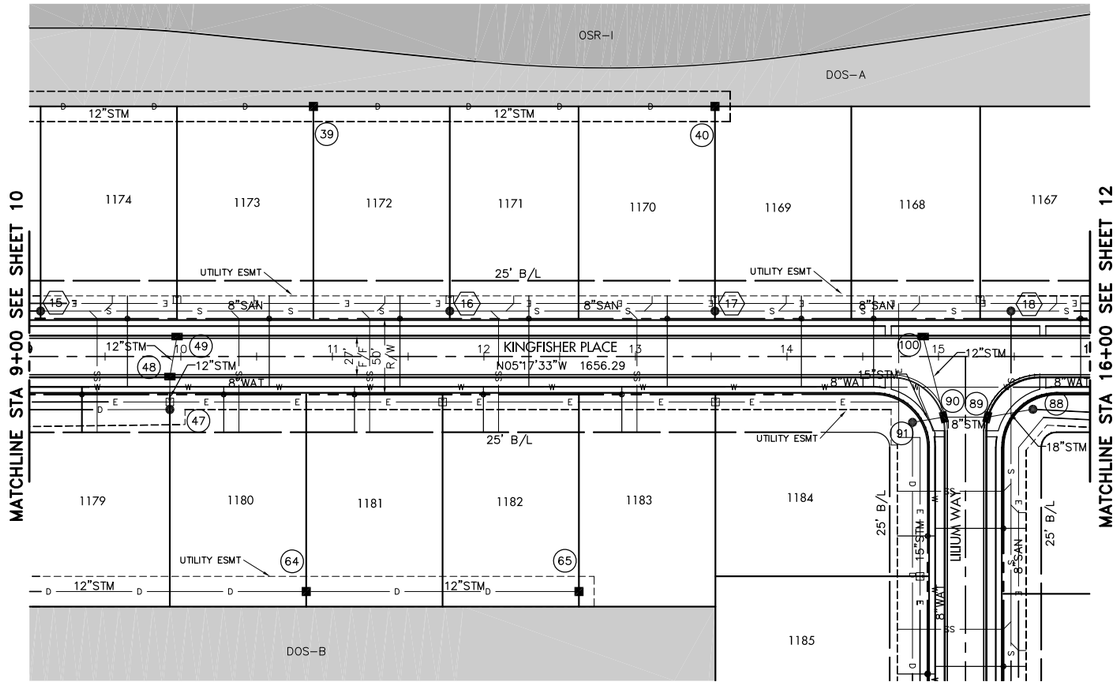
DESIGN	DRAFT	CHECK
DGR	DGR	JPW

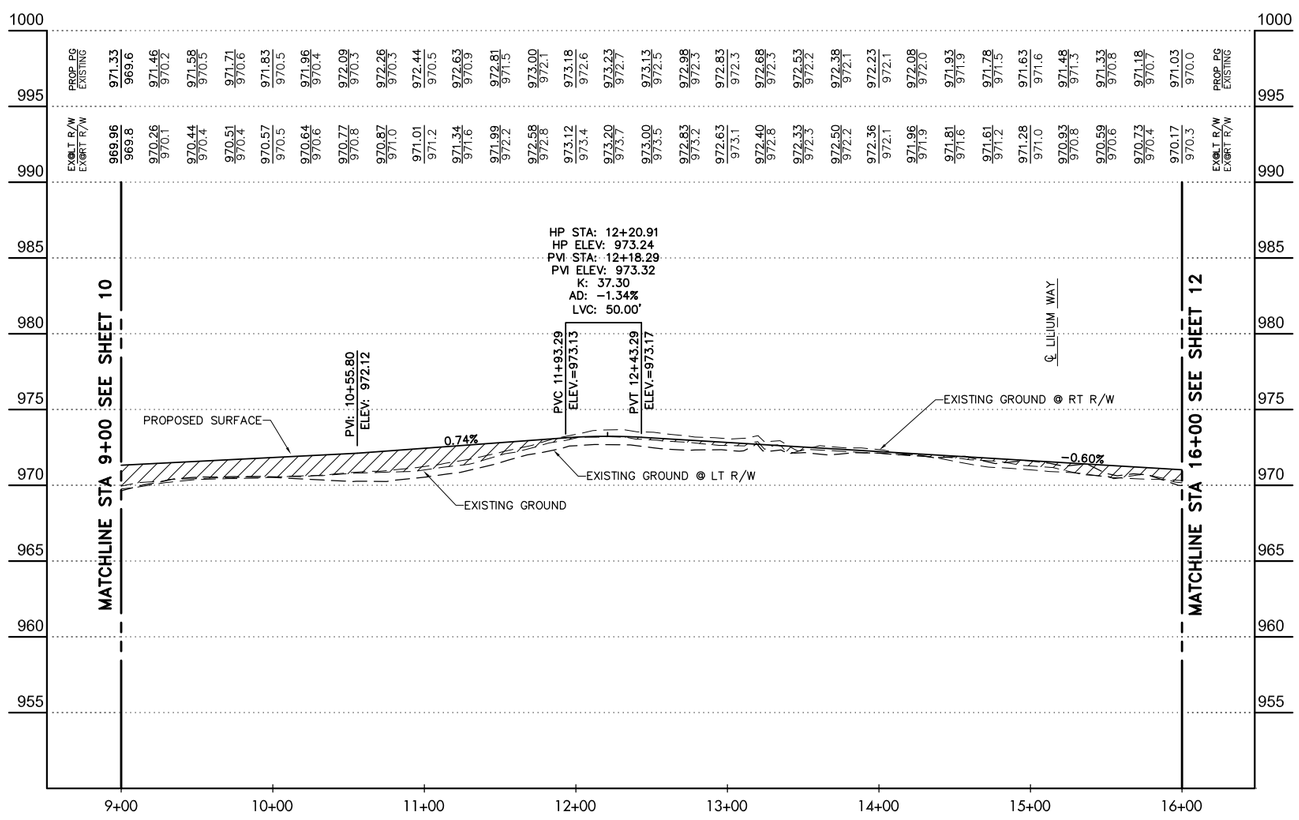
PROJECT NO.: 13-008

DATE: OCTOBER, 2015

SCALE:
HORIZONTAL: 1" = 50'
VERTICAL: 1" = 5'

SHEET NO.: 10/24





LEGEND

EXISTING:
- RIGHT-OF-WAY
- ROADWAY CENTERLINE
- UTILITY EASEMENT
- WATERLINE
- STORM SEWER
- SANITARY SEWER
- ELECTRIC
- TELEPHONE
- GAS

PROPOSED:
- RIGHT-OF-WAY
- ROADWAY CENTERLINE
- UTILITY EASEMENT
- BUILDING SETBACK LINE
- WATERLINE
- STORM SEWER
- SANITARY SEWER
- WATER VALVE
- FIRE HYDRANT
- WATER SERVICE
- STORM SEWER MANHOLE
- STORM SEWER CATCH BASIN
- STORM SEWER INLET
- SANITARY MANHOLE
- SANITARY SERVICE
- ELECTRIC
- ELECTRIC BOX
- ODOT 203 FILL
- OPEN SPACE RESERVE
- DEVELOPER OPEN SPACE
- PROPOSED SIDEWALK (BY DEVELOPER)

NOTE:
ELECTRIC SHOWN CONCEPTUALLY FOR CONFLICT RESOLUTION. EXACT PRIMARY/SECONDARY RUNS TO BE DETERMINED, SUBJECT TO CHANGE BY OHIO EDISON

GRAPHIC SCALE
50 25 0 50
(IN FEET)
1 inch = 50 ft.

CHANGE ORDER SCHEDULE

#	DESCRIPTION OF CHANGE	BY	DATE	SHEET NO.	APPROVALS

TerrainEvolution
Your bridge between Vision and Success
720 East Broad Street | Suite 203 | Columbus, OH 43215
P: 614.385.1090 | F: 614.385.1085 | E: info@terrainevolution.com

JEROME TOWNSHIP, UNION COUNTY, OHIO

JEROME VILLAGE

EVERSOLE RUN NEIGHBORHOOD
SECTION 2

STREET PLAN & PROFILE
KINGFISHER PLACE

DRAWING SET STATUS:
- ■ PRELIMINARY ENGINEERING SET
- ☐ AGENCY REVIEW SET
- ☐ CONSTRUCTION DOCUMENT SET
- ☐ AS-BUILT DOCUMENT SET

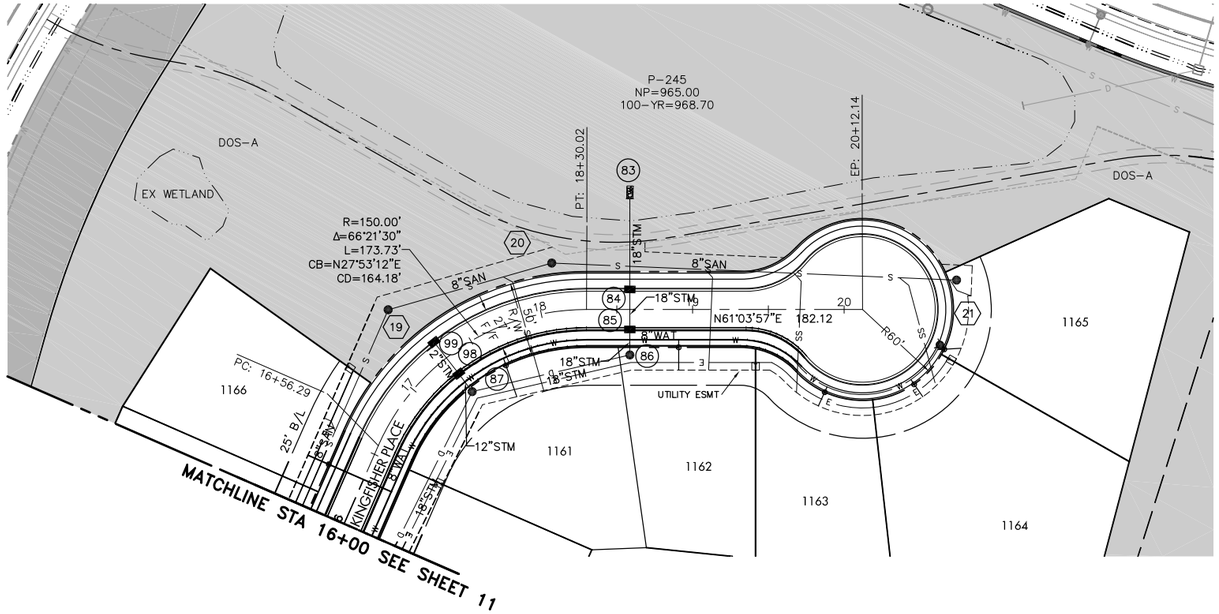
DESIGN	DRAFT	CHECK
DGR	DGR	JPW

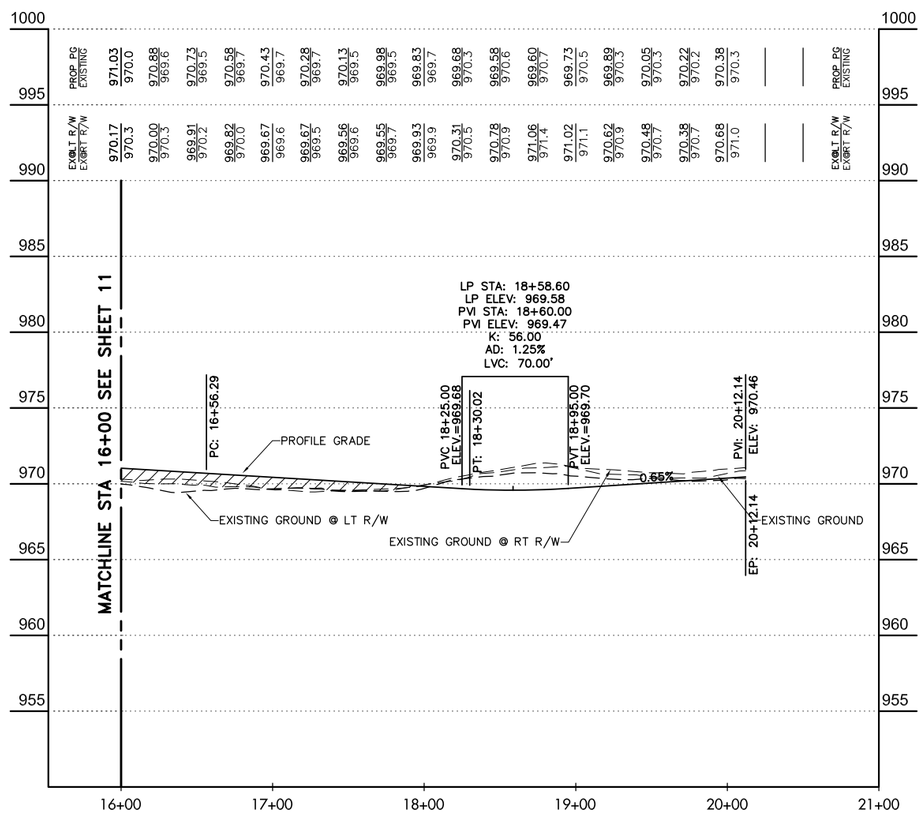
PROJECT NO.: 13-008

DATE: OCTOBER, 2015

SCALE:
HORIZONTAL: 1" = 50'
VERTICAL: 1" = 5'

SHEET NO.: 11/24





LEGEND

EXISTING:

- RIGHT-OF-WAY
- ROADWAY CENTERLINE
- UTILITY EASEMENT
- WATERLINE
- STORM SEWER
- SANITARY SEWER
- ELECTRIC
- TELEPHONE
- GAS

PROPOSED:

- RIGHT-OF-WAY
- ROADWAY CENTERLINE
- UTILITY EASEMENT
- BUILDING SETBACK LINE
- WATERLINE
- STORM SEWER
- SANITARY SEWER
- WATER VALVE
- FIRE HYDRANT
- WATER SERVICE
- STORM SEWER MANHOLE
- STORM SEWER CATCH BASIN
- STORM SEWER INLET
- SANITARY MANHOLE
- SANITARY SERVICE
- ELECTRIC
- ELECTRIC BOX
- ODOT 203 FILL
- OPEN SPACE RESERVE
- DEVELOPER OPEN SPACE
- PROPOSED SIDEWALK (BY DEVELOPER)

NOTE:
ELECTRIC SHOWN CONCEPTUALLY FOR CONFLICT RESOLUTION. EXACT PRIMARY/SECONDARY RUNS TO BE DETERMINED, SUBJECT TO CHANGE BY OHIO EDISON

GRAPHIC SCALE
50 25 0 50
(IN FEET)
1 inch = 50 ft.

CHANGE ORDER SCHEDULE

#	DESCRIPTION OF CHANGE	SHEET NO.	APPROVALS BY	DATE

TerrainEvolution
Your bridge between Vision and Success
720 East Broad Street | Suite 203 | Columbus, OH 43215
P: 614.385.1090 | F: 614.385.1085 | E: info@terrainevolution.com

JEROME TOWNSHIP, UNION COUNTY, OHIO

JEROME VILLAGE

EVERSOLE RUN NEIGHBORHOOD
SECTION 2

STREET PLAN & PROFILE
KINGFISHER PLACE

DRAWING SET STATUS:

- ■ PRELIMINARY ENGINEERING SET
- ☐ AGENCY REVIEW SET
- ☐ CONSTRUCTION DOCUMENT SET
- ☐ AS-BUILT DOCUMENT SET

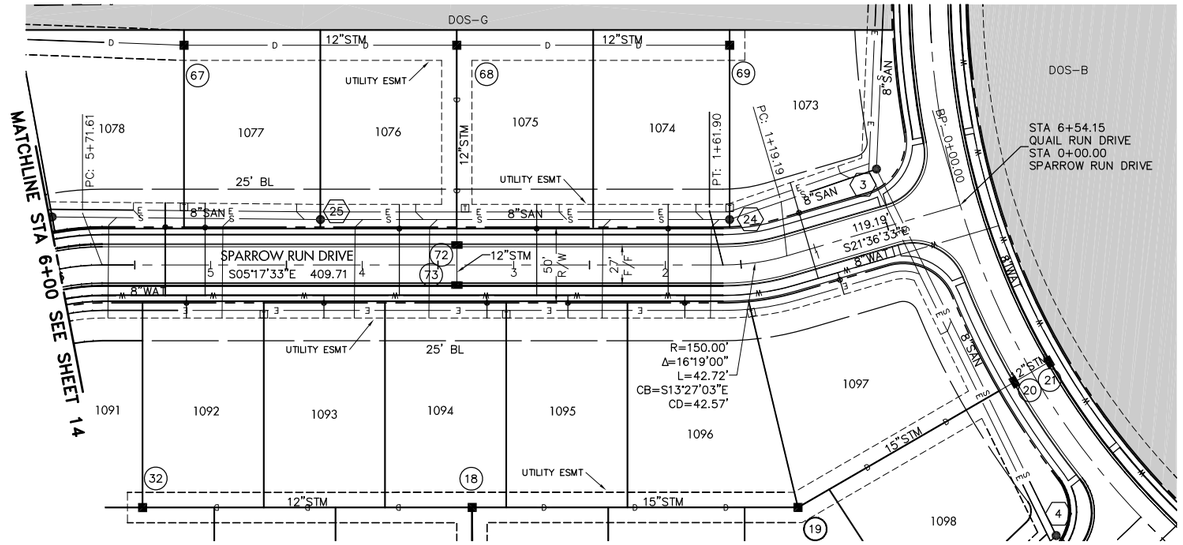
DESIGN	DRAFT	CHECK
DGR	DGR	JPW

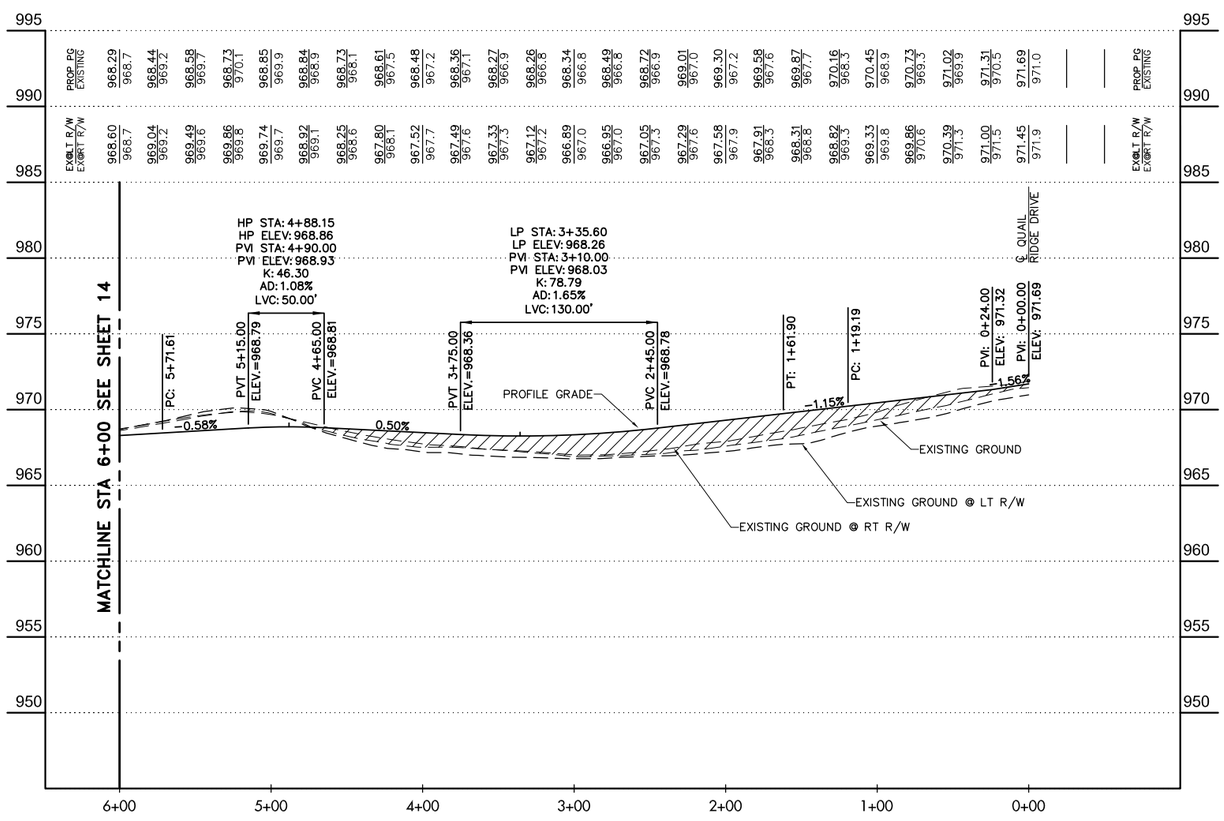
PROJECT NO.: 13-008

DATE: OCTOBER, 2015

SCALE:
HORIZONTAL: 1" = 50'
VERTICAL: 1" = 5'

SHEET NO.: 12/24





LEGEND

EXISTING:

- RIGHT-OF-WAY
- ROADWAY CENTERLINE
- UTILITY EASEMENT
- WATERLINE
- STORM SEWER
- SANITARY SEWER
- ELECTRIC
- TELEPHONE
- GAS

PROPOSED:

- RIGHT-OF-WAY
- ROADWAY CENTERLINE
- UTILITY EASEMENT
- BUILDING SETBACK LINE
- WATERLINE
- STORM SEWER
- SANITARY SEWER
- WATER VALVE
- FIRE HYDRANT
- WATER SERVICE
- STORM SEWER MANHOLE
- STORM SEWER CATCH BASIN
- STORM SEWER INLET
- SANITARY MANHOLE
- SANITARY SERVICE
- ELECTRIC
- ELECTRIC BOX
- ODOT 203 FILL
- OPEN SPACE RESERVE
- DEVELOPER OPEN SPACE
- PROPOSED SIDEWALK (BY DEVELOPER)

NOTE:
ELECTRIC SHOWN CONCEPTUALLY FOR CONFLICT RESOLUTION. EXACT PRIMARY/SECONDARY RUNS TO BE DETERMINED, SUBJECT TO CHANGE BY OHIO EDISON

GRAPHIC SCALE
50 25 0 50
(IN FEET)
1 inch = 50 ft.

CHANGE ORDER SCHEDULE

#	DESCRIPTION OF CHANGE	SHEET NO.	BY	DATE

TerrainEvolution
Your bridge between Vision and Success
720 East Broad Street | Suite 203 | Columbus, OH 43215
P: 614.385.1090 | F: 614.385.1085 | E: info@terrainevolution.com

JEROME TOWNSHIP, UNION COUNTY, OHIO

JEROME VILLAGE

EVERSOLE RUN NEIGHBORHOOD
SECTION 2

STREET PLAN & PROFILE
SPARROW RUN DRIVE

DRAWING SET STATUS:

- ■ PRELIMINARY ENGINEERING SET
- ☐ AGENCY REVIEW SET
- ☐ CONSTRUCTION DOCUMENT SET
- ☐ AS-BUILT DOCUMENT SET

DESIGN	DRAFT	CHECK
DGR	DGR	JPW

PROJECT NO.: 13-008

DATE: OCTOBER, 2015

SCALE:
HORIZONTAL: 1" = 50'
VERTICAL: 1" = 5'

SHEET NO.: 13/24

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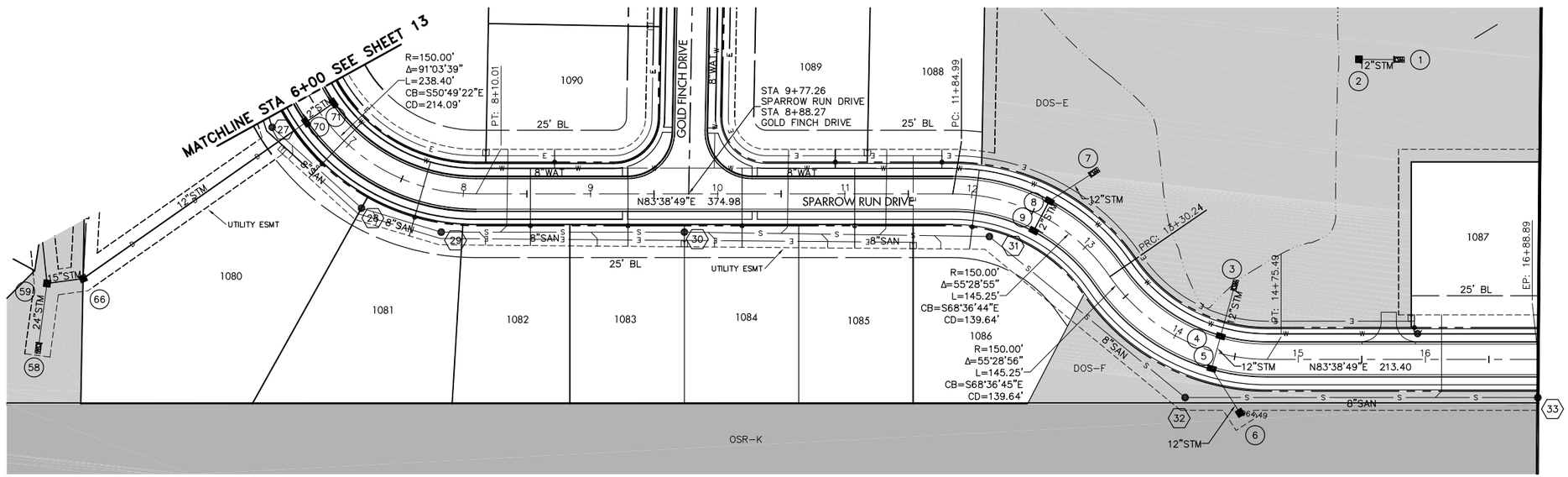
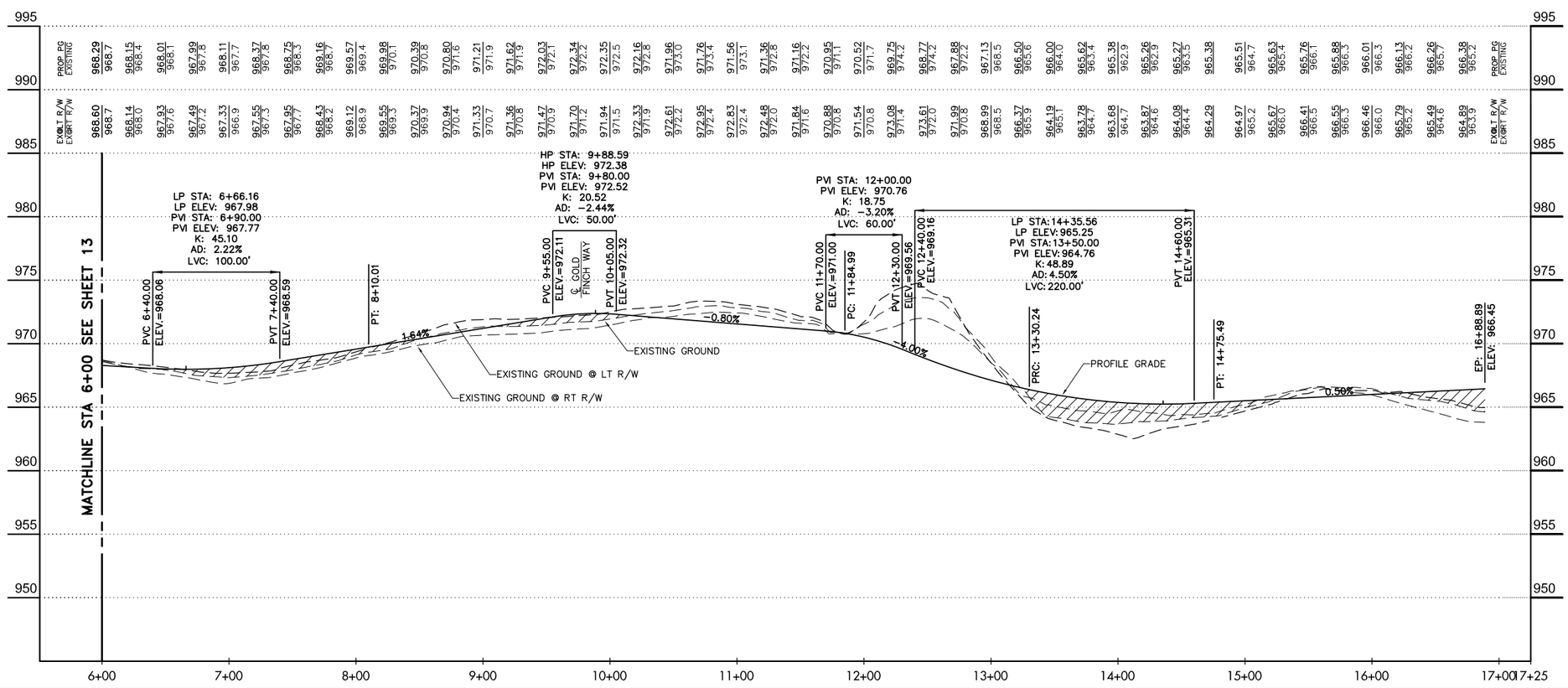




LEGEND

EXISTING:
- RIGHT-OF-WAY
- ROADWAY CENTERLINE
- UTILITY EASEMENT
- WATERLINE
- STORM SEWER
- SANITARY SEWER
- ELECTRIC
- TELEPHONE
- GAS

PROPOSED:
- RIGHT-OF-WAY
- ROADWAY CENTERLINE
- UTILITY EASEMENT
- BUILDING SETBACK LINE
- WATERLINE
- STORM SEWER
- SANITARY SEWER
- WATER VALVE
- FIRE HYDRANT
- WATER SERVICE
- STORM SEWER MANHOLE
- STORM SEWER CATCH BASIN
- STORM SEWER INLET
- SANITARY MANHOLE
- SANITARY SERVICE
- ELECTRIC
- ELECTRIC BOX
- ODOT 203 FILL
- OPEN SPACE RESERVE
- DEVELOPER OPEN SPACE
- PROPOSED SIDEWALK (BY DEVELOPER)

NOTE:
ELECTRIC SHOWN CONCEPTUALLY FOR CONFLICT RESOLUTION. EXACT PRIMARY/SECONDARY RUNS TO BE DETERMINED, SUBJECT TO CHANGE BY OHIO EDISON

GRAPHIC SCALE
50 25 0 50
(IN FEET)
1 inch = 50 ft.

CHANGE ORDER SCHEDULE

#	DESCRIPTION OF CHANGE	SHEET NO.	BY	DATE	APPROVALS

TerrainEvolution
Your bridge between Vision and Success
720 East Broad Street | Suite 203 | Columbus, OH 43215
P: 614.385.1090 | F: 614.385.1085 | E: info@terrainevolution.com

JEROME TOWNSHIP, UNION COUNTY, OHIO

JEROME VILLAGE

EVERSOLE RUN NEIGHBORHOOD
SECTION 2

STREET PLAN & PROFILE
SPARROW RUN DRIVE

DRAWING SET STATUS:
- ■ PRELIMINARY ENGINEERING SET
- ☐ AGENCY REVIEW SET
- ☐ CONSTRUCTION DOCUMENT SET
- ☐ AS-BUILT DOCUMENT SET

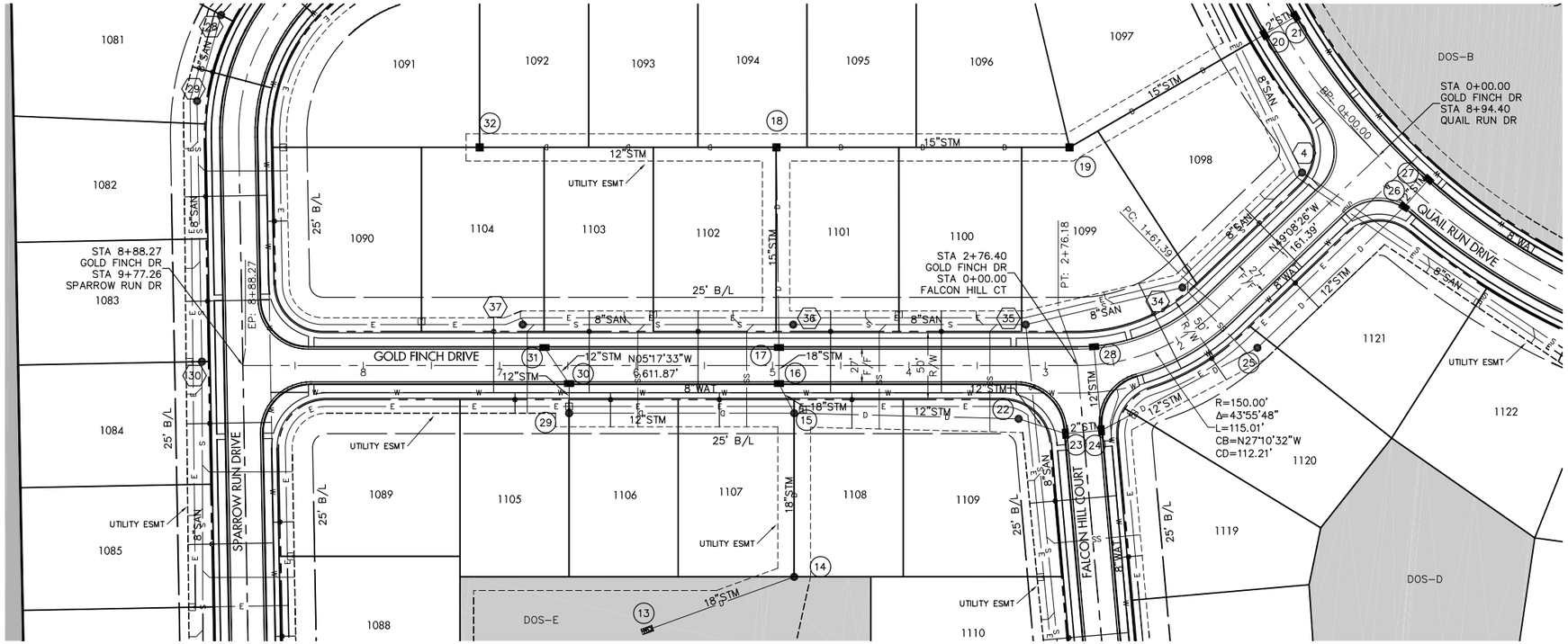
DESIGN	DRAFT	CHECK
DGR	DGR	JPW

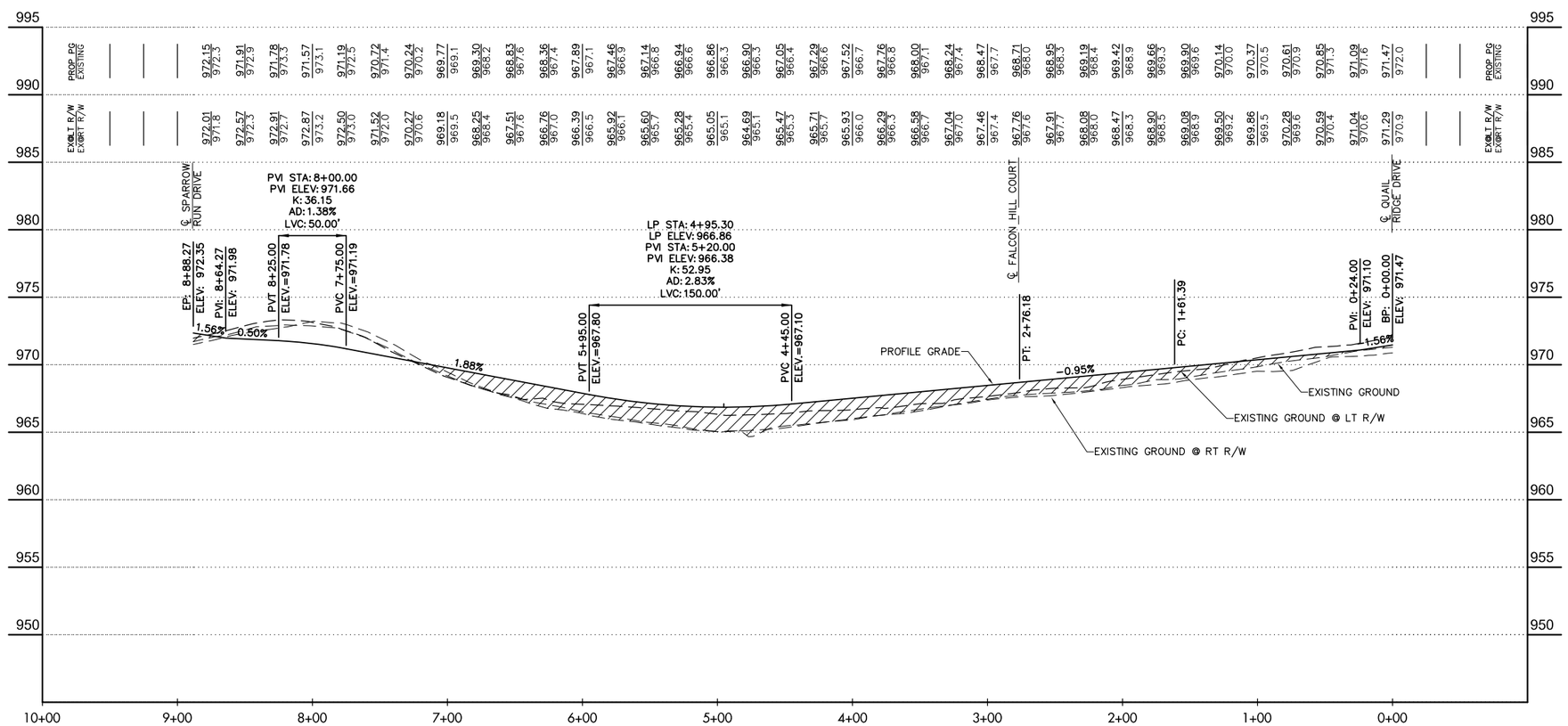
PROJECT NO.: 13-008

DATE: OCTOBER, 2015

SCALE:
HORIZONTAL: 1" = 50'
VERTICAL: 1" = 5'

SHEET NO.: 14/24





LEGEND

EXISTING:
- RIGHT-OF-WAY
- ROADWAY CENTERLINE
- UTILITY EASEMENT
- WATERLINE
- STORM SEWER
- SANITARY SEWER
- ELECTRIC
- TELEPHONE
- GAS

PROPOSED:
- RIGHT-OF-WAY
- ROADWAY CENTERLINE
- UTILITY EASEMENT
- BUILDING SETBACK LINE
- WATERLINE
- STORM SEWER
- SANITARY SEWER
- WATER VALVE
- FIRE HYDRANT
- WATER SERVICE
- STORM SEWER MANHOLE
- STORM SEWER CATCH BASIN
- STORM SEWER INLET
- SANITARY MANHOLE
- SANITARY SERVICE
- ELECTRIC
- ELECTRIC BOX
- ODOT 203 FILL
- OPEN SPACE RESERVE
- DEVELOPER OPEN SPACE
- PROPOSED SIDEWALK (BY DEVELOPER)

NOTE:
ELECTRIC SHOWN CONCEPTUALLY FOR CONFLICT RESOLUTION. EXACT PRIMARY/SECONDARY RUNS TO BE DETERMINED, SUBJECT TO CHANGE BY OHIO EDISON

GRAPHIC SCALE
50 25 0 50
(IN FEET)
1 inch = 50 ft.

CHANGE ORDER SCHEDULE

#	DESCRIPTION OF CHANGE	SHEET NO.	APPROVALS BY	DATE

TerrainEvolution
Your bridge between Vision and Success
720 East Broad Street | Suite 203 | Columbus, OH 43215
P: 614.385.1090 | F: 614.385.1085 | E: info@terrainevolution.com

JEROME TOWNSHIP, UNION COUNTY, OHIO

JEROME VILLAGE

EVERSOLE RUN NEIGHBORHOOD
SECTION 2

STREET PLAN & PROFILE
GOLD FINCH DRIVE

DRAWING SET STATUS:
- ■ PRELIMINARY ENGINEERING SET
- ☐ AGENCY REVIEW SET
- ☐ CONSTRUCTION DOCUMENT SET
- ☐ AS-BUILT DOCUMENT SET

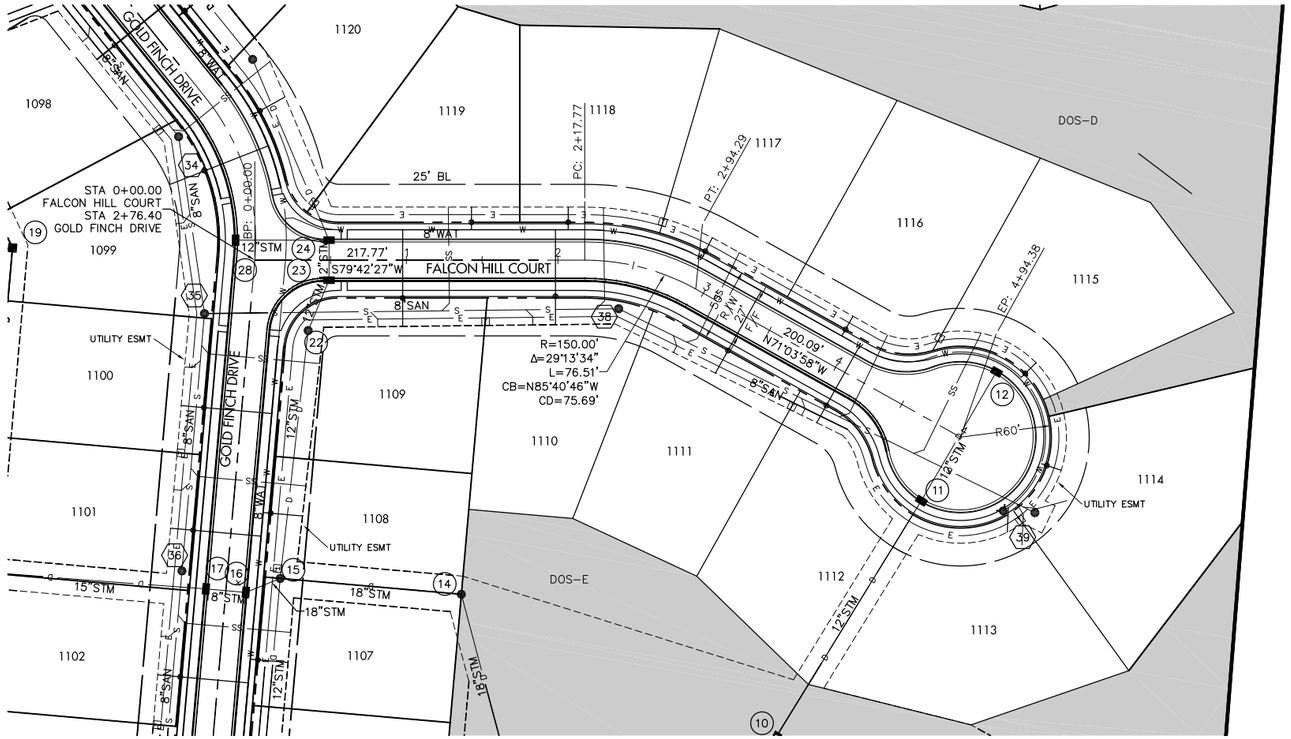
DESIGN	DRAFT	CHECK
DGR	DGR	JPW

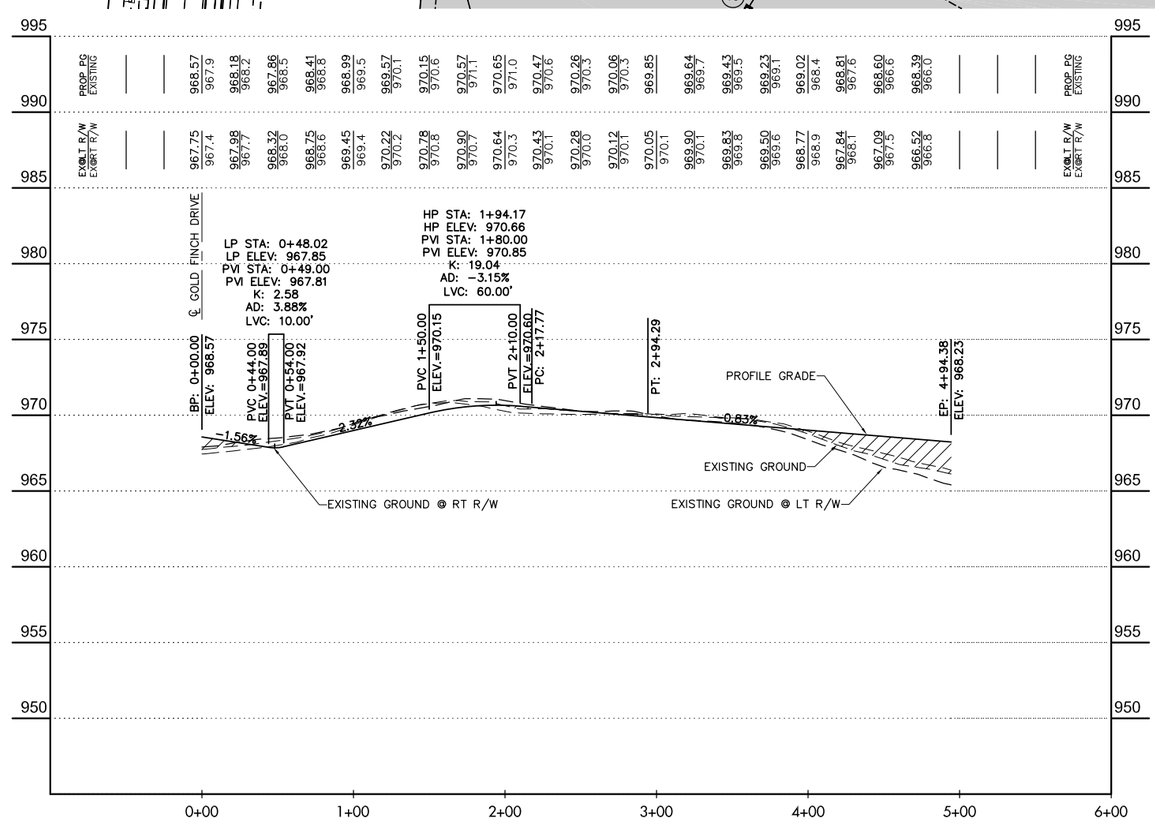
PROJECT NO.: 13-008

DATE: OCTOBER, 2015

SCALE:
HORIZONTAL: 1" = 50'
VERTICAL: 1" = 5'

SHEET NO.: 15 / 24





LEGEND

EXISTING:

- RIGHT-OF-WAY
- ROADWAY CENTERLINE
- UTILITY EASEMENT
- WATERLINE
- STORM SEWER
- SANITARY SEWER
- ELECTRIC
- TELEPHONE
- GAS

PROPOSED:

- RIGHT-OF-WAY
- ROADWAY CENTERLINE
- UTILITY EASEMENT
- BUILDING SETBACK LINE
- WATERLINE
- STORM SEWER
- SANITARY SEWER
- WATER VALVE
- FIRE HYDRANT
- WATER SERVICE
- STORM SEWER MANHOLE
- STORM SEWER CATCH BASIN
- STORM SEWER INLET
- SANITARY MANHOLE
- SANITARY SERVICE
- ELECTRIC
- ELECTRIC BOX
- ODOT 203 FILL
- OPEN SPACE RESERVE
- DEVELOPER OPEN SPACE
- PROPOSED SIDEWALK (BY DEVELOPER)

NOTE:
ELECTRIC SHOWN CONCEPTUALLY FOR CONFLICT RESOLUTION. EXACT PRIMARY/SECONDARY RUNS TO BE DETERMINED, SUBJECT TO CHANGE BY OHIO EDISON

GRAPHIC SCALE
50 25 0 50
(IN FEET)
1 inch = 50 ft.

CHANGE ORDER SCHEDULE

#	DESCRIPTION OF CHANGE	SHEET NO.	BY	DATE

TerrainEvolution
Your bridge between Vision and Success
720 East Broad Street | Suite 203 | Columbus, OH 43215
P: 614.385.1090 | F: 614.385.1085 | E: info@terrainevolution.com

JEROME TOWNSHIP, UNION COUNTY, OHIO

JEROME VILLAGE

EVERSOLE RUN NEIGHBORHOOD
SECTION 2

STREET PLAN & PROFILE
FALCON HILL COURT

DRAWING SET STATUS:
- ■ PRELIMINARY ENGINEERING SET
- ☐ AGENCY REVIEW SET
- ☐ CONSTRUCTION DOCUMENT SET
- ☐ AS-BUILT DOCUMENT SET

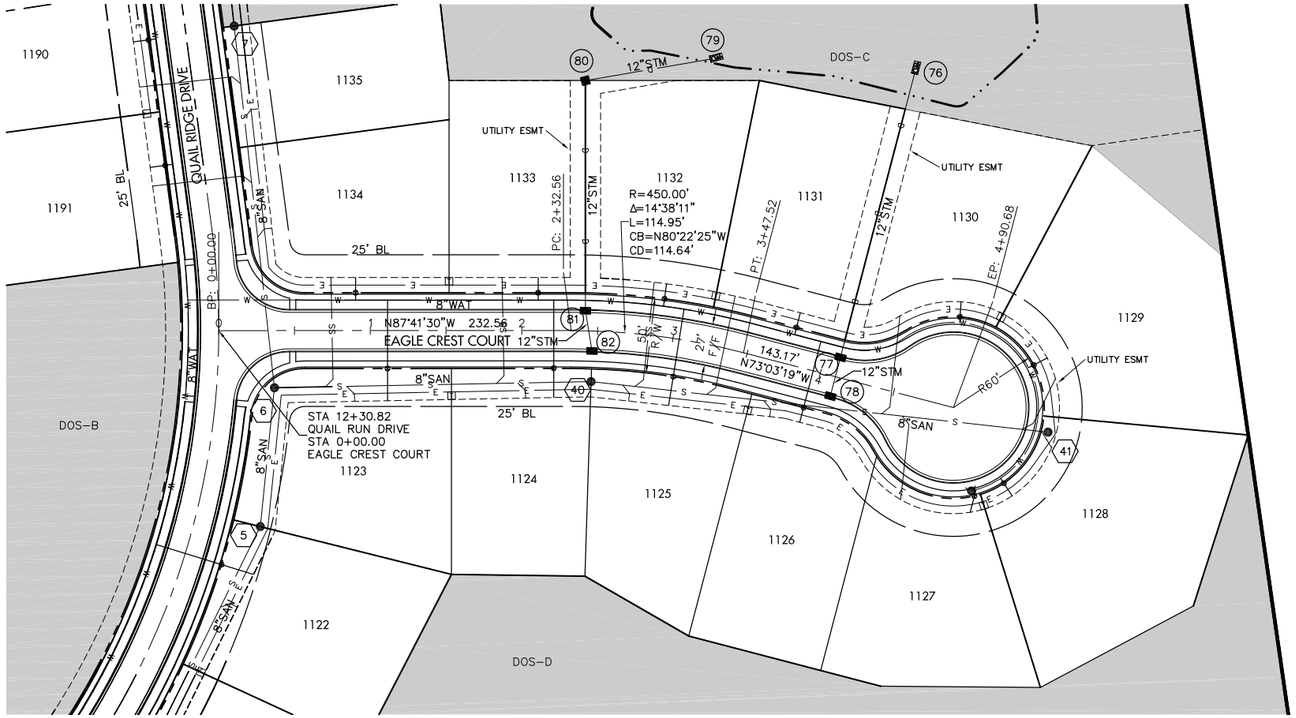
DESIGN	DRAFT	CHECK
DGR	DGR	JPW

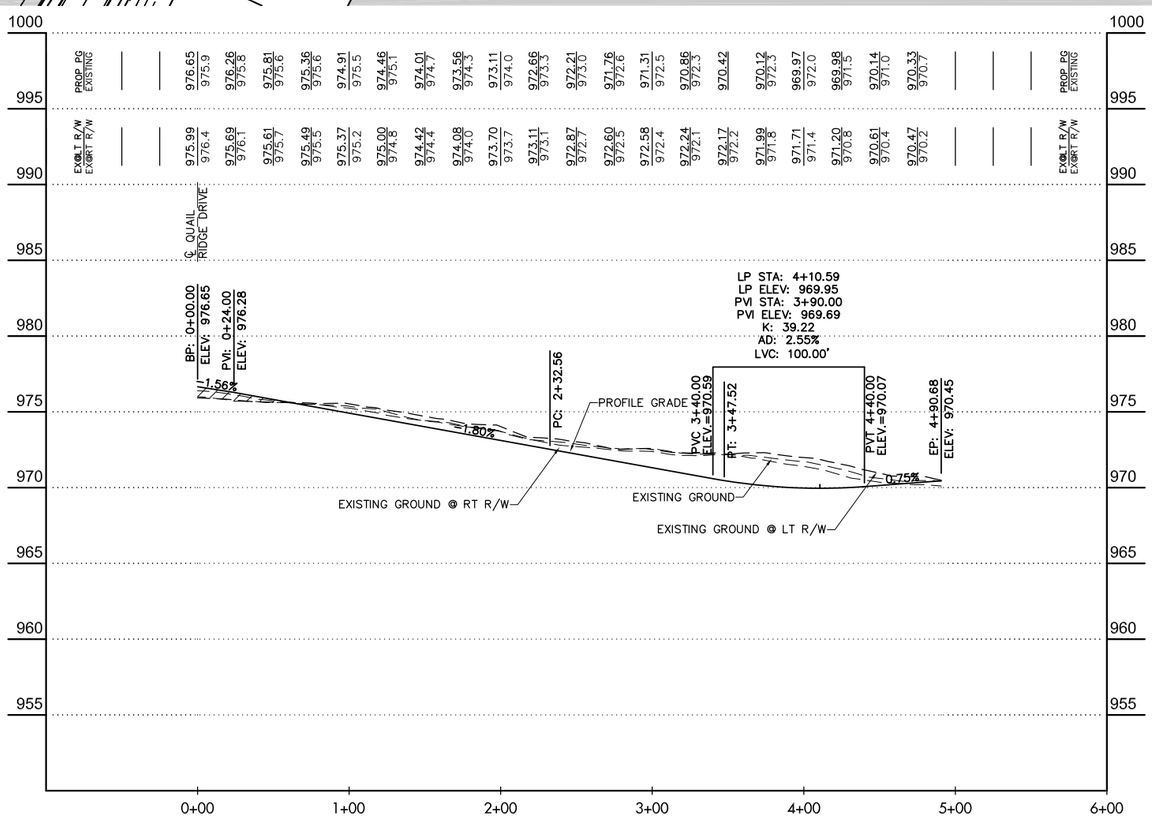
PROJECT NO.: 13-008

DATE: OCTOBER, 2015

SCALE:
HORIZONTAL: 1" = 50'
VERTICAL: 1" = 5'

SHEET NO.: 16/24





LEGEND

EXISTING:

- RIGHT-OF-WAY
- ROADWAY CENTERLINE
- UTILITY EASEMENT
- WATERLINE
- STORM SEWER
- SANITARY SEWER
- ELECTRIC
- TELEPHONE
- GAS

PROPOSED:

- RIGHT-OF-WAY
- ROADWAY CENTERLINE
- UTILITY EASEMENT
- BUILDING SETBACK LINE
- WATERLINE
- STORM SEWER
- SANITARY SEWER
- WATER VALVE
- FIRE HYDRANT
- WATER SERVICE
- STORM SEWER MANHOLE
- STORM SEWER CATCH BASIN
- STORM SEWER INLET
- SANITARY MANHOLE
- SANITARY SERVICE
- ELECTRIC
- ELECTRIC BOX
- ODOT 203 FILL
- OPEN SPACE RESERVE
- DEVELOPER OPEN SPACE
- PROPOSED SIDEWALK (BY DEVELOPER)

NOTE:
ELECTRIC SHOWN CONCEPTUALLY FOR CONFLICT RESOLUTION. EXACT PRIMARY/SECONDARY RUNS TO BE DETERMINED, SUBJECT TO CHANGE BY OHIO EDISON

GRAPHIC SCALE
50 25 0 50
(IN FEET)
1 inch = 50 ft.

CHANGE ORDER SCHEDULE

#	DESCRIPTION OF CHANGE	SHEET NO.	APPROVALS BY	DATE

TerrainEvolution
Your bridge between Vision and Success
720 East Broad Street | Suite 203 | Columbus, OH 43215
P: 614.385.1090 | F: 614.385.1085 | E: info@terrainevolution.com

JEROME TOWNSHIP, UNION COUNTY, OHIO

JEROME VILLAGE

EVERSOLE RUN NEIGHBORHOOD
SECTION 2

STREET PLAN & PROFILE
EAGLE CREST COURT

DRAWING SET STATUS:
- ■ PRELIMINARY ENGINEERING SET
- ☐ AGENCY REVIEW SET
- ☐ CONSTRUCTION DOCUMENT SET
- ☐ AS-BUILT DOCUMENT SET

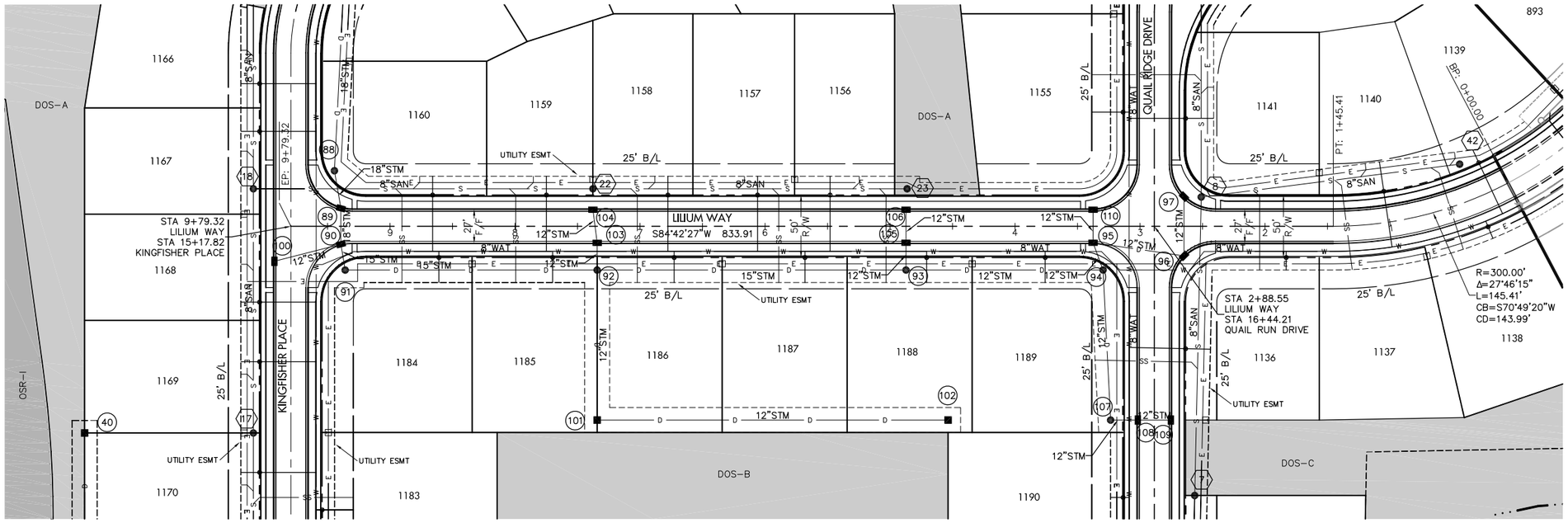
DESIGN	DRAFT	CHECK
DGR	DGR	JPW

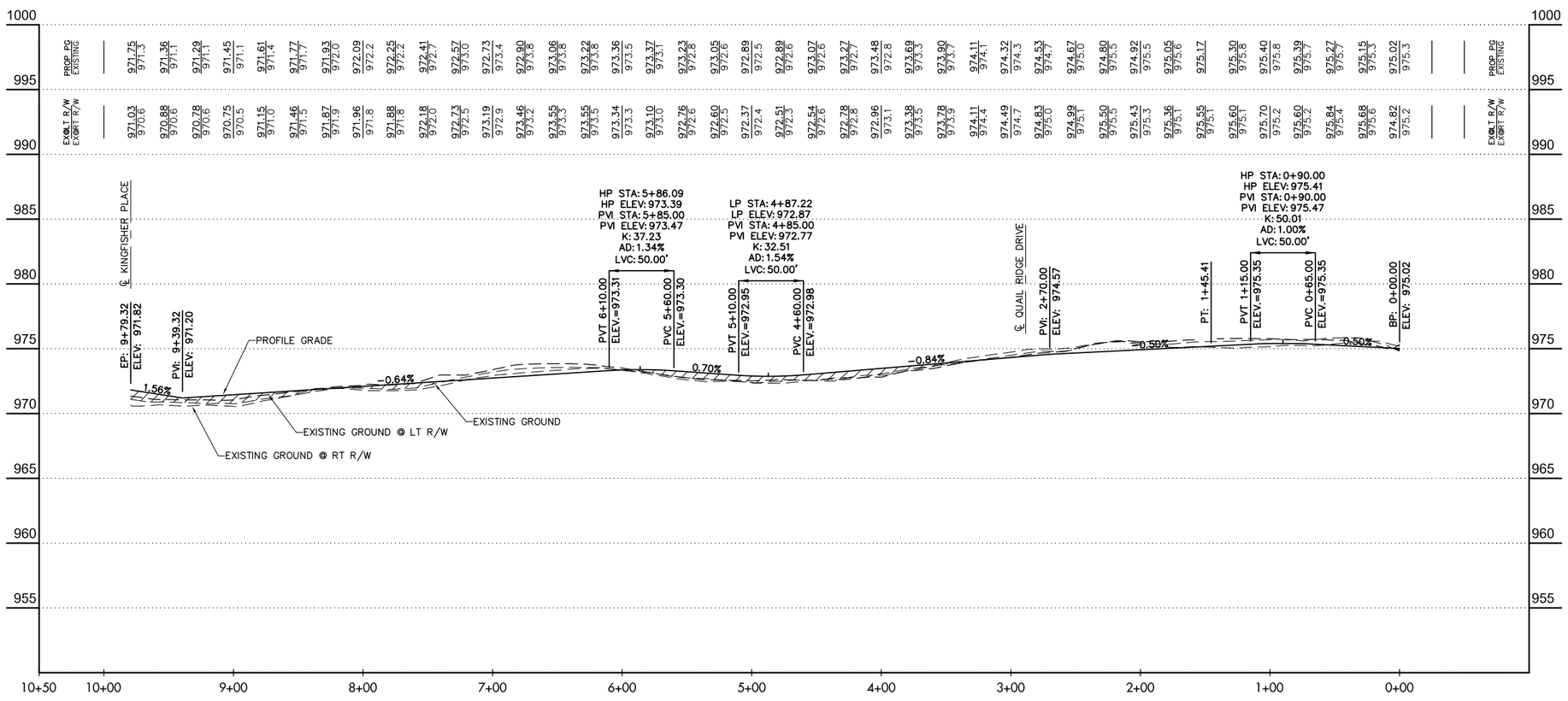
PROJECT NO.: 13-008

DATE: OCTOBER, 2015

SCALE:
HORIZONTAL: 1" = 50'
VERTICAL: 1" = 5'

SHEET NO.: 17 /24





LEGEND

EXISTING:
- RIGHT-OF-WAY
- ROADWAY CENTERLINE
- UTILITY EASEMENT
- WATERLINE
- STORM SEWER
- SANITARY SEWER
- ELECTRIC
- TELEPHONE
- GAS

PROPOSED:
- RIGHT-OF-WAY
- ROADWAY CENTERLINE
- UTILITY EASEMENT
- BUILDING SETBACK LINE
- WATERLINE
- STORM SEWER
- SANITARY SEWER
- WATER VALVE
- FIRE HYDRANT
- WATER SERVICE
- STORM SEWER MANHOLE
- STORM SEWER CATCH BASIN
- STORM SEWER INLET
- SANITARY MANHOLE
- SANITARY SERVICE
- ELECTRIC
- ELECTRIC BOX
- ODOT 203 FILL
- OPEN SPACE RESERVE
- DEVELOPER OPEN SPACE
- PROPOSED SIDEWALK (BY DEVELOPER)

NOTE:
ELECTRIC SHOWN CONCEPTUALLY FOR CONFLICT RESOLUTION. EXACT PRIMARY/SECONDARY RUNS TO BE DETERMINED, SUBJECT TO CHANGE BY OHIO EDISON

GRAPHIC SCALE
50 25 0 50
(IN FEET)
1 inch = 50 ft.

CHANGE ORDER SCHEDULE

#	DESCRIPTION OF CHANGE	SHEET NO.	APPROVALS BY	DATE

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JEROME TOWNSHIP, UNION COUNTY, OHIO

JEROME VILLAGE

EVERSOLE RUN NEIGHBORHOOD
SECTION 2

STREET PLAN & PROFILE
LILIUM WAY

DRAWING SET STATUS:
- ■ PRELIMINARY ENGINEERING SET
- ☐ AGENCY REVIEW SET
- ☐ CONSTRUCTION DOCUMENT SET
- ☐ AS-BUILT DOCUMENT SET

DESIGN	DRAFT	CHECK
DGR	DGR	JPW

PROJECT NO.: 13-008

DATE: OCTOBER, 2015

SCALE:
HORIZONTAL: 1" = 50'
VERTICAL: 1" = 5'

SHEET NO.: 18 / 24

I:\13-008\DWG\DGR\Engineering\13008c1PRELIM.dwg Sun Nov 01 11:17:20 2015 @ 10:35:55 pm - ID: Terrain Evolution, Inc.

N

GRAPHIC SCALE

150 75 0 150

(IN FEET)
1 inch = 150 ft.

CHANGE ORDER SCHEDULE

#	DESCRIPTION OF CHANGE	SHEET NO.	APPROVALS BY	DATE

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JEROME TOWNSHIP, UNION COUNTY, OHIO

JEROME VILLAGE

EVERSOLE RUN NEIGHBORHOOD
SECTION 2

EXISTING CONDITIONS PLAN

DRAWING SET STATUS:
- ■ PRELIMINARY ENGINEERING SET
- □ AGENCY REVIEW SET
- □ CONSTRUCTION DOCUMENT SET
- □ AS-BUILT DOCUMENT SET

DESIGN	DRAFT	CHECK
DGR	DGR	JPW

PROJECT NO.: 13-008

DATE: OCTOBER, 2015

SCALE:
HORIZONTAL: 1" = 150'
VERTICAL: N/A

SHEET NO.: 19 / 24

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LEGEND

EXISTING:
- RIGHT-OF-WAY
- ROADWAY CENTERLINE
- UTILITY EASEMENT
- WATERLINE
- STORM SEWER
- SANITARY SEWER
- ELECTRIC
- TELEPHONE
- GAS

PROPOSED:
- RIGHT-OF-WAY
- ROADWAY CENTERLINE
- UTILITY EASEMENT
- BUILDING SETBACK LINE
- WATERLINE
- STORM SEWER
- SANITARY SEWER
- WATER VALVE
- FIRE HYDRANT
- WATER SERVICE
- STORM SEWER MANHOLE
- STORM SEWER CATCH BASIN
- STORM SEWER INLET
- SANITARY MANHOLE
- SANITARY SERVICE
- DEDICATED OPEN SPACE
- OPEN SPACE RESERVE
- ODOT 203 FILL
- FULL DEPTH PAVEMENT REMOVAL
- FLOOD ROUTING

NOTE:
GRADING SHOWN IS CONCEPTUAL AND IS SUBJECT TO CHANGE. GRADING WILL BE FINALIZED DURING TIME OF FINAL DEVELOPMENT

GRAPHIC SCALE
100 50 0 100
(IN FEET)
1 inch = 100 ft.

CHANGE ORDER SCHEDULE

#	DESCRIPTION OF CHANGE	SHEET NO.	BY	DATE	APPROVALS

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JEROME TOWNSHIP, UNION COUNTY, OHIO

JEROME VILLAGE

EVERSOLE RUN NEIGHBORHOOD
SECTION 2

PRELIMINARY GRADING PLAN

DRAWING SET STATUS:
- ■ PRELIMINARY ENGINEERING SET
- ☐ AGENCY REVIEW SET
- ☐ CONSTRUCTION DOCUMENT SET
- ☐ AS-BUILT DOCUMENT SET

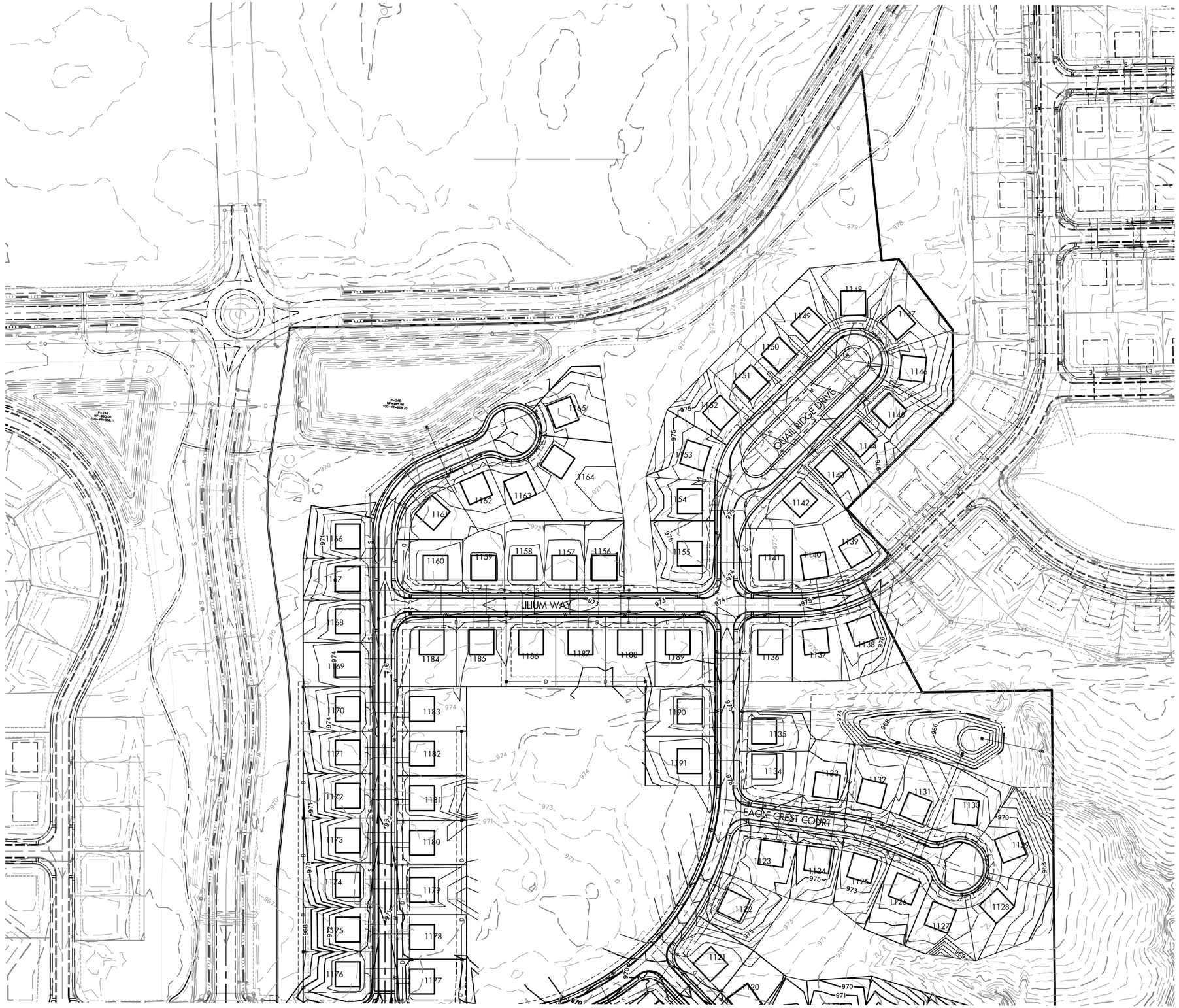
DESIGN	DRAFT	CHECK
DGR	DGR	JPW

PROJECT NO.: 13-008

DATE: OCTOBER, 2015

SCALE:
HORIZONTAL: 1" = 100'
VERTICAL: N/A

SHEET NO.: 20/24



LEGEND

EXISTING:
- RIGHT-OF-WAY
- ROADWAY CENTERLINE
- UTILITY EASEMENT
- WATERLINE
- STORM SEWER
- SANITARY SEWER
- ELECTRIC
- TELEPHONE
- GAS

PROPOSED:
- RIGHT-OF-WAY
- ROADWAY CENTERLINE
- UTILITY EASEMENT
- BUILDING SETBACK LINE
- WATERLINE
- STORM SEWER
- SANITARY SEWER
- WATER VALVE
- FIRE HYDRANT
- WATER SERVICE
- STORM SEWER MANHOLE
- STORM SEWER CATCH BASIN
- STORM SEWER INLET
- SANITARY MANHOLE
- SANITARY SERVICE
- DEDICATED OPEN SPACE
- OPEN SPACE RESERVE
- ODOT 203 FILL
- FULL DEPTH PAVEMENT REMOVAL
- FLOOD ROUTING

NOTE:
GRADING SHOWN IS CONCEPTUAL AND IS SUBJECT TO CHANGE. GRADING WILL BE FINALIZED DURING TIME OF FINAL DEVELOPMENT

GRAPHIC SCALE
100 50 0 100
(IN FEET)
1 inch = 100 ft.

CHANGE ORDER SCHEDULE

#	DESCRIPTION OF CHANGE	SHEET NO.	BY	APPROVALS DATE

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JEROME TOWNSHIP, UNION COUNTY, OHIO

JEROME VILLAGE

EVERSOLE RUN NEIGHBORHOOD
SECTION 2

PRELIMINARY GRADING PLAN

DRAWING SET STATUS:
- ■ PRELIMINARY ENGINEERING SET
- ☐ AGENCY REVIEW SET
- ☐ CONSTRUCTION DOCUMENT SET
- ☐ AS-BUILT DOCUMENT SET

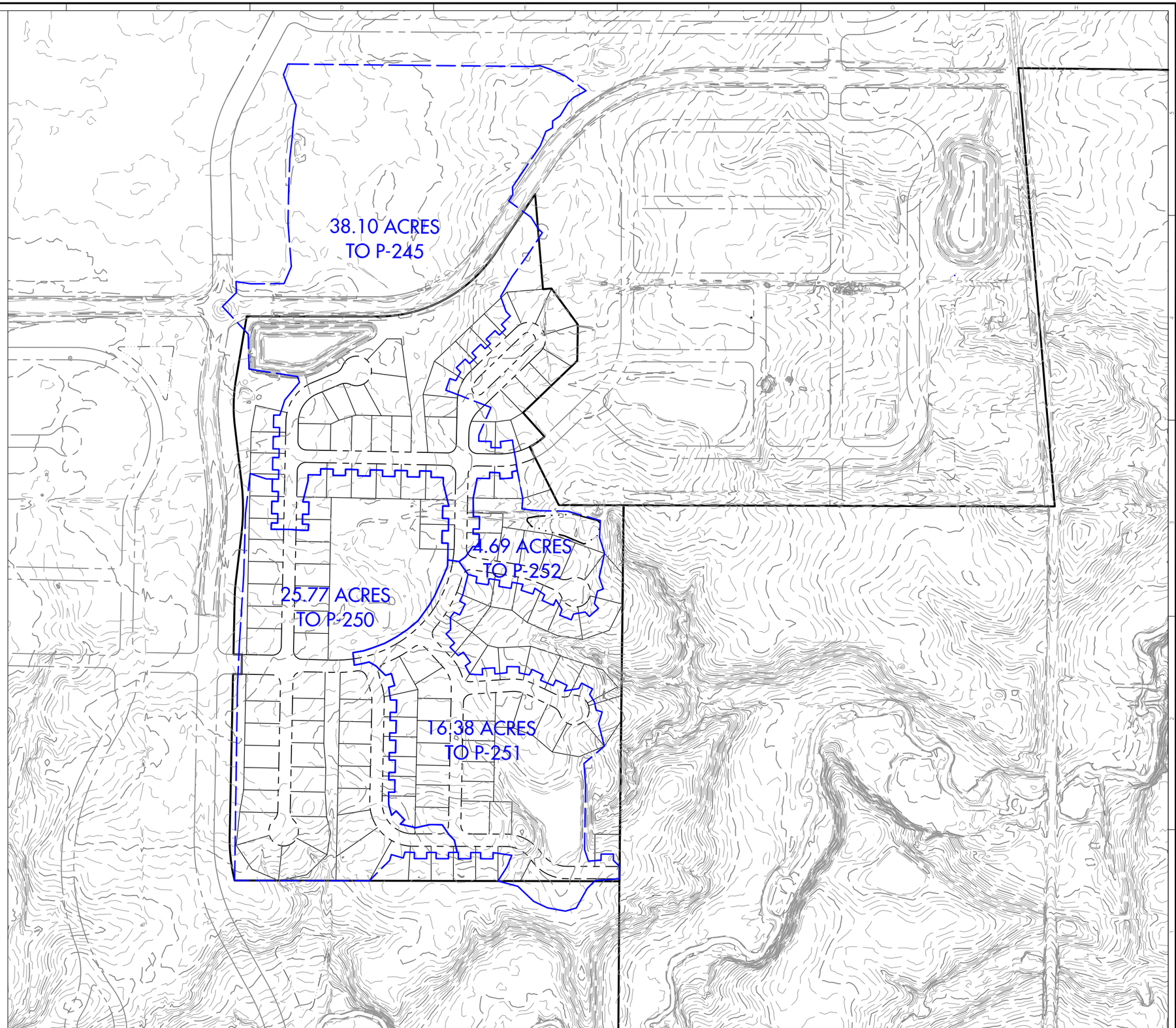
DESIGN	DRAFT	CHECK
DGR	DGR	JPW

PROJECT NO.: 13-008

DATE: OCTOBER, 2015

SCALE:
HORIZONTAL: 1" = 100'
VERTICAL: N/A

SHEET NO.: 21/24



N

GRAPHIC SCALE

200 100 0 200

(IN FEET)
1 inch = 200 ft.

CHANGE ORDER SCHEDULE

#	DESCRIPTION OF CHANGE	SHEET NO.	APPROVALS BY	DATE

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P: 614.385.1090 | **F:** 614.385.1085 | **E:** info@terrainevolution.com

JEROME TOWNSHIP, UNION COUNTY, OHIO

JEROME VILLAGE

EVERSOLE RUN NEIGHBORHOOD
SECTION 2

POST DEVELOPED CONDITIONS

DRAWING SET STATUS:
- ■ PRELIMINARY ENGINEERING SET
- ☐ AGENCY REVIEW SET
- ☐ CONSTRUCTION DOCUMENT SET
- ☐ AS-BUILT DOCUMENT SET

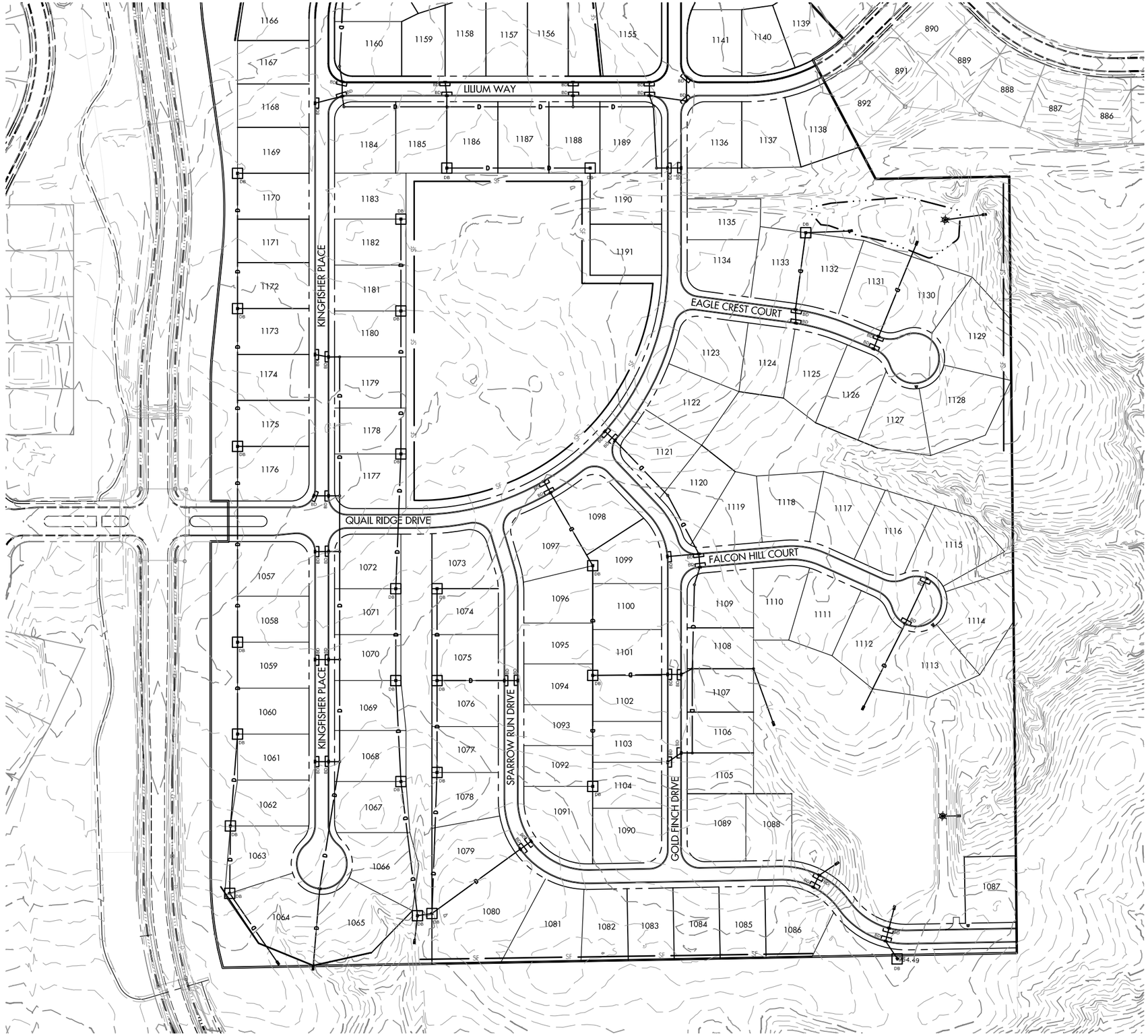
DESIGN	DRAFT	CHECK
DGR	DGR	JPW

PROJECT NO.: 13-008

DATE: SEPTEMBER, 2015

SCALE:
HORIZONTAL: 1" = 200'
VERTICAL: N/A

SHEET NO.: 22 / 24



LEGEND

- BD – BEAVER DAM INLET PROTECTION
- DB – DANDY BAG INLET PROTECTION
- SBB – STRAW BALE BARRIER
- SF – SILT FENCING
- STABILIZED CONSTRUCTION ENTRANCE
- JURISDICTIONAL STREAM BUFFER (NO DISTURBANCE ALLOWED)
- TEMPORARY SEDIMENT BASIN CONTROL STRUCTURE
- SBIF – STRAW BALE DROP INLET FILTER OR ALTERNATIVE
- 100-YR PONDING LIMITS

NOTE:
ALL EROSION AND SEDIMENT CONTROL PRACTICES ARE SUBJECT TO FIELD MODIFICATION AT THE DISCRETION OF UNION COUNTY AND/OR THE OHIO EPA.

N

GRAPHIC SCALE
100 50 0 100
(IN FEET)
1 inch = 100 ft.

CHANGE ORDER SCHEDULE

#	DESCRIPTION OF CHANGE	SHEET NO.	APPROVALS BY	DATE

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JEROME TOWNSHIP, UNION COUNTY, OHIO

JEROME VILLAGE

EVERSOLE RUN NEIGHBORHOOD
SECTION 2

STORMWATER POLLUTION PREVENTION PLAN

DRAWING SET STATUS:
- ■ PRELIMINARY ENGINEERING SET
- □ AGENCY REVIEW SET
- □ CONSTRUCTION DOCUMENT SET
- □ AS-BUILT DOCUMENT SET

DESIGN	DRAFT	CHECK
DGR	DGR	JPW

PROJECT NO.: 13-008

DATE: OCTOBER, 2015

SCALE:
HORIZONTAL: 1" = 100'
VERTICAL: N/A

SHEET NO.: 23 / 24

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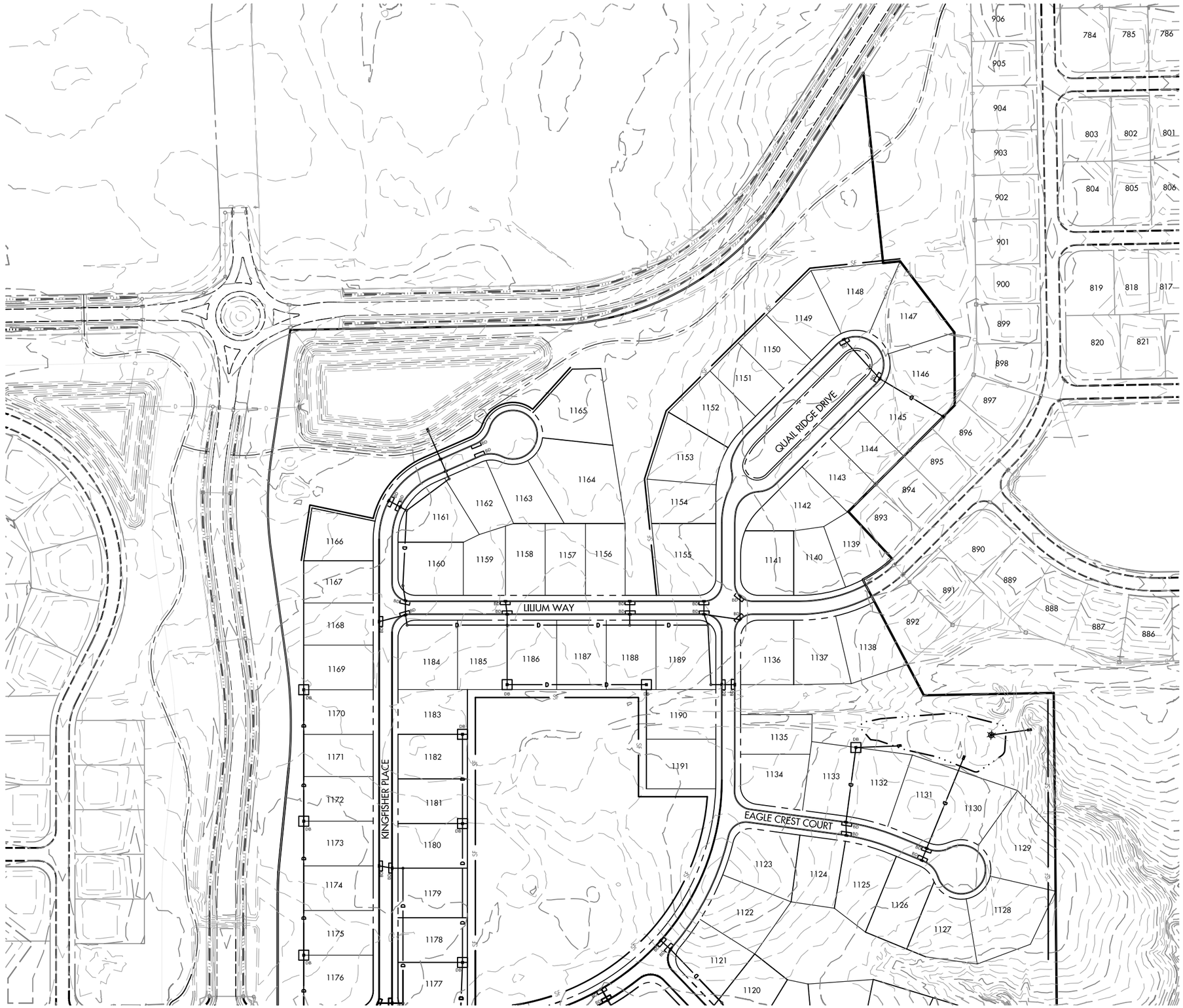

LEGEND

- BD – BEAVER DAM INLET PROTECTION
- DB – DANDY BAG INLET PROTECTION
- SBB – STRAW BALE BARRIER
- SF – SILT FENCING
- STABILIZED CONSTRUCTION ENTRANCE
- JURISDICTIONAL STREAM BUFFER (NO DISTURBANCE ALLOWED)
- TEMPORARY SEDIMENT BASIN CONTROL STRUCTURE
- SBIF – STRAW BALE DROP INLET FILTER OR ALTERNATIVE
- 100-YR PONDING LIMITS

NOTE:
ALL EROSION AND SEDIMENT CONTROL PRACTICES ARE SUBJECT TO FIELD MODIFICATION AT THE DISCRETION OF UNION COUNTY AND/OR THE OHIO EPA.

N

GRAPHIC SCALE
100 50 0 100
(IN FEET)
1 inch = 100 ft.

CHANGE ORDER SCHEDULE

#	DESCRIPTION OF CHANGE	SHEET NO.	APPROVALS BY	DATE

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JEROME TOWNSHIP, UNION COUNTY, OHIO

JEROME VILLAGE

EVERSOLE RUN NEIGHBORHOOD
SECTION 2

STORMWATER POLLUTION PREVENTION PLAN

DRAWING SET STATUS:
- [x] PRELIMINARY ENGINEERING SET
- [ ] AGENCY REVIEW SET
- [ ] CONSTRUCTION DOCUMENT SET
- [ ] AS-BUILT DOCUMENT SET

DESIGN	DRAFT	CHECK
DGR	DGR	JPW

PROJECT NO.: 13-008

DATE: OCTOBER, 2015

SCALE:
HORIZONTAL: 1" = 100'
VERTICAL: N/A

SHEET NO.: 24 /24

County Engineer
Environmental Engineer
Building Department
233 W. Sixth Street
Marysville, Ohio 43040
P 937. 645. 3018
F 937. 645. 3161
www.co.union.oh.us/engineer

Marysville Operations Facility
16400 County Home Road
Marysville, Ohio 43040
P 937. 645. 3017
F 937. 645. 3111

Richwood Outpost
190 Beatty Avenue
Richwood, Ohio 43344

***Public Service** with integrity*

December 6, 2017

Bradley Bodenmiller
LUC Regional Planning Commission
Box 219
East Liberty, Ohio 43319

Re: Jerome Village – Eversole Run Neighborhood Section 2
Preliminary Plat Extension

Brad,

We have completed our review for the above preliminary plat extension request, received by our office on November 27, 2017. We recommend the plat be extended conditionally per the comments provided in our original preliminary plat comment letter, dated December 3rd, 2015.

In accordance with the Subdivision Regulations of Union County, additional information is required from the developer prior to final plat approvals. It is the responsibility of the developer to become familiar with the regulations and file requisite information within the time frames outlined in the regulations. Should you have any questions or concerns, feel free to contact me at (937) 645-3165.

Bill Narducci

Bill Narducci, P.E.
Assistant County Engineer
Union County Engineer

Cc: Luke Sutton, Union County Engineer's Office (via email)