

Zoning & Subdivision Committee
Tuesday, September 6, 2016, 1:30 pm

- Minutes from last meeting of July 14, 2016
- 1. Review of Jerome Village VN-4, Phase 1 Final Plat (Union County) – Staff Report by Brad Bodenmiller
- 2. Review of Jerome Village GPN-5, The Courtyards at Jerome Village, Phase 1 Amended Final Plat (Union County)– Staff Report by Brad Bodenmiller
- 3. Review of New California Phase 1 Final Plat (Union County)– Staff Report by Brad Bodenmiller
- 4. Review of Woodbine Village Section 2, Phase 2 Amended Preliminary Plat (Union County)– Staff Report by Brad Bodenmiller
- 5. Review of Mitchell Highlands Preliminary Plat (Union County)– Staff Report by Brad Bodenmiller
- 6. Review of Millcreek Township (Union County) Zoning Text Amendment – Staff Report by Brad Bodenmiller

Members:

Tyler Bumbalough – City of Urbana Engineer
Scott Coleman – Logan County Engineer
Weston R. Dodds – City of Bellefontaine Code Enforcement
Chad Flowers – City of Marysville Planning
Charles Hall – Union County Commissioner
Steve McCall – Champaign County Engineer
Bill Narducci – Union County Engineer's Office
Vince Papsidero – City of Dublin Planning Director
Tom Scheiderer – Jefferson Township Zoning Inspector
Jeff Stauch – Union County Engineer
Robert A. Yoder – North Lewisburg Administrator
Dave Gulden – LUC
Heather Martin – LUC
Brad Bodenmiller – LUC
Rebecca Longsmith - LUC

9676 E. Foundry St, PO Box 219
East Liberty, Ohio 43319

• Phone: 937-666-3431 • Fax: 937-666-6203
• Email: luc-rpc@lucplanning.com • Web: www.lucplanning.com



Staff Report – Village Neighborhood Section 4 Phase 1

Applicant:	<p>Jerome Village Company LLC c/o Gary Nuss 375 North Front Street, Suite 200 Columbus, OH 43215 nussg@nationwide.com</p> <p>Terrain Evolution, Inc. c/o Justin Wollenberg PE 720 East Broad Street, Suite 203 Columbus, OH 43215 jwollenberg@terrinevolution.com</p>
Request:	Approval of Village Neighborhood Section 4 (VN-4), Phase 1 – Final Plat.
Location:	Located west of Jerome Road, north of Hill Road, and south of Harriott Road in Jerome Township, Union County.

Staff Analysis:	<p>This Final Plat involves 22.920 acres of land and proposes 56 single-family residential lots.</p> <p>Acreages:</p> <ul style="list-style-type: none">○ 5.5 acres in right-of-way○ 13.313 acres in single-family residential lots○ 4.107 acres in open space <p>Proposed utilities:</p> <ul style="list-style-type: none">○ City of Marysville public water service○ Eversole Run Sewer District collection and City of Marysville public treatment <p>Preliminary Plat:</p> <ul style="list-style-type: none">○ The Preliminary Plat was approved on 12-14-2015. <p>• Union County Engineer's Office</p> <ul style="list-style-type: none">○ The Engineer's Office submitted comments in a letter dated 09-01-16. The Engineer's Office did not recommend approval, but suggested its comments could be addressed by the September 6th LUC meeting. The Engineer's Office reported that the Construction Drawings were approved and a performance bond is under review by the Prosecutor's
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Staff Report – Village Neighborhood Section 4 Phase 1

	<p>Office. Comments from the Engineer's Office are below:</p> <ol style="list-style-type: none">1. We have been working with the development team to establish an equitable process to determine developer contributions for offsite traffic improvements caused by the Jerome Village development. We have generated a Memorandum of Understanding to capture the intent of this process, and are working to determine the details of these contributions. Through recent discussions, we have verbally agreed to a dollar amount for this mitigation and are currently in the process of drafting a final infrastructure agreement memorializing the process, offsite intersections involved and financial breakdown. We will continue to work through this process during final construction design and platting, and have the ability to withhold approvals at these phases of development should these discussions break down.2. In the Drainage Easement description on sheet 1, replace the word "remove" with "replace" in the last sentence.3. Define all easements on sheet 2 to match the descriptions on sheet 1.4. Our map manager has reviewed the final plat, and has provided some required corrections. Please see the attached markups. <p>• Union County Soil & Water Conservation District</p> <ul style="list-style-type: none">○ No comments received as of 09-01-16. <p>• Union County Health Department</p> <ul style="list-style-type: none">○ No comments received as of 09-01-16. Standard comments from the Health Department are below:<ol style="list-style-type: none">1. "All efforts should be made to provide a point of connection (via easements and/or service lines) to both water and sewer to any adjacent home, business, or any other facility that is serviced by a private water system (PWS) and/or sewage treatment system (SWS)."2. Any home, business, or other structure that is currently being serviced by a private sewage treatment system (STS) and ends up being
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Staff Report – Village Neighborhood Section 4 Phase 1

	<p>situated within 200' of a sanitary sewer easement, shall be brought to the attention of the Union County Health Department.”</p> <p>3. “If at any at time during development of the subdivision a private water system (PWS) (well, cistern, etc.) or sewage treatment system (STS) is found, our office shall be immediately contacted for inspection. Proper permitting must be obtained for sealing and/or abandonment of a private water system (PWS) and sewage treatment system (STS).”</p> <p>• City of Marysville</p> <ul style="list-style-type: none">○ The City of Marysville submitted comments in a letter dated 09-01-16. The City recommended approval of the Final Plat. <p>• Jerome Township</p> <ul style="list-style-type: none">○ Jerome Township submitted comments in a letter dated 08-31-16. “It appears as if the Plat as submitted is consistent with the Preliminary Plat and the zoning as approved by the trustees. As such, the township has no comments or concerns with the pending approval of the Plat at this time.” <p>• ODOT District 6</p> <ul style="list-style-type: none">○ Per an email dated 09-01-16, ODOT had no comments. <p>• Ohio Edison</p> <ul style="list-style-type: none">○ No comments received as of 09-01-16. <p>• LUC Regional Planning Commission</p> <ol style="list-style-type: none">1. Sheet 1: Per the Preliminary Plat approval, add second variance to list.2. Sheet 1: Per the Preliminary Plat approval, define “DOS.”3. Sheet 1: “Misc Restrictions” refers to ERN-6, not VN-4.4. Sheet 3: Dimension missing on easement in 1012 and at the south boundary line of Orchid Hill Drive (§323).5. A letter from the County Engineer verifying all required improvements have been installed and approved by the proper officials or agencies, or
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Logan-Union-Champaign regional planning commission

Staff Report – Village Neighborhood Section 4 Phase 1

	verifying a bond or other surety, approved by the County Commissioners and their legal counsel, has been furnished assuring installation of the required improvements” (§324, 2.; §326; §330).
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Staff Recommendations:	Staff recommends <i>DENIAL</i> of Village Neighborhood Section 4 (VN-4), Phase 1 – Final Plat. Although the minor technical items included in this staff report could be incorporated into the Final Plat Mylar for the 09-06-16 LUC meetings, the outstanding bond or other surety is required (§324, 2.; §326; §330) before staff is comfortable recommending otherwise.
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Z&S Committee Recommendations:	
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Logan-Union-Champaign regional planning commission

Director: Dave Gulden, AICP

Application for Final Plat Approval

Date: _____

Name of Subdivision: _____

Section/Phase: _____ Block _____

Location: _____

Township: _____ Military Survey: _____

Complete Parcel(s) Identification Number (PIN): _____

Has a Preliminary Plat been approved for this subdivision?: Yes _____ No _____ Date: _____

Name of Applicant: _____

Address: _____

City: _____ State: _____ Zip: _____

Phone: _____ Fax: _____ Email: _____

Name of Owner of property to be subdivided: _____

Address: _____

City: _____ State: _____ Zip: _____

Phone: _____ Fax: _____ Email: _____

Name of Applicant's Surveyor or Engineer: _____

Address: _____

City: _____ State: _____ Zip: _____

Phone: _____ Fax: _____ Email: _____

Proposed Acreage to be Subdivided: _____

Current Zoning Classification: _____

Proposed Zoning Changes: _____

Proposed Land Use: _____

Development Characteristics

Acreage w/in Approved Preliminary Plat: _____ Acres

Acreage w/in Section and/or Block: _____ Acres

Number of **APPROVED** lots from Preliminary Plat _____

9676 E. Foundry St, PO Box 219

East Liberty, Ohio 43319

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Director: Dave Gulden, AICP

Number of Lots **PROPOSED** w/in this Section: _____

Number of **APPROVED** units from Preliminary Plat: _____

Number of Units **PROPOSED** w/in this Section: _____

Typical Lot Width: _____ Feet Typical Lot Area: _____

Single Family Units: _____ Sq. ft Multi-Family Units: _____

Acreage to be devoted to recreation, parks or open space: _____

Recreation facilities to be provided: _____

Approved method of Supplying Water Service: _____

Approved method of Sanitary Waste Disposal: _____

Were any Requests for Variance(s) from the Subdivision Regulations approved by the County Commissioners? _____

Approved 50' righth-of-way Widths Resolution #306-09 Date 6-11-09

Construction improvements have achieved satisfactory completion and has been Certified by the County Engineer in accordance with Section 326 and 330 of the Subdivision Regulation? *If no, continue to next question.* _____

If no to the above question, please submit a Performance Bond in accordance with the following:

Has estimated construction cost been submitted by the responsible design engineer? _____

Has estimated construction cost been approved by the County Engineer? _____

Bond has been submitted to County Engineer? _____

Bond approved by County Commissioners? _____

For Official Use

Date filed: _____ Filing Fee: _____

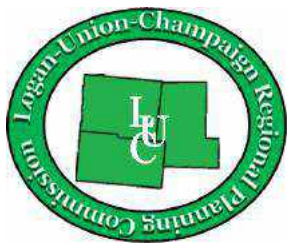
Date of Meeting of Planning Commission: _____

Action by Planning Commission: _____

If rejected, reason(s) for: _____

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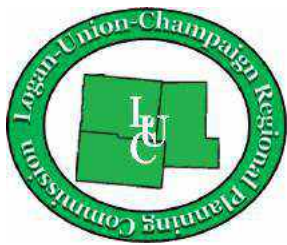


Final Plat Review Checklist

#	Required Item Description	Have	Need
0	Drawn at a scale not less than 1:100 and shall be on one or more sheets 24" X 36"; drawn in India ink or photographically reproduced on Mylar or other materials of equal permanence.		
1	Name of the Subdivision, location by section, range or township, or Virginia Military Survey (VMS) number; date, north point, written and graphic scale and acreage.		
2	Names and addresses of the subdivider and the professional surveyor who prepared the Final Plat		
3	Plat boundaries, based on accurate traverse, with directional and lineal dimensions.		
4	Bearings and distances to nearest established street lines or other recognized permanent monuments.		
5	Exact locations, right-of-way widths, and names of all streets within and adjoining the plat; building setback lines.		
6	Radii, internal angles, points of curvature, tangent bearings, lengths of arcs, and lengths and bearings of chords.		
7	All easements and rights-of-ways provided for public services or utilities. All plats shall contain a restriction that no permanent structures or plantings, etc. shall be permitted in the easement areas.		
8	All lot numbers and lines with accurate dimensions in feet and hundredths. House numbers may be required to be shown.		
9	Accurate location and description of all monuments. The plat shall clearly indicate which monuments are in place at the time of certification of the Final Plat by the surveyor. The plat shall also clearly indicate which monuments will be placed, if any, after construction of the improvements and before the completion date.		
10	Accurate outlines of areas to be dedicated or reserved for public use, or any area to be reserved for common uses of all property owners.		
11	The limits of all Flood Hazard Areas (show the FEMA map number and date). Base Flood Elevations and minimum first floor elevations shall be shown for all lots located within Flood Hazard Areas.		
12	Certain restrictions and covenants the subdivider intends to include in the deeds to the lots in the subdivision including any restrictions required by the County.		
13	Certification by a professional surveyor to the effect that the plat represents an actual field survey performed by him; that all dimensional details are correct, and that the monuments shown thereon were or will be placed by the established completion date or prior to the sale of each lot, whichever occurs first (See Section 326).		
14	Notarized certification by the owner or owners of the authorization of the plat and the dedication of streets and other public areas.		

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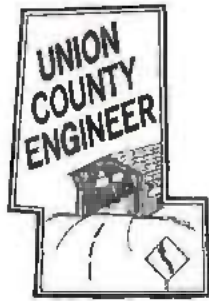
Logan-Union-Champaign regional planning commission

Director: Dave Gulden, AICP

15	A vicinity map at a scale of generally not more than six thousand feet to an inch (6,000:1) shall be shown on, or shall accompany the Final Plat.		
16	If a zoning change or variance is involved, a letter from the Township Zoning Inspector shall be required indicating that the change or variance has been approved and is in effect.		
17	A letter from the County Engineer shall be required showing that all required improvements have been either installed and approved by the proper officials or agencies, or that a bond or other surety has been furnished assuring installation of the required improvements.		
18	Written certification from the Board of County Commissioners for operation and maintenance of the wastewater or water treatment plant, if applicable.		
19	Certification by a registered surveyor to the effect that the plat represents a survey completed by the surveyor and that the monuments shown thereon exist as located in all dimensional details are correct.		
20	A notarized acknowledgement of all owners and lien holders to the plat and its restrictions including dedication to the public uses of streets, alleys, parks and other spaces shown thereon and granting required easements.		
21	Approval and acceptance clause for the signatures of a representative of the Logan-Union-Champaign County Regional Planning Commission, the County Engineer, the County Health Department, the Board of County Commissioners, the County Auditor, the County Recorder, and a representative of the Township Trustees in which the subdivision is located.		
22	Final Plat Fees: Payment/Check made out to LUC Regional Planning Commission, based on the current fee schedule.		

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County Engineer
Environmental Engineer
Building Department
233 W. Sixth Street
Marysville, Ohio 43040
P 937. 645. 3018
F 937. 645. 3161
www.co.union.oh.us/engineer

Marysville Operations Facility
16400 County Home Road
Marysville, Ohio 43040
P 937. 645. 3017
F 937. 645. 3111

Richwood Outpost
190 Beatty Avenue
Richwood, Ohio 43344

September 1, 2016

Public Service with integrity

Bradley Bodenmiller
LUC Regional Planning Commission
Box 219
East Liberty, Ohio 43319

Re: Final Plat Review
Village Neighborhood Section 4

Bradley,

We have completed our review for the above final plat, received by our office on August 22, 2016. The construction drawings have been approved by our office. Construction work has commenced at the site, but has not yet been completed, so we have required a performance bond for the cost of the remaining subdivision improvements. That performance bond has been received by our office and is currently under review by the Prosecutor's Office. In addition, we have the following comments:

1. We have been working with the development team to establish an equitable process to determine developer contributions for offsite traffic improvements caused by the Jerome Village development. We have generated a Memorandum of Understanding to capture the intent of this process, and are working to determine the details of these contributions. Through recent discussions, we have verbally agreed to a dollar amount for this mitigation and are currently in the process of drafting a final infrastructure agreement memorializing the process, offsite intersections involved and financial breakdown. We will continue to work through this process during final construction design and platting, and have the ability to withhold approvals at these phases of development should these discussions break down.
2. In the Drainage Easement description on sheet 1, replace the word "remove" with "replace" in the last sentence.
3. Define all easements on sheet 2 to match the descriptions on sheet 1.
4. Our map manager has reviewed the final plat, and has provided some required corrections. Please see the attached markups.

Due to the outstanding comments, we do not feel comfortable issuing an endorsement of approval at this time. However, due to the nature of the comments, we feel that they can be addressed by the September 6th Zoning and Subdivision Committee meeting. If you have any questions or concerns, feel free to contact me at (937) 645-3165.

Jeff Stauch, PE/PS
County Engineer | Environmental Engineer

Mary A. Sampsel, PE
Assistant County Engineer | Chief Building Official

Sincerely,

Bill Narducci

Bill Narducci, P.E.
Engineering Manager
Union County Engineer

Enc: Map Manager Markups

Cc: Luke Sutton, Union County Engineer's Office (via email)
Jeremy Burrey, Union SWCD (via email)

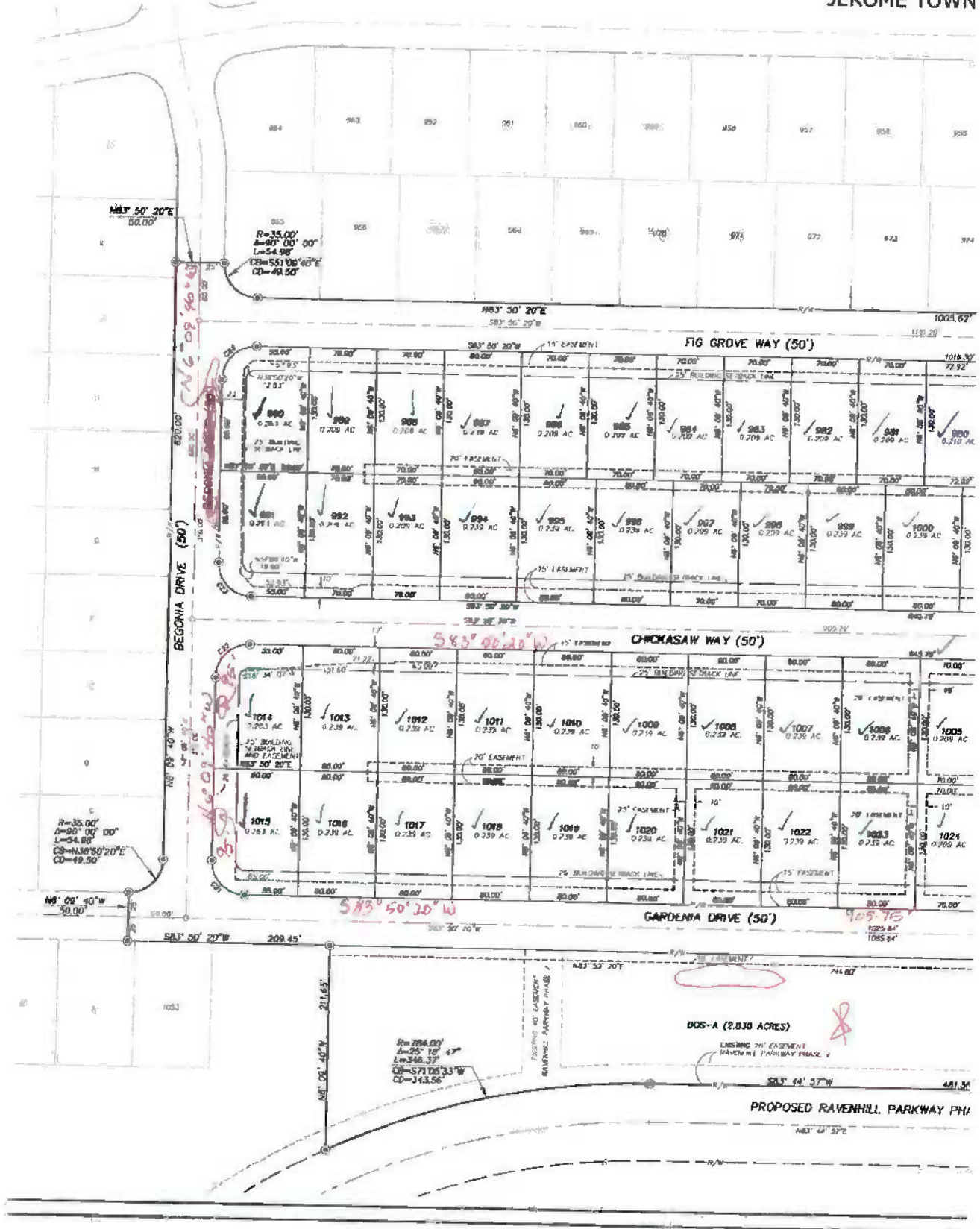
**County Engineer
Environmental Engineer
Building Department**

233 W. Sixth Street
Marysville, Ohio 43040

P 937. 645. 3018
F 937. 645. 3161
www.co.union.oh.us/engineer

VILLAGE NEIGHBORHOOD

VIRGINIA M.
JEROME TOWN



DD SECTION 4 PHASE 1

TARY SURVEY No.3005

IP, UNION COUNTY, OHIO



GRAPHIC SCALE
(1 IN FEET)
1 inch = 60 ft.

LEGEND:

- IRON PIN SET - 5/8" X 30" REBAR WITH A PLASTIC CAP INSCRIBED "JON. ADDOCK S-1491."
- IRON PIN (750) (AS INDICATED)
- IRON PIPE (AS NOTED)



Curve #	Radius	Chord	Angle	Chord Middle	Chord Length
1	100.00	100.00	90.00	100.00	100.00
2	100.00	100.00	90.00	100.00	100.00
3	100.00	100.00	90.00	100.00	100.00
4	100.00	100.00	90.00	100.00	100.00
5	100.00	100.00	90.00	100.00	100.00
6	100.00	100.00	90.00	100.00	100.00
7	100.00	100.00	90.00	100.00	100.00
8	100.00	100.00	90.00	100.00	100.00
9	100.00	100.00	90.00	100.00	100.00
10	100.00	100.00	90.00	100.00	100.00
11	100.00	100.00	90.00	100.00	100.00
12	100.00	100.00	90.00	100.00	100.00
13	100.00	100.00	90.00	100.00	100.00
14	100.00	100.00	90.00	100.00	100.00
15	100.00	100.00	90.00	100.00	100.00
16	100.00	100.00	90.00	100.00	100.00
17	100.00	100.00	90.00	100.00	100.00
18	100.00	100.00	90.00	100.00	100.00
19	100.00	100.00	90.00	100.00	100.00
20	100.00	100.00	90.00	100.00	100.00
21	100.00	100.00	90.00	100.00	100.00
22	100.00	100.00	90.00	100.00	100.00
23	100.00	100.00	90.00	100.00	100.00
24	100.00	100.00	90.00	100.00	100.00
25	100.00	100.00	90.00	100.00	100.00
26	100.00	100.00	90.00	100.00	100.00
27	100.00	100.00	90.00	100.00	100.00
28	100.00	100.00	90.00	100.00	100.00
29	100.00	100.00	90.00	100.00	100.00
30	100.00	100.00	90.00	100.00	100.00
31	100.00	100.00	90.00	100.00	100.00
32	100.00	100.00	90.00	100.00	100.00
33	100.00	100.00	90.00	100.00	100.00
34	100.00	100.00	90.00	100.00	100.00
35	100.00	100.00	90.00	100.00	100.00
36	100.00	100.00	90.00	100.00	100.00
37	100.00	100.00	90.00	100.00	100.00
38	100.00	100.00	90.00	100.00	100.00
39	100.00	100.00	90.00	100.00	100.00
40	100.00	100.00	90.00	100.00	100.00
41	100.00	100.00	90.00	100.00	100.00
42	100.00	100.00	90.00	100.00	100.00
43	100.00	100.00	90.00	100.00	100.00
44	100.00	100.00	90.00	100.00	100.00
45	100.00	100.00	90.00	100.00	100.00
46	100.00	100.00	90.00	100.00	100.00
47	100.00	100.00	90.00	100.00	100.00
48	100.00	100.00	90.00	100.00	100.00
49	100.00	100.00	90.00	100.00	100.00
50	100.00	100.00	90.00	100.00	100.00
51	100.00	100.00	90.00	100.00	100.00
52	100.00	100.00	90.00	100.00	100.00
53	100.00	100.00	90.00	100.00	100.00
54	100.00	100.00	90.00	100.00	100.00
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56	100.00	100.00	90.00	100.00	100.00
57	100.00	100.00	90.00	100.00	100.00
58	100.00	100.00	90.00	100.00	100.00
59	100.00	100.00	90.00	100.00	100.00
60	100.00	100.00	90.00	100.00	100.00
61	100.00	100.00	90.00	100.00	100.00
62	100.00	100.00	90.00	100.00	100.00
63	100.00	100.00	90.00	100.00	100.00
64	100.00	100.00	90.00	100.00	100.00
65	100.00	100.00	90.00	100.00	100.00
66	100.00	100.00	90.00	100.00	100.00
67	100.00	100.00	90.00	100.00	100.00
68	100.00	100.00	90.00	100.00	100.00
69	100.00	100.00	90.00	100.00	100.00
70	100.00	100.00	90.00	100.00	100.00
71	100.00	100.00	90.00	100.00	100.00
72	100.00	100.00	90.00	100.00	100.00
73	100.00	100.00	90.00	100.00	100.00
74	100.00	100.00	90.00	100.00	100.00
75	100.00	100.00	90.00	100.00	100.00
76	100.00	100.00	90.00	100.00	100.00
77	100.00	100.00	90.00	100.00	100.00
78	100.00	100.00	90.00	100.00	100.00
79	100.00	100.00	90.00	100.00	100.00
80	100.00	100.00	90.00	100.00	100.00
81	100.00	100.00	90.00	100.00	100.00
82	100.00	100.00	90.00	100.00	100.00
83	100.00	100.00	90.00	100.00	100.00
84	100.00	100.00	90.00	100.00	100.00
85	100.00	100.00	90.00	100.00	100.00
86	100.00	100.00	90.00	100.00	100.00
87	100.00	100.00	90.00	100.00	100.00
88	100.00	100.00	90.00	100.00	100.00
89	100.00	100.00	90.00	100.00	100.00
90	100.00	100.00	90.00	100.00	100.00
91	100.00	100.00	90.00	100.00	100.00
92	100.00	100.00	90.00	100.00	100.00
93	100.00	100.00	90.00	100.00	100.00
94	100.00	100.00	90.00	100.00	100.00
95	100.00	100.00	90.00	100.00	100.00
96	100.00	100.00	90.00	100.00	100.00
97	100.00	100.00	90.00	100.00	100.00
98	100.00	100.00	90.00	100.00	100.00
99	100.00	100.00	90.00	100.00	100.00
100	100.00	100.00	90.00	100.00	100.00

1946 Horseshoe Creek R.E.
14000000, 00115130
Cincinnati, Ohio
(703) 554-0000 - Lancaster
(614) 557-0000 - Columbus
(740) 455-2200 - Zanesville
(740) 670-0000 - Newark
Fax: (740) 554-0001
www.alsurveyors.com

ALS AMERICAN LAND SURVEYORS

Focused on Excellence

FIELD	DRAFT	CHE
70A	70A	70
100-100.0	(10-00)	
DATE:	RAV 70, 2004	
SCALE:	1"=60'	

5/3



Engineering, Planning and Zoning
City Hall, 209 South Main Street
Marysville, Ohio 43040-1641
(937) 645-7350
FAX (937) 645-7351
www.marysvilleohio.org

September 1, 2016

Bradley J. Bodenmillier
LUC Regional Planning Commission
9676 East Foundry
East Liberty, OH 43319

**Subject: Village Neighborhood, Section 4, Phase 1
Final Plat Review – Comment Letter #1**

The City of Marysville has reviewed the Final Plat for Village Neighborhood, Section 4, Phase 1 and recommends approving the Final Plat without any comments.

Please contact us if you need additional clarification or wish to discuss these comments further.

Sincerely,

Kyle Hoyng, P.E.
Utility Engineer



Jeremy Hoyt, P.E. (City of Marysville)
Mike Andrako, P.E. (City of Marysville)
Scott Sheppeard (City of Marysville)



Jerome Township
Union County, Ohio

9777 Industrial Parkway
Plain City, Ohio 43064
Office (614) 873-4480
Fax (614) 873-8664

Jerome Township Zoning Office

August 31, 2016

Bradley J. Bodenmiller
LUC Regional Planning Commission
9676 E. Foundry
East Liberty, Ohio 43319

RE: Plats – Jerome Village VN 4, Phase 1

Dear Brad,

I have reviewed the Final Plat for the Phase 1 portion of Jerome Village VN-4 as submitted to our office on August 22, 2016. Based upon our review it appears as if the Plat as submitted is consistent with the Preliminary Plat and the zoning as approved by the trustees. As such, the township has no comments or concerns with the pending approval of the Plat at this time.

As always, my review is limited to the zoning related items only and the township defers to the expertise of the Union County Engineers office in regards to all traffic and engineering related items.

Respectfully,

Gary Smith, RLA|CLARB
Jerome Township Zoning Officer

Brad Bodenmiller

From: Andrew.Hurst@dot.ohio.gov
Sent: Thursday, September 1, 2016 3:06 PM
To: Brad Bodenmiller
Subject: RE: Mitchell Highlands Preliminary Plat

Follow Up Flag: Follow up
Flag Status: Flagged

We have no comments on any of these plats.

From: Brad Bodenmiller [mailto:bradbodenmiller@lucplanning.com]
Sent: Tuesday, August 30, 2016 9:06 AM
To: bnarducci@co.union.oh.us; Letitia Rayl <lrayl@co.union.oh.us>; Aaron Smith (asmith.uswcd@gmail.com) <asmith.uswcd@gmail.com>; Jim Cogar (jim.cogar@uchd.net) <jim.cogar@uchd.net>; Jeremy Hoyt <jhoyt@marysvilleohio.org>; jerometownship@aol.com; jeromezclerk@aol.com; Gary Smith (jeromeinspect@aol.com) <jeromeinspect@aol.com>; Slack, Thomas <Thomas.Slack@dot.ohio.gov>; Kevin Gregory <k.gregory@ure.com>; Ronald Rockenbaugh <r.rockenbaugh@ure.com>
Cc: Luke Sutton <lsutton@co.union.oh.us>; Jeremy Burrey <jburrey.uswcd@gmail.com>; Kyle Hoyng <khoyng@marysvilleohio.org>; Hurst, Andrew <Andrew.Hurst@dot.ohio.gov>; Dave Gulden <davegulden@lucplanning.com>; Reeves, Michael <mreeves@cecinc.com>; Corey Theuerkauf <CTheuerkauf@rockfordhomes.net>
Subject: Mitchell Highlands Preliminary Plat

All,

This email is a reminder for reviewing agencies and a notice of meeting change for reviewing agencies and applicants/owners.

Reminder:

Reviewing agencies, please have any comments regarding **Mitchell Highlands – Preliminary Plat** by end of the day this Thursday, September 1.

Meeting change:

The Zoning & Subdivision Committee meeting was rescheduled for **Tuesday, September 6, 2016, at 1:30 PM**.

The Executive Committee meeting will still be held **Thursday, September 8, 2016, at 1:15 PM**.

Bradley J. Bodenmiller

Planner II | LUC Regional Planning Commission

P.O. Box 219 | 9676 E. Foundry | East Liberty, Ohio 43319

P: (937) 666-3431 | F: (937) 666-6203

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Staff Report – The Courtyards at Jerome Village AKA GPN-5

Applicant:	<p>Epcon Jerome, LLC. c/o Todd Pomorski 500 Stonehenge Parkway Dublin, OH 43017 tpomorski@epconcommunities.com</p> <p>Terrain Evolution, Inc. c/o Justin Wollenberg PE 720 East Broad Street, Suite 203 Columbus, OH 43215 jwollenberg@terrinevolution.com</p>
Request:	Approval of The Courtyards at Jerome Village, Phase 1 AKA Glacier Park Neighborhood, Section 5 (GPN-5), Phase 1 – Amended Final Plat.
Location:	Located in the northwest corner of the intersection of Hyland-Croy Road and Ryan Parkway in Jerome Township, Union County.

Staff Analysis:	<p>This Amended Final Plat involves 3.214 acres of land and proposes 7 single-family residential lots.</p> <p>Acreages:</p> <ul style="list-style-type: none">○ 0.802 acres in <i>private</i> right-of-way○ 0.890 acres in single-family residential lots○ 1.522 acres in open space <p>Proposed utilities:</p> <ul style="list-style-type: none">○ City of Marysville public water service○ Eversole Run Sewer District collection and City of Marysville public treatment <p>Preliminary Plat:</p> <ul style="list-style-type: none">○ The Preliminary Plat was approved on 03-10-16. It was shown as three phases. However, this Amended Final Plat is only a <i>portion</i> of Phase 1.○ The original Final Plat was approved on 07-18-16.○ The applicant noted this Amended Final Plat adjusts lots 1465, 1466, and 1467 to correct for oversight in pad size on lots 1465 and 1466.
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Staff Report – The Courtyards at Jerome Village AKA GPN-5

• Union County Engineer's Office

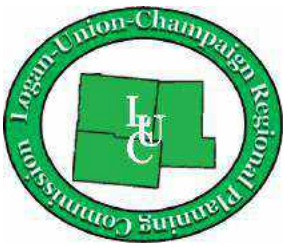
- The Engineer's Office submitted comments in a letter dated 09-01-16. The Engineer's Office did not recommend approval, but suggested its comments could be addressed by the September 6th LUC meeting. The Engineer's Office reported that the Construction Drawings were approved and a performance bond is pending a decision by the Commissioners. Comments from the Engineer's Office are below:
 1. With the exception of lot lines on lots 1465, 1466, and 1467, the amended plat appears identical to the original plat approved by the Executive Committee.
 2. Add a notation for an iron pin to be set at the new intersection of the side yard and rear yard boundary of lot 1465.
 3. Due to the boundary adjustments, the acreages for lots 1465, 1466, and 1467 need to be updated.
 4. In the Drainage Easement description on Sheet 1, replace the word "remove" with "replace" in the last sentence.
 5. Please add dimensioning for the straight line segment along the rear lot line of lot 1466, including the rear lot dimension of lot 1466 as well as the dimension from the northwest property corner of lot 1466 to the iron pin at lot 1465.

• Union County Soil & Water Conservation District

- No comments received as of 09-01-16.

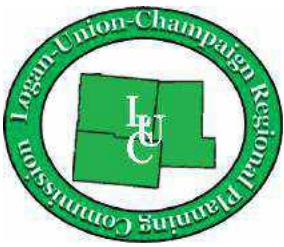
• Union County Health Department

- No comments received as of 09-01-16. Standard comments from the Health Department are below:
 1. "All efforts should be made to provide a point of connection (via easements and/or service lines) to both water and sewer to any adjacent home, business, or any other facility that is serviced by a private water system (PWS) and/or sewage treatment system (SWS)."
 2. Any home, business, or other structure that is currently being serviced by a private sewage treatment system (STS) and ends up being



Staff Report – The Courtyards at Jerome Village AKA GPN-5

	<p>situated within 200' of a sanitary sewer easement, shall be brought to the attention of the Union County Health Department.”</p> <p>3. “If at any at time during development of the subdivision a private water system (PWS) (well, cistern, etc.) or sewage treatment system (STS) is found, our office shall be immediately contacted for inspection. Proper permitting must be obtained for sealing and/or abandonment of a private water system (PWS) and sewage treatment system (STS).”</p> <p>• City of Marysville</p> <ul style="list-style-type: none">○ The City of Marysville submitted comments in a letter dated 09-01-16. The City recommended approval of the Amended Final Plat. <p>• Jerome Township</p> <ul style="list-style-type: none">○ Jerome Township submitted comments in a letter dated 08-31-16. “The Amended Final Plat as filed seems to comply with the layout of the proposed condominium units approved by the Zoning Commission as part of the Final Development Plan for this section. As such the zoning office has no major concerns with the Final Plat as filed.” <p>• ODOT District 6</p> <ul style="list-style-type: none">○ Per an email dated 09-01-16, ODOT had no comments. <p>• Union Rural Electric</p> <ul style="list-style-type: none">○ Union Rural Electric submitted comments in a letter dated 09-01-16, “UREC accepts Amended Final Plat.” <p>• LUC Regional Planning Commission</p> <ol style="list-style-type: none">1. Sheet 1 & 2: Update the date in the bottom right corner of sheets (§323, 1.).2. A letter from the County Engineer verifying all required improvements have been installed and approved by the proper officials or agencies, or verifying a bond or other surety, approved by the County Commissioners and their legal counsel, has been furnished assuring installation of the required improvements” (§324, 2.; §326; §330).
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Staff Report – The Courtyards at Jerome Village AKA GPN-5

Staff Recommendations:	Staff recommends <i>DENIAL</i> of The Courtyards at Jerome Village, Phase 1 AKA Glacier Park Neighborhood, Section 5 (GPN-5), Phase 1 – Amended Final Plat. Although the minor technical items included in this staff report could be incorporated into the Amended Final Plat Mylar for the 09-06-16 LUC meetings, the outstanding bond or other surety is required (§324, 2.; §326; §330) before staff is comfortable recommending otherwise.
-------------------------------	--

Z&S Committee Recommendations:	
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Logan-Union-Champaign regional planning commission

Director: Dave Gulden, AICP

Application for Final Plat Approval

Date: _____

Name of Subdivision: _____

Section/Phase: _____ Block _____

Location: _____

Township: _____ Military Survey: _____

Complete Parcel(s) Identification Number (PIN): _____

Has a Preliminary Plat been approved for this subdivision?: Yes _____ No _____ Date: _____

Name of Applicant: _____

Address: _____

City: _____ State: _____ Zip: _____

Phone: _____ Fax: _____ Email: _____

Name of Owner of property to be subdivided: _____

Address: _____

City: _____ State: _____ Zip: _____

Phone: _____ Fax: _____ Email: _____

Name of Applicant's Surveyor or Engineer: _____

Address: _____

City: _____ State: _____ Zip: _____

Phone: _____ Fax: _____ Email: _____

Proposed Acreage to be Subdivided: _____

Current Zoning Classification: _____

Proposed Zoning Changes: _____

Proposed Land Use: _____

Development Characteristics

Acreage w/in Approved Preliminary Plat: _____ Acres

Acreage w/in Section and/or Block: _____ Acres

Number of **APPROVED** lots from Preliminary Plat _____

9676 E. Foundry St, PO Box 219

East Liberty, Ohio 43319

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• Email: luc-rpc@lucplanning.com • Web: www.lucplanning.com



Logan-Union-Champaign regional planning commission

Director: Dave Gulden, AICP

Number of Lots **PROPOSED** w/in this Section: _____

Number of **APPROVED** units from Preliminary Plat: _____

Number of Units **PROPOSED** w/in this Section: _____

Typical Lot Width: _____ Feet Typical Lot Area: _____

Single Family Units: _____ Sq. ft Multi-Family Units: _____

Acreage to be devoted to recreation, parks or open space: _____

Recreation facilities to be provided: _____

Approved method of Supplying Water Service: _____

Approved method of Sanitary Waste Disposal: _____

Were any Requests for Variance(s) from the Subdivision Regulations approved by the
County Commissioners? _____
see attached

Construction improvements have achieved satisfactory completion and has been Certified
by the County Engineer in accordance with Section 326 and 330 of the Subdivision
Regulation? *If no, continue to next question.* _____

If no to the above question, please submit a Performance Bond in accordance with the
following:
Has estimated construction cost been submitted by the responsible design engineer? _____
Has estimated construction cost been approved by the County Engineer? _____
Bond has been submitted to County Engineer? _____
Bond approved by County Commissioners? _____

For Official Use

Date filed: _____ Filing Fee: _____

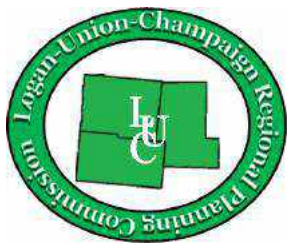
Date of Meeting of Planning Commission: _____

Action by Planning Commission: _____

If rejected, reason(s) for: _____

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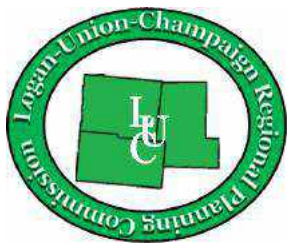
Final Plat Review Checklist

#	Required Item Description	Have	Need
0	Drawn at a scale not less than 1:100 and shall be on one or more sheets 24" X 36"; drawn in India ink or photographically reproduced on Mylar or other materials of equal permanence.		
1	Name of the Subdivision, location by section, range or township, or Virginia Military Survey (VMS) number; date, north point, written and graphic scale and acreage.		
2	Names and addresses of the subdivider and the professional surveyor who prepared the Final Plat		
3	Plat boundaries, based on accurate traverse, with directional and lineal dimensions.		
4	Bearings and distances to nearest established street lines or other recognized permanent monuments.		
5	Exact locations, right-of-way widths, and names of all streets within and adjoining the plat; building setback lines.		
6	Radii, internal angles, points of curvature, tangent bearings, lengths of arcs, and lengths and bearings of chords.		
7	All easements and rights-of-ways provided for public services or utilities. All plats shall contain a restriction that no permanent structures or plantings, etc. shall be permitted in the easement areas.		
8	All lot numbers and lines with accurate dimensions in feet and hundredths. House numbers may be required to be shown.		
9	Accurate location and description of all monuments. The plat shall clearly indicate which monuments are in place at the time of certification of the Final Plat by the surveyor. The plat shall also clearly indicate which monuments will be placed, if any, after construction of the improvements and before the completion date.		
10	Accurate outlines of areas to be dedicated or reserved for public use, or any area to be reserved for common uses of all property owners.		
11	The limits of all Flood Hazard Areas (show the FEMA map number and date). Base Flood Elevations and minimum first floor elevations shall be shown for all lots located within Flood Hazard Areas.		
12	Certain restrictions and covenants the subdivider intends to include in the deeds to the lots in the subdivision including any restrictions required by the County.		
13	Certification by a professional surveyor to the effect that the plat represents an actual field survey performed by him; that all dimensional details are correct, and that the monuments shown thereon were or will be placed by the established completion date or prior to the sale of each lot, whichever occurs first (See Section 326).		
14	Notarized certification by the owner or owners of the authorization of the plat and the dedication of streets and other public areas.		

N/A

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Logan-Union-Champaign regional planning commission

Director: Dave Gulden, AICP

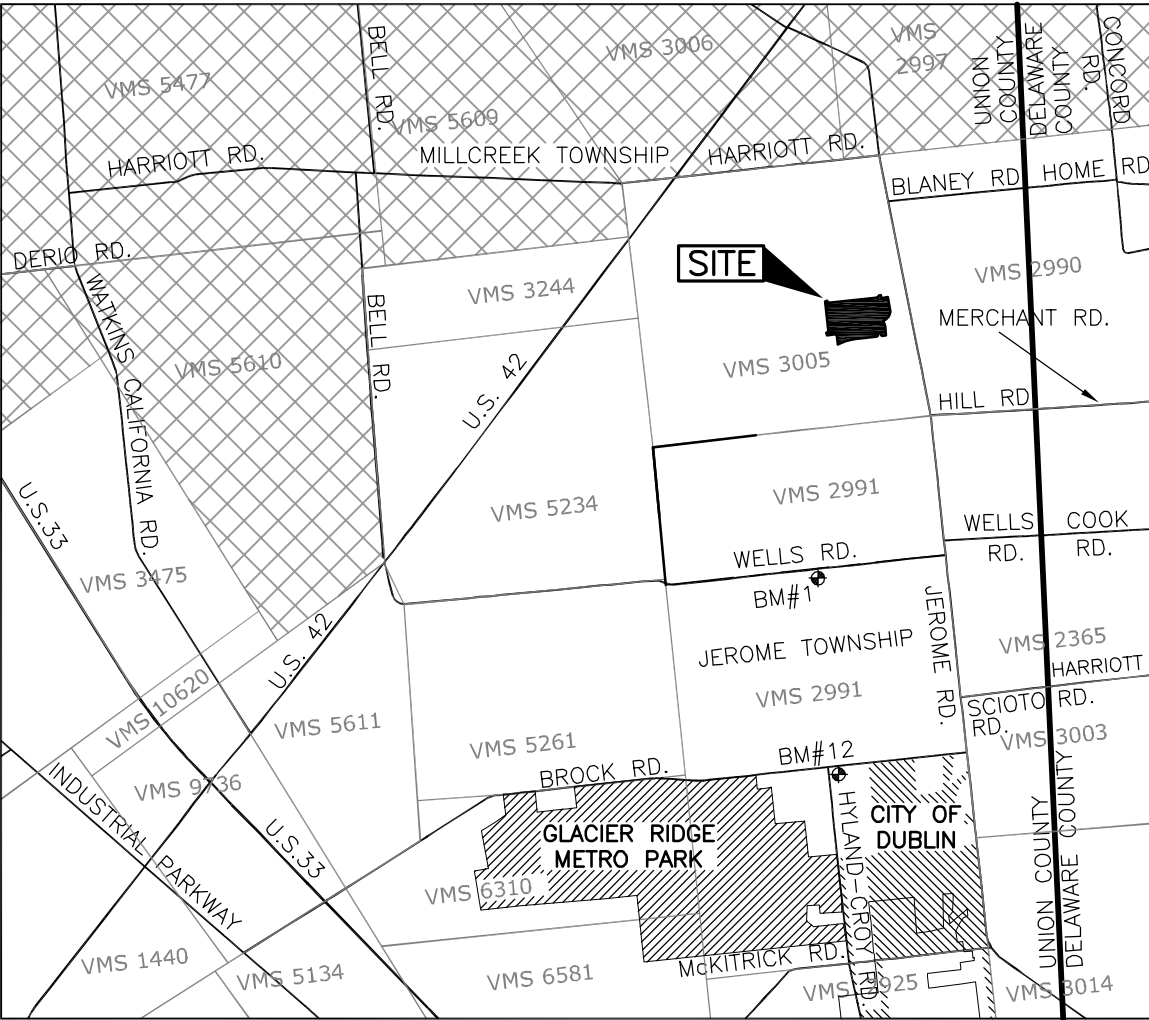
15	A vicinity map at a scale of generally not more than six thousand feet to an inch (6,000:1) shall be shown on, or shall accompany the Final Plat.			
16	If a zoning change or variance is involved, a letter from the Township Zoning Inspector shall be required indicating that the change or variance has been approved and is in effect.			N/A
17	A letter from the County Engineer shall be required showing that all required improvements have been either installed and approved by the proper officials or agencies, or that a bond or other surety has been furnished assuring installation of the required improvements.			
18	Written certification from the Board of County Commissioners for operation and maintenance of the wastewater or water treatment plant, if applicable.			N/A
19	Certification by a registered surveyor to the effect that the plat represents a survey completed by the surveyor and that the monuments shown thereon exist as located in all dimensional details are correct.			
20	A notarized acknowledgement of all owners and lien holders to the plat and its restrictions including dedication to the public uses of streets, alleys, parks and other spaces shown thereon and granting required easements.			
21	Approval and acceptance clause for the signatures of a representative of the Logan-Union-Champaign County Regional Planning Commission, the County Engineer, the County Health Department, the Board of County Commissioners, the County Auditor, the County Recorder, and a representative of the Township Trustees in which the subdivision is located.			
22	Final Plat Fees: Payment/Check made out to LUC Regional Planning Commission, based on the current fee schedule.			

This amended plat application submission
adjusts lots 1465, 1466 & 1467 to correct for
oversight in pad size on 1465 & 1466

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LOCATION MAP



VILLAGE NEIGHBORHOOD SECTION 4 PHASE 1 IS SUBJECT TO JEROME VILLAGE MASTER DEED DECLARATION AND RESTRICTIONS AS RECORDED IN VOLUME 907 PAGES 572, UNION COUNTY RECORDER'S OFFICE. AS AMENDED, THE RESIDENTIAL PROPERTY OWNERS ASSOCIATION DEED DECLARATION, RESTRICTIONS AND BYLAWS AS RECORDED IN VOLUME 911, PAGE 922, UNION COUNTY RECORDER'S OFFICE AND THE DECLARATION OF COVENANTS, RESTRICTIONS AND AGREEMENTS FOR JVCA RECORDED IN VOLUME 859 PAGE 275, UNION COUNTY RECORDER'S OFFICE.

STANDARD DEED RESTRICTIONS FOR UNION COUNTY

Residential and Commercial

- There shall be no discharge in to any streams or storm water outlets of any waste materials in violation of applicable local, state, or federal regulations.
- N/A
- Grading of the storm water retention areas shall not be changed.
- N/A
- The lot owner and his successors and assigns agree to assume any and all maintenance charges which are established by the Union County Commissioners for this subdivision.
- N/A
- No construction may begin or building started without the individual lot owner obtaining zoning, building, water & sewer tap, and driveway permits. Zoning permits are to be obtained from the Township Zoning Inspector. Building permits are obtained from the Union County Building Regulation Department and driveway permits are obtained from the Union County Engineer's Office. Water & sewer tap permits are obtained from the applicable service provider.
- The lot owner and his successors and assigns agree to assume any and all sanitary sewer and water service charges which are established by the applicable provider.
- All construction shall meet the requirements of the Township, Union County, and other applicable code authorities.

Residential Only

- Downspout drains shall not be connected directly to roadway underdrains.

Miscellaneous Restrictions/Notes

- This subdivision is located adjacent to lands which may be used for agricultural farming purposes. Lot owners can expect noise from farm machinery, dust from farming operations, the application of chemicals to the soil and crops, odors and noise from livestock, and other typical farming nuisances. Owners can expect farming operations to happen day or night. You can expect hunting on agricultural land. Do not expect to use agricultural lands for your purposes without first getting permission from the land owner. Do not allow your children to play on agricultural lands. Do not discard clippings and trimmings from lawns, tree, bushes, plants, etc. or other wastes that you may generate on agricultural land. Dispose of all wastes appropriately. Additionally, there may be existing ditches, surface swales or underground tiles that drain water from adjacent land on to or through your property. You have a legal responsibility to allow the reasonable flow of water on to or through your property from upground properties. You also have a legal responsibility to maintain and repair any ditches, surface swales or underground tile on your property.
- Parking: Union County may restrict or eliminate on-street parking along the side of the pavement within Gardenia Drive, Poppyseed Drive, Begonia Drive, Chickasaw Way, Fig Grove Way and Apricot Way. The owners of the fee simple titles to all of the lots in Eversole Run Neighborhood Section 6 Phase 1 Subdivision, their heirs, successors and assigns, hereby waive any and all objections to said parking restriction or elimination.
- Utility Providers: Buyers of the lots in this subdivision are hereby notified that, at the time of platting, utility service to this subdivision for electric power is provided by Ohio Edison, telephone service is provided by Frontier Communications or Time Warner, and natural gas is provided by Columbia Gas.

Jerome Village Blanket Restrictions

- No individual driveways permitted on: Home Road, Jerome Road, Hyland-Croy Road, Ewing Road, US 42, Seely Road, James Road, Joshua Road, Ravenhill Parkway, Wells Road, Ryan Parkway, Brock Road.
- Driveways for individual lots, whether commercial, residential, or other, shall not be permitted on major or minor collector roads. All driveways shall connect to local roads within a sub area.
- All new local road connections are subject to stopping sight distance and intersection sight distance requirements.
- All restrictions are minimum requirements. If conflict arises between access restrictions and an intersection improvement (i.e., turn lane tapers, roundabout tapers, etc.), the intersection improvement shall govern and access restrictions shall be adjusted accordingly. The County Engineer shall have final say on all relocated access locations.
- If conflict arises between the access restrictions and Union County access management standards, the County Engineer shall determine which standard is to be applied.
- No on-street parking permitted on Hyland-Croy, Jerome, Ryan, Seely, Wells, Brock, Ravenhill, Ewing, Joshua, or Home Road.
- No on-street parking within Village Neighborhood Section 4 Phase 1
- Open spaces, whether existing or created during platting of a pod, or during development of a commercial, residential, or other type of lot, shall be connected as much as possible to the open space dedicated along Ravenhill Parkway. Connections shall be directly adjacent to the open space along Ravenhill Parkway or, if the open spaces do not have adjacent property lines, connection shall be made through contiguous open space, where possible.
- Future local road locations are subject to approval by the Union County Engineer. Final location and design shall be submitted to and approved by the County Engineer prior to platting of lots, groups of lots, or pods.

Utility Easements (U)

We the undersigned owners of the within platted land, do hereby grant unto the Eversole Run Sewer District, City of Marysville, Ohio Edison , Frontier Communications, Time Warner Cable, Columbia Gas, and their successors and assigns (Hereinafter referred to as grantees) A permanent right-of-way and easement ten (10) feet in width under, over, and through all sublots and all lands owned by the grantor shown hereon and parallel with and contiguous to Fig Grove Way, Chickasaw Way, Gardenia Drive, Begonia Drive and Orchid Hill Drive and also upon land as depicted hereon to construct, place, operate, maintain, repair, reconstruct or relocate such waterlines, sewer lines, underground electric, gas and communication cable, ducts, conduits, pipes, gas pipe lines, surface or below ground mounted transformers and pedestals, concrete pads and other facilities as deemed necessary or convenient by the grantees for distributing, transporting, and transmitting electricity, gas and communication signals for public and private use at such locations as the grantees may determine upon, within, and across said easement premises. No permanent structures, plantings, etc. shall be permitted in the easement areas. Said easement rights shall include the right, without liability therefore to remove trees and landscaping, including lawns within and without said easement premises which may interfere with the installation and maintenance, right to install, repair, augment, and maintain service cables, and pipe lines outside the above described easement premises or the right of access, ingress and egress to and from any of the within described premises for exercising any of the purposes of this right-of-way and easement grant.

Drainage Easements (D)

We the undersigned owners of the platted land, do here by grant unto Union County and their successors and assigns (hereinafter referred to as grantees), a permanent easement within areas designated "Drainage Easement", "Utility Easement" and "Drainage and Utility Easement" to construct, operate, maintain, repair, reconstruct or relocate drainage facilities such as storm sewers, drainage swales or courses and other facilities as deemed necessary or convenient by the grantees for drainage required for public and private use at such locations as the grantees may determine upon, within, and across said easement premises. No permanent structures, plantings, etc. shall be permitted in the easement areas. Said easement rights shall include the right, without liability therefore to remove trees and landscaping, including lawns or any other structure within said easement premises which may interfere with the installation and maintenance of drainage facilities.

VILLAGE NEIGHBORHOOD SECTION 4 PHASE 1

BEING PART OF VMS 3005, JEROME TOWNSHIP

UNION COUNTY, OHIO

Situated in State of Ohio, County of Union, Jerome Township, Virginia Military Survey No. 3005 and being 22.920 acres of land located in the remainder of that 194.363 acre tract of land as described in a deed to Jerome Village Company, LLC, of record in Official Record 672, Page 527, Recorder's Office, Union County, Ohio.

LUC. R.P.C. FILE # _____

Know all men by these presents that Jerome Village Company, LLC, owner of the land indicated on the accompanying plat, have authorized the platting thereof and do hereby dedicate all right-of-way and easements shown hereon to the public use forever.

In witness thereof, the following have set their hand this ____ day of _____, 2016.

Jerome Village Company, LLC:
By: _____, Its manager

By: _____
James Rost, Vice President

Signed and acknowledged in the presence of:

Signature: _____ Witness

Printed Name: _____

Signature: _____ Witness

Printed Name: _____

STATE OF OHIO
COUNTY OF UNION
Before me, a Notary Public in and for said County, personally appeared James Rost, Vice President and Operating Officer of Nationwide Realty Investors, Ltd., as manager of Jerome Village Company, LLC, who acknowledged the signing of the foregoing instrument to be his voluntary act and deed for the uses and purposes therein expressed.

In witness thereof, I have hereunto set my hand and affixed my official seal this ____ day of _____, 2016.

Signature: _____ My commission expires: _____.
Notary Public

Reviewed this ____ day of _____, 2016: _____
Chairman, Jerome Township Trustees

Approved this ____ day of _____, 2016: _____
Union County Engineer

Approved this ____ day of _____, 2016: _____
County Health Department

Approved this ____ day of _____, 2016: _____
LUC Regional Planning Commission

Rights-of-way for public streets and roads herein dedicated to public use are hereby approved this ____ day of _____, 20____ for the County of Union, State of Ohio. Street improvements within said dedicated rights-of-way shall not be accepted for public use unless and until construction is completed and accepted as such by Union County. In addition, street improvements within said dedicated rights-of-way shall not be accepted for public maintenance until the maintenance period transpires and the street improvements are accepted for public maintenance by Union County."

Approved this ____ day of _____, 2016: _____
Union County Commissioner

Union County Commissioner Union County Commissioner

Transferred this ____ day of _____, 2016: _____
Union County Auditor

Filed for record this ____ day of _____, 2016, at ____ am/pm.

Recorded this ____ day of _____, 2016 at ____ am/pm in

Plat Book _____, Page _____
Union County Recorder

SHEET INDEX

Sheet 1 - Title/Signature Sheet
Sheet 2 - VN 4-1 Index/Overview
Sheet 3 - VN 4-1 Detail Sheet

BASIS OF BEARINGS

The bearings shown hereon are based on the Ohio State Plane System (North Zone) as established by GPS observations.

VN 4-1 Area Summary		
Right-of-Way (Township)	5,500	AC
Lots	13,313	AC
Openspace	4,107	AC
Total	22,920	AC

VN 4-1 Lot Summary		
70' Frontage	26	
80' Frontage	30	

VN 4-1 Density		
Gross	(Lots/Total Area)	2,443 du/ac
Net	(Lots/Lot Area)	4,210 du/ac

Minimum Lot Size		
70' Frontage	9,100	SF
80' Frontage	10,400	SF

Setbacks	70' Frontage	80' Frontage
Front Yard	25 FT	25 FT
Rear Yard	30 FT	30 FT
Side Yard	5 FT	6 FT

PARCEL BREAKDOWN

Parcel Number	Map/GIS Number	Acreages of Parcel within VN 4-1
17-0010015.0010	116-00-00-059.000	22.920 AC.

Jerome Village Blanket Notes

- Note A: All of Jerome Village is in the flood hazard zone X (areas outside the 500-year flood plain) on the Federal Emergency Management Agency Flood Insurance Rate Maps, Map Number 39159C0390D and 39159C0395D, effective date December 16, 2008.
- Note B: Be advised; a subsurface drainage system may exist on this site. The system and/or outlet if located on this property must be maintained at all times.
- Note C: All storm water drainage including flood routing, open ditches and basins which accept public storm water, will be a part of the Union County ditch maintenance program. Each subarea will file a separate ditch maintenance petition. Only areas outside of the right-of-way will be a part of the County Ditch Maintenance Program.
- Note D: All dead, diseased, noxious or decayed trees or vegetation, log jams, etc. shall be removed from streams that will be a part of the Union County ditch maintenance program.
- Note E: All easements and setbacks for stream maintenance shall be reviewed by Union County Soil & Water Conservation District for access to said streams prior to acceptance.
- Note F: Removed (not applicable to VN 4-1)
- Note G: Existing and proposed trees are allowed within right-of-way if roadway is curbed and posted speed is 35 mph or less. County Engineer to review on case by case basis for all other conditions.
- Note H: Vegetated swales, including rain gardens & bio-swales, are to be graded within median of road right-of-way to provide required drainage. Ponding depths within median are not to exceed 8' and are to drain within 36 hours. No permanent pools will be allowed within road right-of-way.
- Note I: Removed (not applicable to VN 4-1)
- Note J: Mounding, landscaping, or guardrail may be required between stormwater retention/detention facilities and road right-of-way, if the edge of water is within 100' of the edge of pavement.

Jerome Village Variances

- Variance from the Union County Subdivision Regulations, Section 406, minimum right-of-way widths to allow a 50' right-of-way width for all local street classifications within Jerome Village. Resolution #306-09. Dated 6-11-09.

SURVEYOR CERTIFICATION:

American Land Surveyors do hereby certify the following:

- The accompanying plat represents a subdivision of land in VMS 3005, Jerome Township, Union County, Ohio.
- The tract has an area of 5,500 acres in streets, 13,313 acres in lots, and 4,107 acres in Reserves making a total of 22,920 acres.
- This plat was prepared based on a field survey performed in March, 2016 by American Land Surveyors, LLC.;
- All dimensions are shown in feet and decimal parts thereof. dimensions shown along curved lines are chord distances;
- This property is located in Zone X per F.E.M.A. Community Panel No. 39159C0395D and 39159C0395D dated December 16, 2008
- Monumentation set at the locations shown hereon consist of a 5/8" inch steel reinforcing rod, 30 inches in length affixed with an orange plastic cap bearing the inscription " Jon Adcock, S-8461",
- The accompanying plat is a correct representation of Village Neighborhood Section 4 Phase 1 as surveyed.

Signed and sealed this ____ day of _____, 2016.

Jon (Brett) Adcock, Registered Professional Surveyor No. 8461

DEVELOPER:
Jerome Village Company, LLC.
375 N. Front Street, Suite 200
Columbus, Ohio 43215
Attention: Gary Nuss

SURVEYOR:
American Land Surveyors
1346 Hemlock Court N.E.
Landcaster, Ohio 43130
Attention: Jon (Brett) Adcock, P.S.

1346 Hemlock Court N.E.
Landcaster, OH 43130
Contact: Brett Adcock
(740) 654-0600 - Landcaster
(614) 837-0800 - Columbus
(740) 455-2200 - Zanesville
(740) 670-0800 - Newark
Fax: (740) 654-0604
www.americanlandsurveyors.com

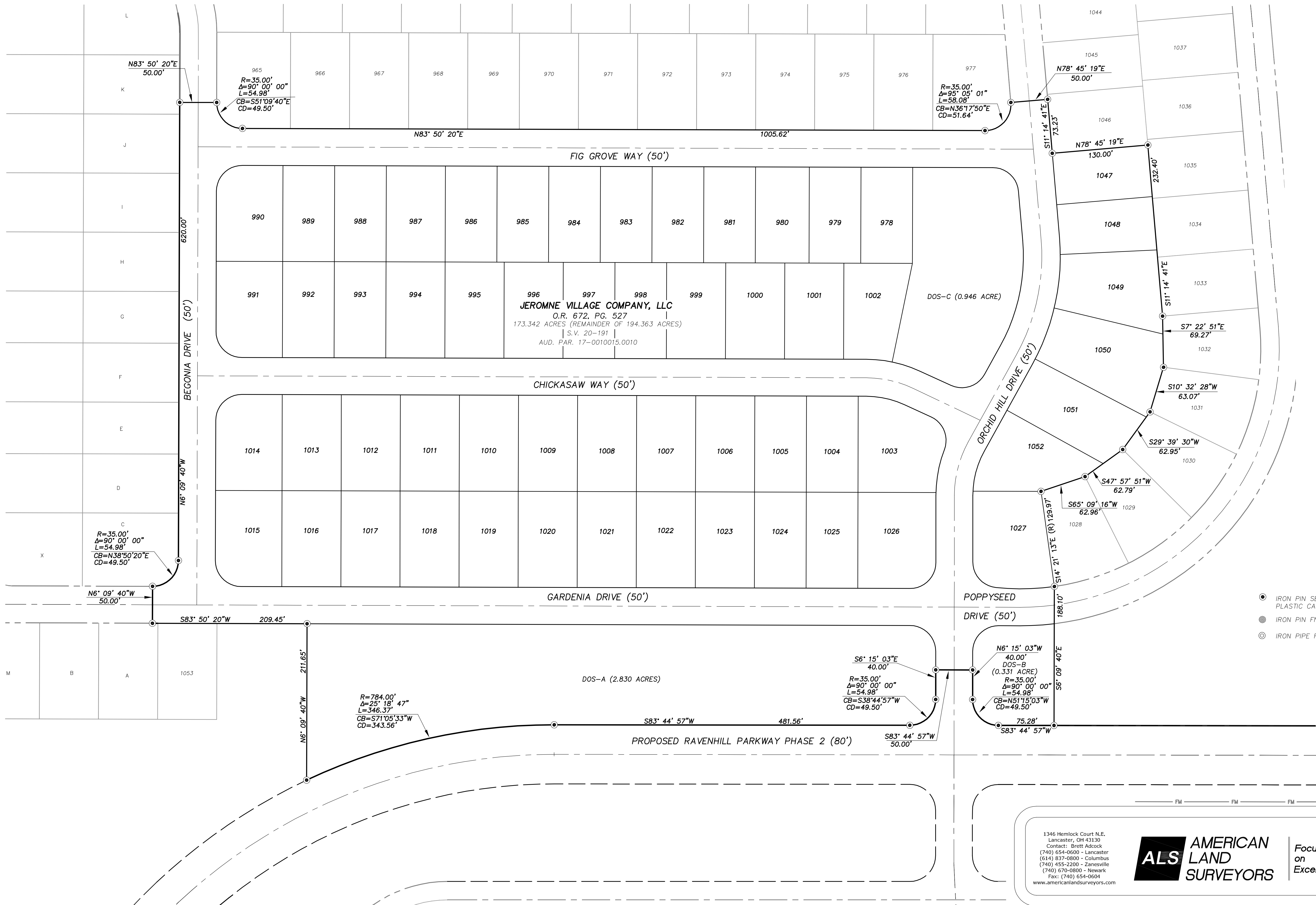
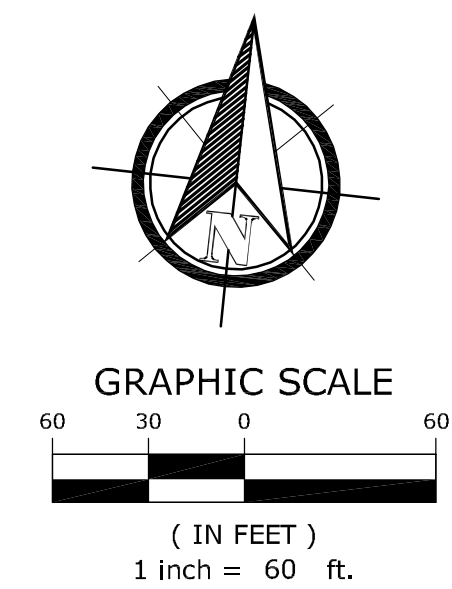
ALS AMERICAN LAND SURVEYORS

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FIELD	DRAFT	CHECK
JBA	JBA	JBA
JOB NO.:	16-001	
DATE:	JULY 29, 2016	
SCALE:	N/A	

VILLAGE NEIGHBORHOOD SECTION 4 PHASE 1

VIRGINIA MILITARY SURVEY No.3005
JEROME TOWNSHIP, UNION COUNTY, OHIO



- LEGEND:
- IRON PIN SET - 5/8" X 30" REBAR WITH A PLASTIC CAP INSCRIBED "JON ADCKOCK S-8461."
 - IRON PIN FND (AS INDICATED)
 - IRON PIPE FOUND (AS NOTED)

2/3

1346 Hemlock Court N.E.
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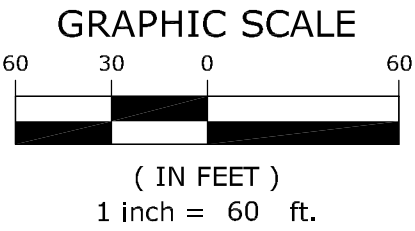
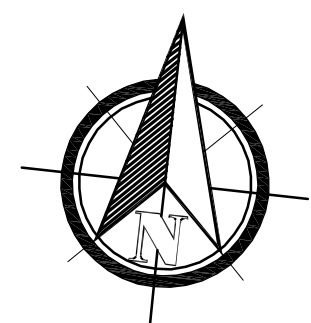
ALS AMERICAN LAND SURVEYORS

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FIELD	DRAFT	CHECK
JBA	JBA	JBA
JOB NO.:	16-001	
DATE:	JULY 29, 2016	
SCALE:	1"=60'	

VILLAGE NEIGHBORHOOD SECTION 4 PHASE 1

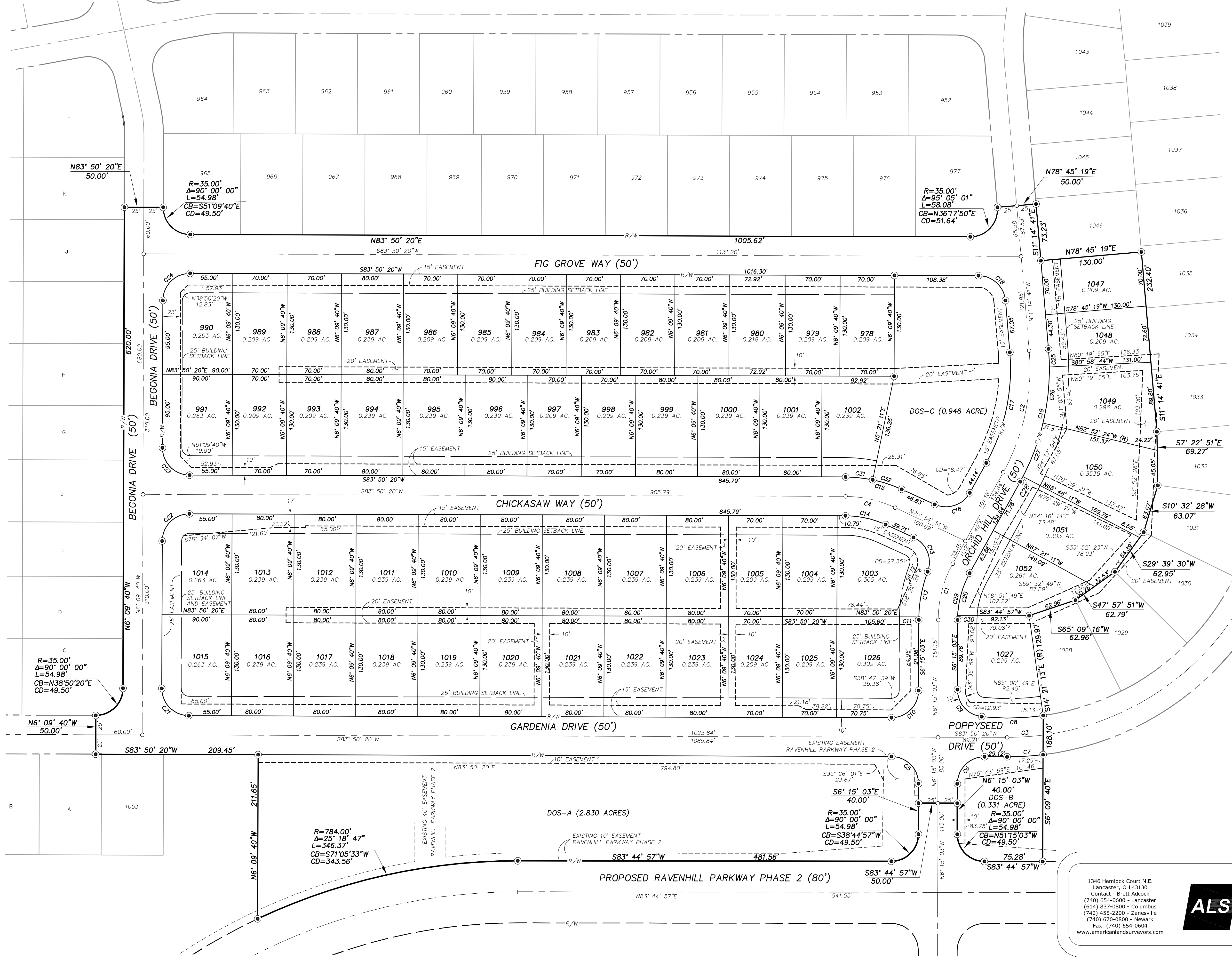
VIRGINIA MILITARY SURVEY No.3005
JEROME TOWNSHIP, UNION COUNTY, OHIO



LEGEND:

- IRON PIN SET - 5/8" X 30" REBAR WITH A PLASTIC CAP INSCRIBED "JON ADCOCK S-8461."
- IRON PIN FND (AS INDICATED)
- IRON PIPE FOUND (AS NOTED)

Curve Table				
Curve #	Radius	Delta	Length	Chord Direction
C1	150.00'	28° 53' 52"	75.65'	S8° 11' 53"W
C2	275.00'	33° 53' 30"	162.67'	N5° 42' 04"E
C3	350.00'	7° 36' 14"	46.45'	N80° 02' 13"E
C4	150.00'	25° 14' 49"	66.10'	N83° 32' 15"W
C5	35.00'	89° 54' 37"	54.92'	N51° 12' 21"W
C6	35.00'	90° 05' 23"	55.03'	S38° 47' 39"W
C7	375.00'	7° 05' 39"	46.43'	N80° 17' 31"E
C8	325.00'	13° 59' 36"	79.38'	S82° 38' 35"W
C9	35.00'	84° 06' 34"	51.38'	N48° 18' 20"W
C10	35.00'	90° 05' 23"	55.03'	S38° 47' 39"W
C11	45.93'	4° 51' 03"	3.89'	S6° 15' 03"E
C12	175.76'	19° 24' 50"	59.55'	S4° 48' 41"W
C13	35.00'	86° 16' 16"	52.70'	S28° 57' 03"E
C14	125.00'	24° 24' 29"	53.25'	S83° 57' 25"E
C15	175.00'	24° 24' 29"	74.50'	N83° 57' 25"W
C16	35.00'	85° 36' 00"	52.29'	N63° 26' 49"E
C17	250.00'	33° 53' 30"	147.88'	N5° 42' 04"E
C18	35.00'	84° 54' 59"	51.87'	N53° 42' 10"W
C19	300.00'	33° 53' 30"	177.46'	N5° 42' 04"E
C20	125.00'	28° 53' 52"	63.05'	S8° 11' 53"W
C21	35.00'	90° 00' 00"	54.98'	S31° 09' 40"E
C22	35.00'	89° 59' 59"	54.98'	S38° 50' 21"W
C23	35.00'	90° 00' 00"	54.98'	S31° 09' 40"E
C24	35.00'	90° 00' 00"	54.98'	S38° 50' 21"W
C25	300.00'	4° 26' 18"	23.24'	N9° 01' 32"W
C26	300.00'	13° 55' 59"	72.95'	N0° 09' 37"E
C27	300.00'	14° 06' 13"	73.85'	N14° 10' 43"E
C28	300.00'	1° 29' 00"	7.42'	N21° 56' 19"E
C29	125.00'	28° 53' 52"	63.05'	S8° 11' 53"W
C30	125.00'	2° 34' 43"	5.63'	N4° 57' 42"W
C31	175.00'	11° 30' 51"	35.17'	S89° 35' 46"W

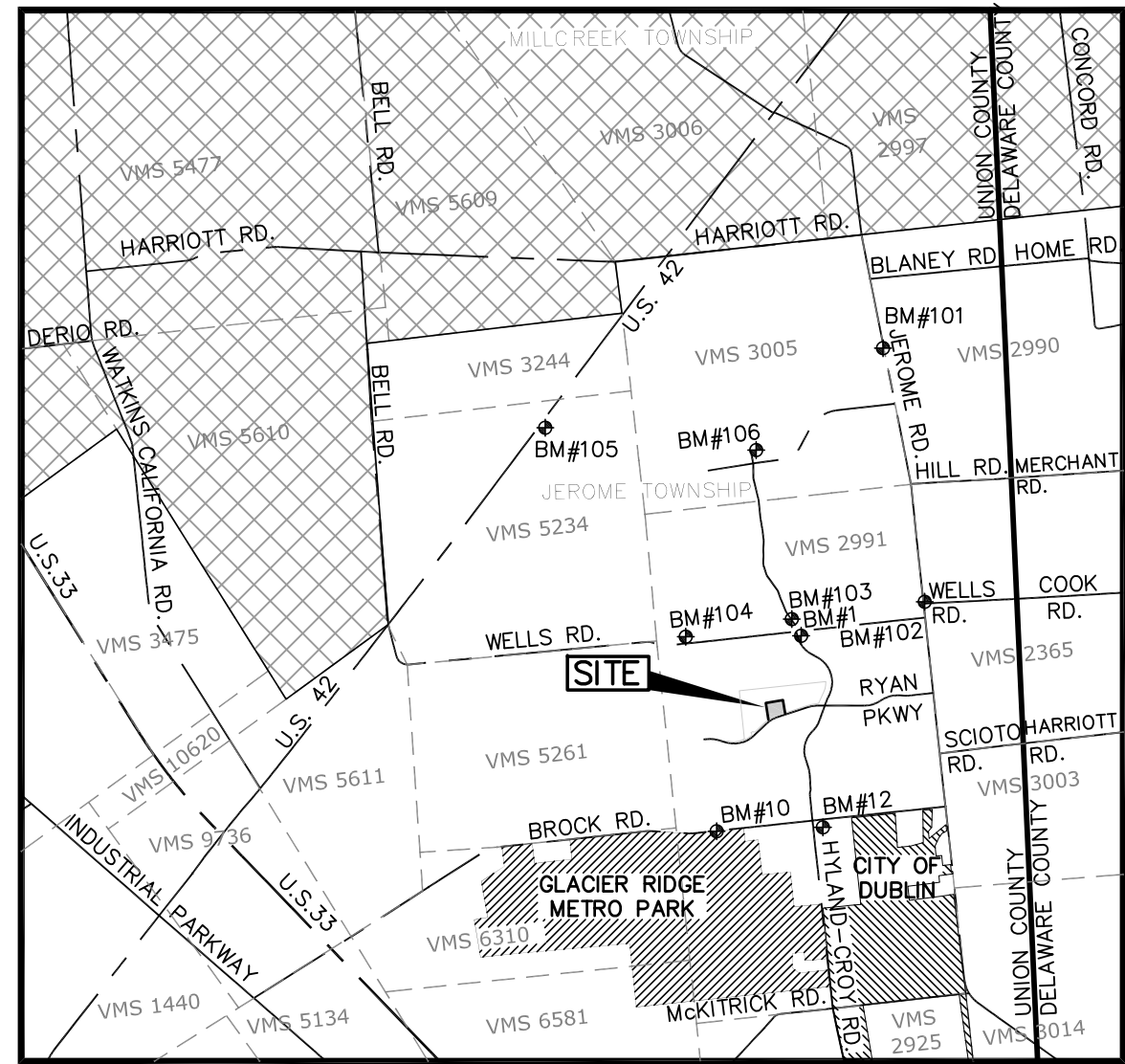


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FIELD	DRAFT	CHECK
JBA	JBA	JBA
JOB NO.:	16-001	
DATE:	JULY 29, 2016	
SCALE:	1"=60'	



LOCATION MAP

THE COURTYARDS AT JEROME VILLAGE, PHASE 1 IS SUBJECT TO JEROME VILLAGE MASTER DEED DECLARATION AND RESTRICTIONS AS RECORDED IN VOLUME 907 PAGES 572, UNION COUNTY RECORDER'S OFFICE, AS AMENDED, THE RESIDENTIAL PROPERTY OWNERS ASSOCIATION DEED DECLARATION, RESTRICTIONS AND BYLAWS AS RECORDED IN VOLUME 911, PAGE 922, UNION COUNTY RECORDER'S OFFICE AND THE DECLARATION OF COVENANTS, RESTRICTIONS AND AGREEMENTS FOR JVCA RECORDED IN VOLUME 859 PAGE 275, UNION COUNTY RECORDER'S OFFICE.

STANDARD DEED RESTRICTIONS FOR UNION COUNTY

Residential and Commercial

- There shall be no discharge in to any streams or storm water outlets of any waste materials in violation of applicable local, state, or federal regulations.
- Grading of the storm water retention areas shall not be changed.
- The lot owner and his successors and assigns agree to assume any and all maintenance charges which are established by the Union County Commissioners for this subdivision.
- No construction may begin or building started without the individual lot owner obtaining zoning, building, water & sewer tap, and driveway permits. Zoning permits are to be obtained from the Township Zoning Inspector. Building permits are obtained from the Union County Building Regulation Department and driveway permits are obtained from the Union County Engineer's Office. Water & sewer tap permits are obtained from the applicable service provider.
- The lot owner and his successors and assigns agree to assume any and all sanitary sewer and water service charges which are established by the applicable provider.
- All construction shall meet the requirements of the Township, Union County, and other applicable code authorities.

Residential Only

- Downspout drains shall not be connected directly to roadway underdrains.

Miscellaneous Restrictions/Notes

- This subdivision is located adjacent to lands which may be used for agricultural farming purposes. Lot owners can expect noise from farm machinery, dust from farming operations, the application of chemicals to the soil and crops, odors and noise from livestock, and other typical farming nuisances. Owners can expect farming operations to happen day or night. You can expect hunting on agricultural land. Do not expect to use agricultural lands for your purposes without first getting permission from the land owner. Do not allow your children to play on agricultural lands. Do not discard clippings and trimmings from lawns, trees, bushes, plants, etc. or other wastes that you may generate on agricultural land. Dispose of all wastes appropriately. Additionally, there may be existing ditches, surface swales or underground tiles that drain water from adjacent land on to or through your property. You have a legal responsibility to allow the reasonable flow of water on to or through your property from upgradient properties. You also have a legal responsibility to maintain and repair any ditches, surface swales or underground tile on your property.
- Parking: Union County may restrict or eliminate on-street parking along the side of the pavement within Silverbell Drive, Moreland Way, Oleander Way, Calla Lily Way, Elderberry Drive, Spindle Lane and Spicebrush Drive. The owners of the fee simple titles to all of the lots in The Courtyards at Jerome Village Subdivision, their heirs, successors and assigns, hereby waive any and all objections to said parking restriction or elimination.
- Utility Providers: Buyers of the lots in this subdivision are hereby notified that, at the time of platting, utility service to this subdivision for electric power is provided by Union Rural Electric, telephone service is provided by Frontier Communications or Time Warner, and natural gas is provided by Columbia Gas.

Jerome Village Blanket Restrictions

- No individual driveways permitted on: Home Road, Jerome Road, Hyland-Croy Road, Ewing Road, US 42, Seely Road, James Road, Joshua Road, Ravenhill Parkway, Wells Road, Ryan Parkway, Brock Road.
- Driveways for individual lots, whether commercial, residential, or other, shall not be permitted on major or minor collector roads. All driveways shall connect to local roads within a sub area.
- All new local road connections are subject to stopping sight distance and intersection sight distance requirements.
- All restrictions are minimum requirements. If conflict arises between access restrictions and an intersection improvement (i.e., turn lane tapers, roundabout tapers, etc.), the intersection improvement shall govern and access restrictions shall be adjusted accordingly. The County Engineer shall have final say on all relocated access locations.
- If conflict arises between the access restrictions and Union County access management standards, the County Engineer shall determine which standard is to be applied.
- No on-street parking permitted on Hyland-Croy, Jerome, Ryan, Seely, Wells, Brock, Ravenhill, Ewing, Joshua, or Home Road.
- No on-street parking within The Courtyards at Jerome Village.
- Open spaces, whether existing or created during platting of a pod, or during development of a commercial, residential, or other type of lot, shall be connected as much as possible to the open space dedicated along Hyland-Croy Road. Connections shall be directly adjacent to the open space along Hyland-Croy Road or, if the open spaces do not have adjacent property lines, connection shall be made through contiguous open space, where possible.
- Future local road locations are subject to approval by the Union County Engineer. Final location and design shall be submitted to and approved by the County Engineer prior to platting of lots, groups of lots, or pods.

Utility Easements

We the undersigned owners of the within platted land, do hereby grant unto the Eversole Run Sewer District, City of Marysville, Columbia Gas, Union Rural Electric (Electric), Frontier Communications, (Telecommunications), Time Warner Cable (Telecommunications), and their successors and assigns (hereinafter referred to as grantees) A permanent private right-of-way and easement as shown on plat under, over, and through all sublots and all lands owned by the grantor shown hereon and contiguous to Silverbell Drive, Moreland Way, Oleander Way, Calla Lily Way, Elderberry Drive, Spindle Lane and Spicebrush Drive and also upon land as depicted hereby to construct, place, operate, maintain, repair, reconstruct or relocate such waterlines, sewer lines, underground electric, gas and communication cable, ducts, conduits, pipes, gas pipe lines, surface or below ground mounted transformers and pedestals, concrete pads and other facilities as deemed necessary or convenient by the grantees for distributing, transporting, and transmitting electricity, gas and communication signals for public and private use at such locations as the grantees may determine upon, within, and across said easement premises. No permanent structures, plantings, etc. shall be permitted in the easement areas. Said easement rights shall include the right, without liability therefore to remove trees and landscaping, including lawns within and without said easement premises which may interfere with the installation and maintenance, right to install, repair, augment, and maintain service cables, and pipe lines outside the above described easement premises or the right of access, ingress and egress to and from any of the within described premises for exercising any of the purposes of this right-of-way and easement grant.

Drainage Easements

We the undersigned owners of the platted land, do here by grant unto Union County and their successors and assigns (hereinafter referred to as grantees), a permanent easement within areas designated "Private Right-of-way", "Drainage Easement", "Utility Easement" and "Drainage and Utility Easement" to construct, operate, maintain, repair, reconstruct or relocate drainage facilities such as storm sewers, drainage swales or courses and other facilities as deemed necessary or convenient by the grantees for drainage required for public and private use at such locations as the grantees may determine upon, within, and across said easement premises. No permanent structures, plantings, etc. shall be permitted in the easement areas. Said easement rights shall include the right, without liability therefore to remove trees and landscaping, including lawns or any other structure within said easement premises which may interfere with the installation and maintenance of drainage facilities.

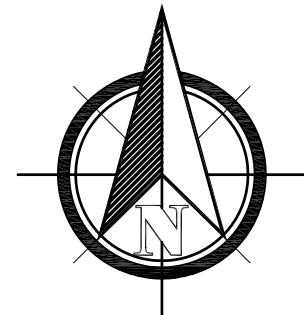
Waterline Easements

We the undersigned owners of the platted land, do here by grant unto City of Marysville and their successors and assigns (hereinafter referred to as grantees), a permanent easement within areas designated "Waterline Easement" to construct, operate, maintain, repair, reconstruct or relocate water service facilities as deemed necessary or convenient by the grantees for public and private use at such locations as the grantees may determine upon, within, and across said easement premises. No permanent structures, plantings, etc. shall be permitted in the easement areas. Said easement rights shall include the right, without liability therefore to remove trees and landscaping, including lawns or any other structure within said easement premises which may interfere with the installation and maintenance of facilities.

OWNERSHIP

Roadways, waterlines, storm sewer and dedicated open space is to be privately owned and maintained by The Courtyards at Jerome Village Homeowners association. Union County and Jerome Township have no responsibility to maintain any improvements constructed within.

Sanitary Sewer, Gas lines, Electric and Telecommunications are owned and maintained by the respective service providers and are installed within easements for access and maintenance as described in "Utility Easements"



GRAPHIC SCALE
(IN FEET)
1 inch = 4000 ft.

AMENDED

THE COURTYARDS AT JEROME VILLAGE, PHASE 1

BEING PART OF VIRGINIA MILITARY SURVEY (VMS) 2991

JEROME TOWNSHIP, UNION COUNTY, OHIO

Situated in State of Ohio, County of Union, Jerome Township, Virginia Military Survey No. 2991 and being 3.214 acres of land located in that 9.720 acre tract of land as described in a deed to Epcon Jerome, LLC, of record in Instrument #201606160004622, all references here in located in the Recorder's Office, Union County, Ohio.

SHEET INDEX

Sheet 1 - Title/Signature Sheet
Sheet 2 - Detail Sheet

BASIS OF BEARINGS

The bearings shown hereon are based on the Ohio State Plane System (North Zone) as established by GPS observations.

Area Summary

Right-of-Way (PRIVATE)	0.802	AC
Lots	0.890	AC
Openspace	1.522	AC
Total	3.214	AC

Lot Summary

Single Unit	7
-------------	---

Density

Gross	(Lots/Total Area)	2.178 du/ac
Net	(Lots/Lot Area)	7.865 du/ac

Minimum Lot Size

Single Unit	4,800	SF
-------------	-------	----

Setbacks

Single Unit	
Front Yard	Varies (As noted)
Rear Yard	5 FT
Side Yard	5 FT

PARCEL BREAKDOWN

Parcel Number	Map/GIS Number	Acreages of Parcel
17-0012033.2620	126-00-00-064.004	3.214 AC.

Jerome Village Blanket Notes

Note A: All of Jerome Village is in the flood hazard zone X (areas outside the 500-year flood plain) on the Federal Emergency Management Agency Flood Insurance Rate Maps, Map Number 39159C0390D, effective date December 16, 2008.

Note B: Be advised; a subsurface drainage system may exist on this site. The system and/or outlet if located on this property must be maintained at all times.

Note C: All storm water drainage including flood routing, open ditches and basins which accept public storm water, will be a part of the Union County ditch maintenance program. Each subarea will file a separate ditch maintenance petition. Only areas outside of the right-of-way will be a part of the County Ditch Maintenance Program.

Note D: All dead, diseased, noxious or decayed trees or vegetation, log jams, etc. shall be removed from streams that will be a part of the Union County ditch maintenance program.

Note E: All easements and setbacks for stream maintenance shall be reviewed by Union County Soil & Water Conservation District for access to said streams prior to acceptance.

Note F: Removed (not applicable)

Note G: Existing and proposed trees are allowed within right-of-way if roadway is curbed and posted speed is 35 mph or less. County Engineer to review on case by case basis for all other conditions.

Note H: Vegetated swales, including rain gardens & bio-swales, are to be graded within median of road right-of-way to provide required drainage. Ponding depths within median are not to exceed 8' and are to drain within 36 hours. No permanent pools will be allowed within road right-of-way.

Note I: Removed (not applicable)

Note J: Mounding, landscaping, or guardrail may be required between stormwater retention/detention facilities and road right-of-way, if the edge of water is within 100' of the edge of pavement.

Variances

- Variance from the Union County Subdivision Regulations, Section 406, minimum right-of-way widths to allow a 50' right-of-way width for all local street classifications within Jerome Village. Resolution #306-09. Dated 6-11-09.
- Variance to deviate from Union County Subdivision Regulations, Article 4, Section 408.3 - Permanent Dead End Streets and 408.7 - Temporary Turnaround and allow dead end streets and eliminating the need for the turnaround beyond 200'. Resolution #16-091. Dated 3-10-16.
- Variance to deviate from the Union County Subdivision Regulations, Article 4, Section 412 - Blocks. Allowing a block length of less than 500 feet. Resolution #16-092. Dated 3-10-16.
- Variance to deviate from the Union County Technical Design Standards, Article 1, Section 101 - Street Design, Part i - pavement width to deviate from the 28' curb section and install a 26' curb section for all the private streets within The Courtyards at Jerome Village, (aka GPN-5 development). Resolution #16-093. Dated 3-10-16.
- Variance to deviate from Union County Technical Design Standards, Article 1, Section 101 - Horizontal Alignment reduced minimum radii to 100' and Article 2, Section 202 - Rigid Pavement Design to remove 4" drainage layer. Accepted 7-7-16.

SURVEYOR CERTIFICATION:

American Land Surveyors do hereby certify the following:

- The accompanying plat represents a subdivision of land in VMS 2991, Jerome Township, Union County, Ohio.
- The tract has an area of 0.802 acres in streets, 0.890 acres in lots, and 1.522 acres in Reserves making a total of 3.214 acres.
- This plat was prepared based on a field survey performed in August, 2015 by American Land Surveyors, LLC.;
- All dimensions are shown in feet and decimal parts thereof. dimensions shown along curved lines are chord distances;
- This property is located in Zone X per F.E.M.A. Community Panel No. 39159C0390D dated December 16, 2008.
- Monumentation set at the locations shown hereon consist of a 5/8" inch steel reinforcing rod, 30 inches in length affixed with an orange plastic cap bearing the inscription "Jon B. Adcock, S-8461".
- The accompanying plat is a correct representation of The Courtyards at Jerome Village, Phase 1 as surveyed.

Signed and sealed this ____ day of _____, 2016.

Jon (Brett) Adcock, Registered Professional Surveyor No. 8461

DEVELOPER:
Epcon Jerome, LLC.
500 Stonehenge Parkway
Dublin, Ohio 43017
Attention: Todd Pomorski

SURVEYOR:
American Land Surveyors
1346 Hemlock Court N.E.
Lancaster, Ohio 43130
Attention: Jon (Brett) Adcock, P.S.

LUC. R.P.C. FILE # _____

Know all men by these presents that Epcon Jerome, LLC. owner of the land indicated on the accompanying plat, have authorized the platting thereof and do hereby dedicate all right-of-way and easements shown hereon to the public use forever.

In witness thereof, the following have set their hand this ____ day of _____, 2016.

Epcon Jerome, LLC:

By: _____
Joel D Rhodes, Vice President

Signed and acknowledged in the presence of:

Signature: _____ Witness

Printed Name: _____

Signature: _____ Witness

Printed Name: _____

STATE OF OHIO

COUNTY OF UNION

Before me, a Notary Public in and for said County, personally appeared Joel D. Rhodes, Vice President and Operating Officer of Epcon Jerome, LLC, who acknowledged the signing of the foregoing instrument to be his voluntary act and deed for the uses and purposes therein expressed.

In witness thereof, I have hereunto set my hand and affixed my official seal this ____ day of _____, 2016.

Signature: _____ My commission expires: _____
Notary Public

Reviewed this ____ day of _____, 2016: _____
Chairman, Jerome Township Trustees

Approved this ____ day of _____, 2016: _____
Union County Engineer

Approved this ____ day of _____, 2016: _____
County Health Department

Approved this ____ day of _____, 2016: _____
LUC Regional Planning Commission

Approved this ____ day of _____, 2016: _____
Union County Commissioner

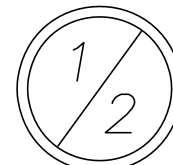
Union County Commissioner Union County Commissioner

Transferred this ____ day of _____, 2016: _____
Union County Auditor

Filed for record this ____ day of _____, 2016, at ____ am/pm.

Recorded this ____ day of _____, 2016 at ____ am/pm in

Plat Book _____, Page _____
Union County Recorder

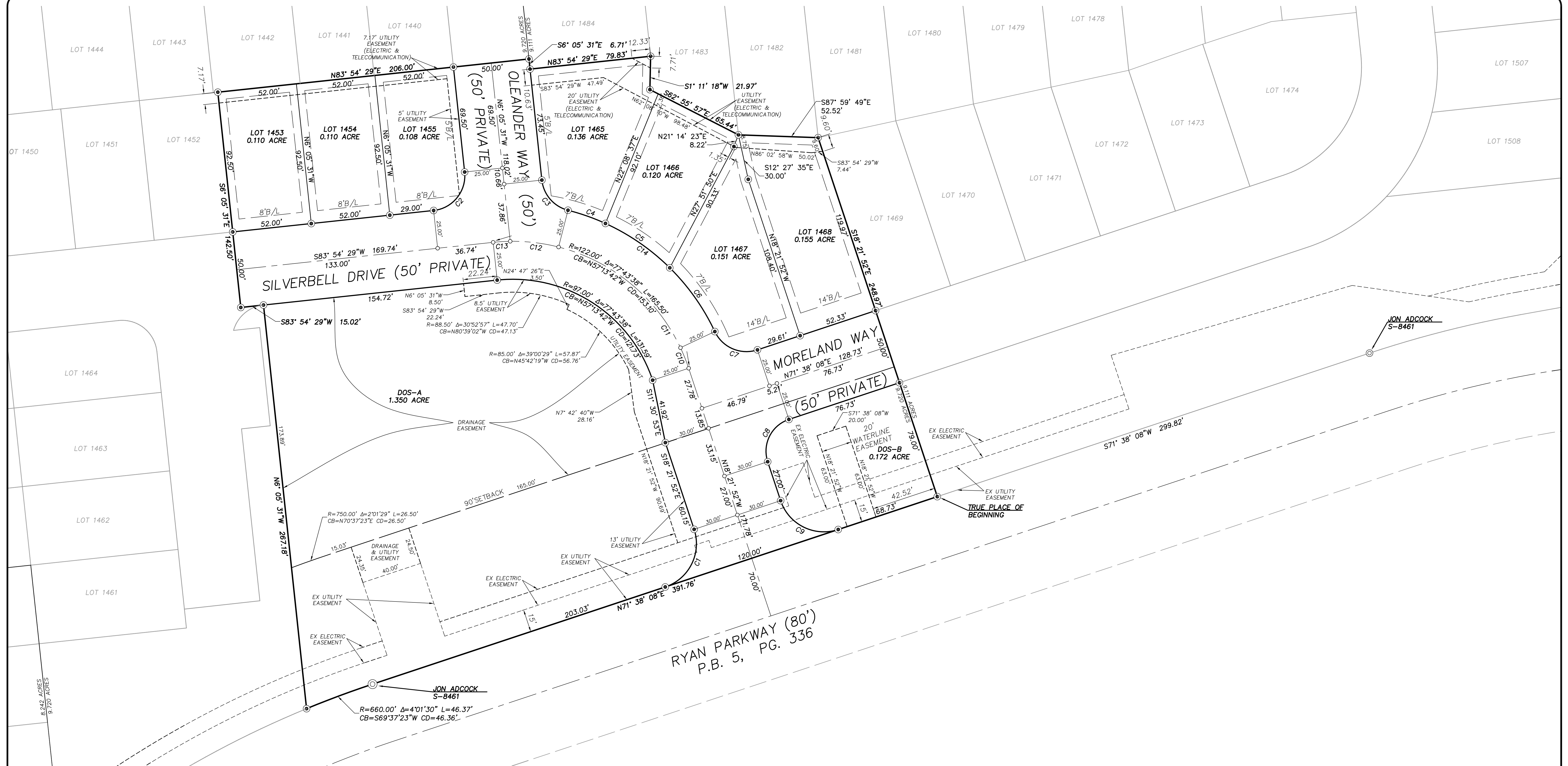


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FIELD	DRAFT	CHECK
JBA	CMK	JBA
JOB NO.:	15-026	
DATE:	MAY, 2016	
SCALE:	N/A	



Right of Way Curve Table				
Curve #	Radius	Delta	Length	Chord Direction
C1	30.00'	90° 00' 00"	47.12'	N26° 38' 08"E
C2	23.00'	90° 00' 00"	36.13'	N38° 54' 29"E
C3	23.00'	69° 36' 00"	27.94'	S40° 53' 31"E
C4	147.00'	10° 12' 32"	26.19'	N70° 35' 14"W
C5	147.00'	20° 09' 24"	51.71'	N55° 24' 16"W
C6	147.00'	20° 07' 46"	51.64'	N35° 15' 41"W
C7	23.00'	83° 10' 04"	33.39'	S66° 46' 50"E
C8	22.00'	90° 00' 00"	34.56'	S26° 38' 08"W
C9	30.00'	90° 00' 00"	47.12'	S63° 21' 52"E
C10	122.00'	6° 49' 56"	14.55'	N21° 46' 50"W
C11	122.00'	50° 29' 42"	107.52'	N50° 26' 39"W
C12	122.00'	15° 06' 20"	32.16'	N83° 14' 40"W
C13	122.00'	5° 17' 40"	11.27'	S86° 33' 19"W
C14	147.00'	50° 29' 42"	129.55'	N50° 26' 39"W

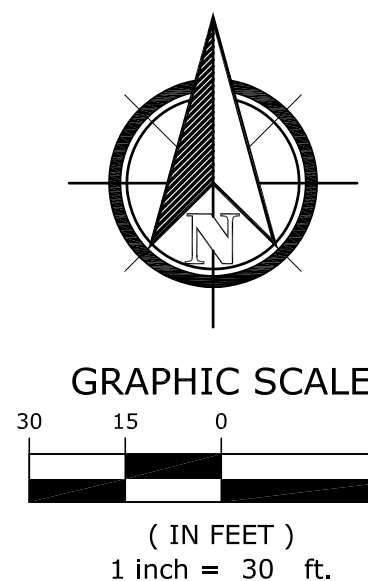
- LEGEND:**
- IRON PIN SET - 5/8" X 30" REBAR WITH PLASTIC CAP INSCRIBED "JON ADCOCK S-8461"
 - ⊙ IRON PIPE FOUND AS NOTED
 - ⊙ IRON PIN FOUND AS NOTED
 - (R) RADIAL LINE

Basis of Bearings:

The bearings shown hereon are based on GPS observations in conjunction with the Ohio Department of Transportation VRS Network, being NAD 1983 Horizontal Datum.

Citation of permanent documents:--

Official Record 669, Page 653

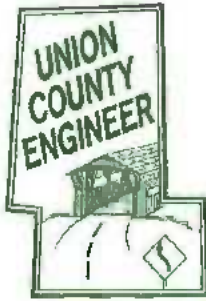


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JOB NO.:	15-026	
DATE:	MAY, 2016	
SCALE:	1"=30'	



County Engineer
Environmental Engineer
Building Department
233 W. Sixth Street
Marysville, Ohio 43040
P 937. 645. 3018
F 937. 645. 3161
www.co.union.oh.us/engineer

Marysville Operations Facility
16400 County Home Road
Marysville, Ohio 43040
P 937. 645. 3017
F 937. 645. 3111

Richwood Outpost
190 Beatty Avenue
Richwood, Ohio 43344

September 1, 2016

Public Service with integrity

Bradley Bodenmiller
LUC Regional Planning Commission
Box 219
East Liberty, Ohio 43319

Re: Final Plat Review
The Courtyards at Jerome Village (AKA GPN-5), Phase 1 – Amended Final Plat

Bradley,

We have completed our review for the above amended final plat, received by our office on August 22, 2016. The construction drawings have been approved by our office. We have requested and received a performance bond for the improvements shown on the plat. Our Prosecutor's Office has reviewed and approved the performance bond and we anticipate gaining Commissioners approval next week. With the exception of the adjusted lot lines on lots 1465, 1466 and 1467, the amended plat appears identical to the original plat approved by the Executive Committee. Based on the adjusted lot lines however, our office has the following comments:

1. Add a notation for an iron pin to be set at the new intersection of the side yard and rear yard boundary of lot #1465.
2. Due to the boundary adjustments, the acreages for lots #1465, #1466 and #1467 need to be updated.
3. In the Drainage Easement description on sheet 1, replace the word "remove" with "replace" in the last sentence.
4. Please add dimensioning for the straight line segment along the rear lot line of lot #1466, including the rear lot dimension of lot #1466 as well as the dimension from the northwest property corner of lot #1466 to the iron pin at lot #1465.

Due to the outstanding comments, we do not feel comfortable issuing an endorsement of approval at this time. However, due to the nature of the comments, we feel that they can be addressed by the September 6th Zoning and Subdivision Committee meeting. If you have any questions or concerns, feel free to contact me at (937) 645-3165.

Sincerely,

Bill Narducci

Bill Narducci, P.E.
Engineering Manager
Union County Engineer
Cc: Luke Sutton, Union County Engineer's Office (via email)
Jeremy Burrey, Union SWCD (via email)

Jeff Stauch, PE/PS
County Engineer | Environmental Engineer

Mary A. Sampsel, PE
Assistant County Engineer | Chief Building Official



Engineering, Planning and Zoning
City Hall, 209 South Main Street
Marysville, Ohio 43040-1641
(937) 645-7350
FAX (937) 645-7351
www.marysvilleohio.org

September 1, 2016

Bradley J. Bodenmiller
LUC Regional Planning Commission
9676 East Foundry
East Liberty, OH 43319

**Subject: The Courtyards at Jerome Village, Phase 1
Final Plat Review – Comment Letter #2**

The City of Marysville has reviewed the Final Plat for The Courtyards at Jerome Village, Phase 1 and recommends approving the Final Plat without any comments.

Please contact us if you need additional clarification or wish to discuss these comments further.

Sincerely,

Kyle Hoyng, P.E.
Utility Engineer

cc: Jeremy Hoyt, P.E. (City of Marysville)
Mike Andrako, P.E. (City of Marysville)
Scott Sheppeard (City of Marysville)



Jerome Township
Union County, Ohio

9777 Industrial Parkway
Plain City, Ohio 43064
Office (614) 873-4480
Fax (614) 873-8664

Jerome Township Zoning Office

August 31, 2016

Bradley J. Bodenmiller
LUC Regional Planning Commission
9676 E. Foundry
East Liberty, Ohio 43319

RE: Plats - Jerome Village GPN-5 Phase I Final Plat_Amended

Dear Brad,

I have reviewed the Amended Final Plat for Phase I of The Courtyards at Jerome Village, otherwise known as the Glacier Park Neighborhood, Section 5 as sent to our office on August 22, 2016. Upon review, the Amended Final Plat as filed seems to comply with the layout of the proposed condominium units approved by the Zoning Commission as part of the Final Development Plan for this section. As such the zoning office has no major concerns with the Final Plat as filed. As always, the townships review is limited strictly to zoning related items and does not cover technical related issues such as traffic, access, or site engineering. Please feel free to contact at your convenience with any questions you may have regarding this review or the pending Final Plat Approval.

Respectfully,

Gary Smith, RLA/CLARB
Jerome Township Zoning Officer

Brad Bodenmiller

From: Andrew.Hurst@dot.ohio.gov
Sent: Thursday, September 1, 2016 3:06 PM
To: Brad Bodenmiller
Subject: RE: Mitchell Highlands Preliminary Plat

Follow Up Flag: Follow up
Flag Status: Flagged

We have no comments on any of these plats.

From: Brad Bodenmiller [mailto:bradbodenmiller@lucplanning.com]
Sent: Tuesday, August 30, 2016 9:06 AM
To: bnarducci@co.union.oh.us; Letitia Rayl <lrayl@co.union.oh.us>; Aaron Smith (asmith.uswcd@gmail.com) <asmith.uswcd@gmail.com>; Jim Cogar (jim.cogar@uchd.net) <jim.cogar@uchd.net>; Jeremy Hoyt <jhoyt@marysvilleohio.org>; jerometownship@aol.com; jeromezclerk@aol.com; Gary Smith (jeromeinspect@aol.com) <jeromeinspect@aol.com>; Slack, Thomas <Thomas.Slack@dot.ohio.gov>; Kevin Gregory <k.gregory@ure.com>; Ronald Rockenbaugh <r.rockenbaugh@ure.com>
Cc: Luke Sutton <lsutton@co.union.oh.us>; Jeremy Burrey <jburrey.uswcd@gmail.com>; Kyle Hoyng <khoyng@marysvilleohio.org>; Hurst, Andrew <Andrew.Hurst@dot.ohio.gov>; Dave Gulden <davegulden@lucplanning.com>; Reeves, Michael <mreeves@cecinc.com>; Corey Theuerkauf <CTheuerkauf@rockfordhomes.net>
Subject: Mitchell Highlands Preliminary Plat

All,

This email is a reminder for reviewing agencies and a notice of meeting change for reviewing agencies and applicants/owners.

Reminder:

Reviewing agencies, please have any comments regarding **Mitchell Highlands – Preliminary Plat** by end of the day this Thursday, September 1.

Meeting change:

The Zoning & Subdivision Committee meeting was rescheduled for **Tuesday, September 6, 2016, at 1:30 PM.**

The Executive Committee meeting will still be held **Thursday, September 8, 2016, at 1:15 PM.**

Bradley J. Bodenmiller

Planner II | LUC Regional Planning Commission


P.O. Box 219 | 9676 E. Foundry | East Liberty, Ohio 43319

P: (937) 666-3431 | F: (937) 666-6203

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15461 US Route 36 • PO Box 393 • Marysville, OH 43040-0393
(937) 642-1826 • (800) 642-1826 • Fax (937) 644-4239
www.ure.com

Your Touchstone Energy® Cooperative 

September 1, 2016

Bradley Bodenmiller
LUC Regional Planning Commission
9676 Foundry Street
East Liberty, OH 43319

RE: UREC comments for The Courtyards at Jerome Village Phase 1 AKA Glacier Park
Neighborhood Section 5 (GPN-5) Phase 1 – Amended Final Plat

Brad,

Union Rural Electric Cooperative has reviewed and noted comments per paper drawings received 08/22/16. Drawing set of 2 sheets issued as Amended Final Plat for The Courtyards at Jerome Village Phase 1 AKA Glacier Park Neighborhood Section 5 (GPN-5) Phase 1, Dated May 2016:

- 1) Sheet 1 of 2
 - a) Noted additional easement descriptions
- 2) Sheet 2 of 2
 - b) Noted additional specific utility easement descriptions.
 - c) Noted lot dimension changes.
 - d) Noted lot number changes.

UREC request a copy of the updated AutoCAD drawing for complete development with lot number changes.

UREC accepts Amended Final Plat.
UREC has no additional comments.

Respectfully,

Ron Rockenbaugh
Manager of Engineering Services
Union Rural Electric Cooperative, Inc.
PO Box 393
15461 US Route 36
Marysville, Ohio 43040
Direct: (937) 645-9241



Staff Report – The Reserve at New California Phase 1

Applicant:	<p>Homewood Corporation c/o Jim Lipnos 2700 East Dublin Granville Road Columbus, OH 43231 jlipnos@homewoodcorp.com</p> <p>Civil & Environmental Consultants, Inc. c/o Mike Reeves & Mark Smith 250 Old Wilson Bridge, Suite 250 Worthington, OH 43085 mreeves@cecinc.com msmith@cecinc.com</p>
Request:	Approval of The Reserves at New California, Phase 1 – Final Plat.
Location:	Located southwest of Industrial Parkway, northwest of State Route 42, and southeast of Taylor Road in Jerome Township, Union County.

Staff Analysis:	<p>This Final Plat involves 13.170 acres of land and proposes 27 single-family residential lots.</p> <p>Acreages:</p> <ul style="list-style-type: none">○ 3.892 acres in right-of-way○ 9.051 acres in single-family residential lots○ 0.227 acres in open space <p>Proposed utilities:</p> <ul style="list-style-type: none">○ City of Marysville public water service○ City of Marysville public sanitary waste disposal <p>Preliminary Plat:</p> <ul style="list-style-type: none">○ The Preliminary Plat was approved on 09-10-2015. <p>• Union County Engineer's Office</p> <ul style="list-style-type: none">○ The Engineer's Office submitted comments in a letter dated 09-01-16. The Engineer's Office did not recommend approval, but suggested its comments could be addressed by the September 6th LUC meeting. The Engineer's Office reported that the Construction Drawings were approved and a performance bond is under review by the Prosecutor's
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Staff Report – The Reserve at New California Phase 1

	<p>Office. Comments from the Engineer's Office are below:</p> <ol style="list-style-type: none">1. Revise the dedication note under the signature lines to read, "Right-of-way for public streets and roads herein dedicated to public use are hereby approved this ____ day of ____, 20__ for the County of Union, State of Ohio. Street improvements within said dedicated rights-of-way shall not be accepted for public use unless and until construction is completed and accepted as such by Union County. In addition, street improvements within said dedicated rights-of-way shall not be accepted for public maintenance until the maintenance period transpires and the street improvements are accepted for public maintenance by Union County."2. Move the development summary information to the first sheet. In addition, include gross density (lot area/total area), net lot density (lots/lot area) and setback information.3. Show the existing right-of-way on Industrial Parkway, and any other existing easements.4. Remove Note "I" on sheet 3.5. In Note "L" replace the word "remove" with "replace" in the last sentence. <p>• Union County Soil & Water Conservation District</p> <ul style="list-style-type: none">○ No comments received as of 09-01-16. <p>• Union County Health Department</p> <ul style="list-style-type: none">○ No comments received as of 09-01-16. Standard comments from the Health Department are below:1. "All efforts should be made to provide a point of connection (via easements and/or service lines) to both water and sewer to any adjacent home, business, or any other facility that is serviced by a private water system (PWS) and/or sewage treatment system (SWS)."2. Any home, business, or other structure that is currently being serviced by a private sewage treatment system (STS) and ends up being situated within 200' of a sanitary sewer easement, shall be brought to the attention of the Union County Health Department."
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Staff Report – The Reserve at New California Phase 1

3. “If at any at time during development of the subdivision a private water system (PWS) (well, cistern, etc.) or sewage treatment system (STS) is found, our office shall be immediately contacted for inspection. Proper permitting must be obtained for sealing and/or abandonment of a private water system (PWS) and sewage treatment system (STS).”

•City of Marysville

- The City of Marysville submitted comments in a letter dated 09-01-16. The City recommended approval with modification. Those comments are below:
 - ✓ Modify the annotation arrows for the 20 foot wide utility easement on the south side of New California Drive. It appears the arrows are referencing the building setback line and not the utility easement.
 - ✓ Please provide additional utility easement along lot 27. Due to the depth of the sanitary sewer, the minimum utility easement offset shall be 15 feet.
 - ✓ Please show the existing easement for the wastewater infrastructure along Industrial Parkway.

•Jerome Township

- Jerome Township submitted comments in a letter dated 08-31-16. “It appears as if the Final Plat as submitted is consistent with the zoning as approved by the trustees with the exception of one small item. It appears that the acreage for the area listed as ‘Open Space A’, at 0.396 Acres, is smaller than what was listed (.67 Acres)....It does not appear as if the applicant has intentionally reduced the open space, and this change is small enough that the township would consider it an ‘engineering and surveying’ related change and not a substantive change to the zoning....I see no reason from the townships perspective that the application should be denied.”

•ODOT District 6

- Per an email dated 09-01-16, ODOT had no comments.



Staff Report – The Reserve at New California Phase 1

- **Union Rural Electric**

- Union Rural Electric submitted comments in a letter dated 08-31-16. Union Rural Electric requested delay in approving the Final Plat until easement discrepancies are resolved. Please refer to the letter for the full comments. **Some** of those comments are listed below:
 1. Sheet 1: Define who uses the noted utility easements.
 2. Sheet 1: Request listing utilities and contacts using easement since two electric utilities are in the development. The different utilities could have conflicts when areas are not clearly defined.
 3. Sheet 2: DP&L will serve lots 01 and 27. URE will serve lots 02 through 26.
 4. Sheet 2: URE request easement area that is closest to home locations.
 5. Sheet 2: URE provided an easement clarification sheet to the applicant, requesting that the applicant make adjustments accordingly.
 6. Sheet 3: Add DP&L to notes “J” and “K”.
 7. Sheet 3: Consider clarifying easement areas.

- **Dayton Power & Light**

- Dayton Power & Light submitted comments in an email dated 08-31-16. “More clearly label the 10 foot utility easement corridors that run through Open Space A and B perpendicular to Industrial Parkway. These short corridors are where our overhead lines will cross Industrial Parkway on either side of the New California Drive entrance. The prints show the 10ft utility easement parallel to Industrial Parkway very clearly, but the corridors aren’t as easily identified.”

- **LUC Regional Planning Commission**

1. Sheet 1: The dedication note needs to match the required statements in Section 800 (§323, 14.; §800).
2. Sheet 1: The notarized certification reads Delaware County. Change to Union County (§323, 14.; §800).
3. Sheet 1: The notarized certification mentions Rockford Homes and this may be unintentional (§323, 14.; §800).



Staff Report – The Reserve at New California Phase 1

	<ol style="list-style-type: none">4. Sheet 1/2: Correct acreage figures under Surveyor's Certificate and in the development summary. The figures do not match (§323, 1.).5. Sheet 1: Under Surveyor's Certificate, change from Part 1 to Phase 1 (§323, 13.; §800).6. Sheet 1: Update signatures to include "Approved this ____ day of ____, 2016: ____ County Commissioners." (§801).7. Sheet 2/3: Easements at back of lots are 10 feet. Note: The minimum width for water/sewer lines is 20 feet. The applicant was advised of this during the Preliminary Plat approval (§414).8. The most southern street is labeled Jeffrey Pine Drive on the proposed Final Plat, but it is labeled Orange Drive on the Preliminary Plat (§323, 5.).9. A letter from the County Engineer verifying all required improvements have been installed and approved by the proper officials or agencies, or verifying a bond or other surety, approved by the County Commissioners and their legal counsel, has been furnished assuring installation of the required improvements" (§324, 2.; §326; §330).
--	--

Staff Recommendations:	Staff recommends <i>DENIAL</i> of The Reserve at New California Phase 1 – Final Plat. Although the minor technical items included in this staff report could be incorporated into the Final Plat Mylar for the 09-06-16 LUC meetings, the outstanding bond or other surety is required (§324, 2.; §326; §330) before staff is comfortable recommending otherwise.
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Z&S Committee Recommendations:	
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Logan-Union-Champaign regional planning commission

Director: Dave Gulden, AICP

Application for Final Plat Approval

Date: 8/17/2011

Name of Subdivision: NEW CALIFORNIA PHASE 1
Section/Phase: _____ Block _____
Location: INDUSTRIAL PARKWAY
Township: JEROME Military Survey: 1440
Complete Parcel(s) Identification Number (PIN): _____

Has a Preliminary Plat been approved for this subdivision?: Yes ☒ No ☐ Date: _____

Name of Applicant: HOMEWOOD CORPORATION
Address: 2700 EAST DUBLIN GRANVILLE ROAD
City: COLUMBUS State: OH Zip: 43231
Phone: 614-898-7200 Fax: _____ Email: jlipnas@homewoodcorp.com

Name of Owner of property to be subdivided: Homewood
Address: _____
City: _____ State: _____ Zip: _____
Phone: _____ Fax: _____ Email: _____

Name of Applicant's Surveyor or Engineer: Civil & Environmental Consultants
Address: 250 Old Wilson Bridge Ste 250
City: Worthington State: OH Zip: 43085
Phone: 614-545-1126 Fax: 614-540-6683 Email: msmith@cecinc.com

Proposed Acreage to be Subdivided: 13.742

Current Zoning Classification: _____

Proposed Zoning Changes: _____

Proposed Land Use: RESIDENTIAL

Development Characteristics

Acreage w/in Approved Preliminary Plat: 13.742 Acres

Acreage w/in Section and/or Block: 13.742 Acres

Number of APPROVED lots from Preliminary Plat 27

9676 E. Foundry St, PO Box 219
East Liberty, Ohio 43319

• Phone: 937-666-3431 • Fax: 937-666-6203
• Email: luc-rpc@lucplanning.com • Web: www.lucplanning.com



Logan-Union-Champaign
regional planning commission

Director: Dave Gulden, AICP

Number of Lots **PROPOSED** w/in this Section: 27 buildable

Number of **APPROVED** units from Preliminary Plat: _____

Number of Units **PROPOSED** w/in this Section: _____

Typical Lot Width: 90x145 Feet Typical Lot Area: _____

Single Family Units: 11,237 Sq. ft Multi-Family Units: N/A

Acreage to be devoted to recreation, parks or open space: 0.690

Recreation facilities to be provided: _____

Approved method of Supplying Water Service: Marysville

Approved method of Sanitary Waste Disposal: Marysville

Were any Requests for Variance(s) from the Subdivision Regulations approved by the County Commissioners? NO

Construction improvements have achieved satisfactory completion and has been Certified by the County Engineer in accordance with Section 326 and 330 of the Subdivision Regulation? *If no, continue to next question.* NO

If no to the above question, please submit a Performance Bond in accordance with the following:

Has estimated construction cost been submitted by the responsible design engineer? yes

Has estimated construction cost been approved by the County Engineer? yes

Bond has been submitted to County Engineer? yes

Bond approved by County Commissioners? yes

For Official Use

Date filed: _____ Filing Fee: _____

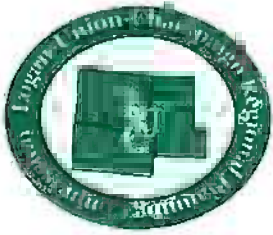
Date of Meeting of Planning Commission: _____

Action by Planning Commission: _____

If rejected, reason(s) for: _____

9676 E. Foundry St, PO Box 219
East Liberty, Ohio 43319

• Phone: 937-666-3431 • Fax: 937-666-6203
• Email: luc-rpc@lucplanning.com • Web: www.lucplanning.com



Logan-Union-Champaign regional planning commission

Director: Dave Gulden, AICP

Final Plat Review Checklist

#	Required Item Description	Have	Need
0	Drawn at a scale not less than 1:100 and shall be on one or more sheets 24" X 36"; drawn in India ink or photographically reproduced on Mylar or other materials of equal permanence.	✓	
1	Name of the Subdivision, location by section, range or township, or Virginia Military Survey (VMS) number; date, north point, written and graphic scale and acreage.	✓	
2	Names and addresses of the subdivider and the professional surveyor who prepared the Final Plat	✓	
3	Plat boundaries, based on accurate traverse, with directional and lineal dimensions.	✓	
4	Bearings and distances to nearest established street lines or other recognized permanent monuments.	✓	
5	Exact locations, right-of-way widths, and names of all streets within and adjoining the plat; building setback lines.	✓	
6	Radii, internal angles, points of curvature, tangent bearings, lengths of arcs, and lengths and bearings of chords.	✓	
7	All easements and rights-of-ways provided for public services or utilities. All plats shall contain a restriction that no permanent structures or plantings, etc. shall be permitted in the easement areas.	✓	
8	All lot numbers and lines with accurate dimensions in feet and hundredths. House numbers may be required to be shown.	✓	
9	Accurate location and description of all monuments. The plat shall clearly indicate which monuments are in place at the time of certification of the Final Plat by the surveyor. The plat shall also clearly indicate which monuments will be placed, if any, after construction of the improvements and before the completion date.	✓	
10	Accurate outlines of areas to be dedicated or reserved for public use, or any area to be reserved for common uses of all property owners.	✓	
11	The limits of all Flood Hazard Areas (show the FEMA map number and date). Base Flood Elevations and minimum first floor elevations shall be shown for all lots located within Flood Hazard Areas.	N/A	
12	Certain restrictions and covenants the subdivider intends to include in the deeds to the lots in the subdivision including any restrictions required by the County.	✓	
13	Certification by a professional surveyor to the effect that the plat represents an actual field survey performed by him; that all dimensional details are correct, and that the monuments shown thereon were or will be placed by the established completion date or prior to the sale of each lot, whichever occurs first (See Section 326).	✓	
14	Notarized certification by the owner or owners of the authorization of the plat and the dedication of streets and other public areas.	✓	

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East Liberty, Ohio 43319

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Logan-Union-Champaign regional planning commission

Director: Dave Gulden, AICP

15	A vicinity map at a scale of generally not more than six thousand feet to an inch (6,000:1) shall be shown on, or shall accompany the Final Plat.	✓	
16	If a zoning change or variance is involved, a letter from the Township Zoning Inspector shall be required indicating that the change or variance has been approved and is in effect.	N/A	
17	A letter from the County Engineer shall be required showing that all required improvements have been either installed and approved by the proper officials or agencies, or that a bond or other surety has been furnished assuring installation of the required improvements.		✓
18	Written certification from the Board of County Commissioners for operation and maintenance of the wastewater or water treatment plant, if applicable.		
19	Certification by a registered surveyor to the effect that the plat represents a survey completed by the surveyor and that the monuments shown thereon exist as located in all dimensional details are correct.	✓	
20	A notarized acknowledgement of all owners and lien holders to the plat and its restrictions including dedication to the public uses of streets, alleys, parks and other spaces shown thereon and granting required easements.	✓	
21	Approval and acceptance clause for the signatures of a representative of the Logan-Union-Champaign County Regional Planning Commission, the County Engineer, the County Health Department, the Board of County Commissioners, the County Auditor, the County Recorder, and a representative of the Township Trustees in which the subdivision is located.	✓	
22	Final Plat Fees: Payment/Check made out to LUC Regional Planning Commission, based on the current fee schedule.	✓	

9676 E. Foundry St, PO Box 219
East Liberty, Ohio 43319

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• Email: luc-rpc@lucplanning.com • Web: www.lucplanning.com

THE RESERVE AT NEW CALIFORNIA PHASE 1

A SUBDIVISION OF ACREAGE

STATE OF OHIO, UNION COUNTY, TOWNSHIP OF JEROME,
VIRGINIA MILITARY SURVEY 1440

SITUATED IN THE STATE OF OHIO, COUNTY OF UNION, TOWNSHIP OF JEROME IN VIRGINIA MILITARY SURVEY 1440, BEING PART OF THAT TRACT OF LAND CONVEYED TO **HOMEWOOD CORPORATION**, BY DEED OF RECORD IN OFFICIAL RECORD VOLUME 656, PAGE 990, (ALL REFERENCES REFER TO THE RECORDS OF THE RECORDER'S OFFICE, UNION COUNTY, OHIO).

THE UNDERSIGNED, **HOMEWOOD CORPORATION**, BY **JAMES L. LIPNOS, PRESIDENT**, OWNER OF THE LANDS PLATTED HEREIN, DULY AUTHORIZED IN THE PREMISES, DOES HEREBY CERTIFY THAT THIS PLAT CORRECTLY REPRESENTS ITS **"THE RESERVE AT NEW CALIFORNIA"**, A SUBDIVISION CONTAINING LOTS NUMBERED 1-27 INCLUSIVE, DOES HEREBY ACCEPT THIS PLAT AND DO VOLUNTARILY DEDICATE 3.892 ACRES FOR PUBLIC ROAD AND RIGHT OF WAY ALL OR PART OF NEW CALIFORNIA DRIVE, JEFFREY PINE DRIVE, AND MESQUITE COURT AS SHOWN HEREON AND NOT HERETOFORE DEDICATED.

EASEMENTS ARE HEREBY RESERVED, IN, OVER, AND UNDER AREAS DESIGNATED ON THIS PLAT AS "EASEMENT, UTILITY EASEMENT, DRAINAGE & UTILITY EASEMENT". EASEMENTS DESIGNATED AS "EASEMENT" PERMIT THE CONSTRUCTION, OPERATION, AND MAINTENANCE OF ALL PUBLIC AND QUASI-PUBLIC UTILITIES ABOVE, BENEATH, AND ON THE SURFACE OF THE GROUND AND, WHERE NECESSARY, FOR THE CONSTRUCTION, OPERATION, AND MAINTENANCE OF SERVICE CONNECTIONS TO ALL ADJACENT LOTS AND LANDS AND FOR STORM WATER DRAINAGE.

WITHIN THOSE AREAS OF LAND DESIGNATED "EASEMENT" ON THIS PLAT, AN ADDITIONAL EASEMENT IS HEREBY RESERVED FOR THE PURPOSE OF CONSTRUCTING, OPERATING, AND MAINTAINING MAJOR STORM WATER DRAINAGE SWALES AND/OR OTHER ABOVE GROUND STORM WATER DRAINAGE FACILITIES. NO ABOVE GRADE STRUCTURES, DAMS, OR OTHER OBSTRUCTIONS TO THE FLOW OF STORM WATER RUNOFF ARE PERMITTED WITHIN DRAINAGE EASEMENT AREAS AS DELINEATED ON THIS PLAT. EASEMENT AREAS SHOWN HEREON OUTSIDE OF THE PLATTED AREA ARE WITHIN LANDS OWNED BY THE UNDERSIGNED AND EASEMENTS ARE HEREBY RESERVED FOR THE USES AND PURPOSES EXPRESSED HEREIN.

THE EASEMENTS SHOWN HEREON OUTSIDE OF THE PLATTED AREA OF LAND OWNED BY **HOMEWOOD CORPORATION**, ARE RESERVED FOR THE PURPOSES STATED IN THE FOREGOING "EASEMENTS" PARAGRAPH.

IN WITNESS WHEREOF, **JAMES L. LIPNOS, PRESIDENT** OF **HOMEWOOD CORPORATION**, HAS HEREUNTO SET HIS HAND THIS _____ DAY OF _____.

SIGNED AND ACKNOWLEDGED
IN THE PRESENCE OF: **HOMEWOOD CORPORATION**

BY: _____

JAMES L. LIPNOS, PRESIDENT

STATE OF OHIO
COUNTY OF DELAWARE:

BEFORE ME, A NOTARY PUBLIC IN AND FOR SAID STATE, PERSONALLY APPEARED **JAMES L. LIPNOS**, PRESIDENT OF SAID **HOMEWOOD CORPORATION**, WHO ACKNOWLEDGED THE SIGNING OF THE FOREGOING INSTRUMENT TO BE HIS VOLUNTARY ACT AND DEED AND THE VOLUNTARY ACT AND DEED OF SAID **ROCKFORD HOMES, INC.**, FOR THE USES AND PURPOSES EXPRESSED THEREIN.

IN WITNESS THEREOF, I HAVE HEREUNTO SET MY HAND AND AFFIXED MY OFFICIAL SEAL THIS _____ DAY OF _____.

MY COMMISSION EXPIRES _____

REVIEWED THIS _____ DAY OF _____

CHAIRMAN, JEROME TOWNSHIP TRUSTEES

APPROVED THIS _____ DAY OF _____

UNION COUNTY ENGINEER

APPROVED THIS _____ DAY OF _____

UNION COUNTY HEALTH DEPARTMENT

APPROVED THIS _____ DAY OF _____

LOGAN-UNION-CHAMPAIGN
REGIONAL PLANNING COMMISSION

THIS _____ DAY OF _____, 2016, RIGHTS-OF-WAY FOR PUBLIC STREETS AND ROADS HEREIN DEDICATED TO PUBLIC USE, NEW CALIFORNIA DRIVE, JEFFREY PINE DRIVE, AND MESQUITE COURT, ARE HEREBY APPROVED FOR THE COUNTY OF UNION, STATE OF OHIO. STREET IMPROVEMENTS WITHIN SAID DEDICATED RIGHT-OF-WAY SHALL NOT BE ACCEPTED FOR PUBLIC USE AND/OR MAINTENANCE UNLESS AND UNTIL CONSTRUCTION IS COMPLETED AND STREETS ARE FORMALLY ACCEPTED BY UNION COUNTY.

UNION COUNTY COMMISSIONERS:

TRANSFERRED THIS _____ DAY OF _____

UNION COUNTY AUDITOR

FILED FOR RECORD THIS _____ DAY OF _____, AT _____.

RECORDED THIS _____ DAY OF _____, _____, IN PLAT CABINET _____, SLIDE _____.

UNION COUNTY RECORDER

EASEMENTS:

EASEMENTS SHOWN HEREON OUTSIDE THE PLATTED AREA ARE WITHIN THAT TRACT OF LAND OWNED BY **HOMEWOOD CORPORATION**, OFFICIAL RECORD 656, PAGE 990, AND ARE HEREBY RESERVED FOR THE USES AND PURPOSES AS EXPRESSED HEREIN.

WITNESS:

STATE OF OHIO
COUNTY OF UNION:

BEFORE ME, A NOTARY PUBLIC IN AND FOR SAID STATE, PERSONALLY APPEARED **JAMES L. LIPNOS**, PRESIDENT OF SAID **HOMEWOOD CORPORATION**, WHO ACKNOWLEDGED THE SIGNING OF THE FOREGOING INSTRUMENT TO BE HIS VOLUNTARY ACT AND DEED AND THE VOLUNTARY ACT AND DEED OF SAID **HOMEWOOD CORPORATION**, FOR THE USES AND PURPOSES EXPRESSED THEREIN.

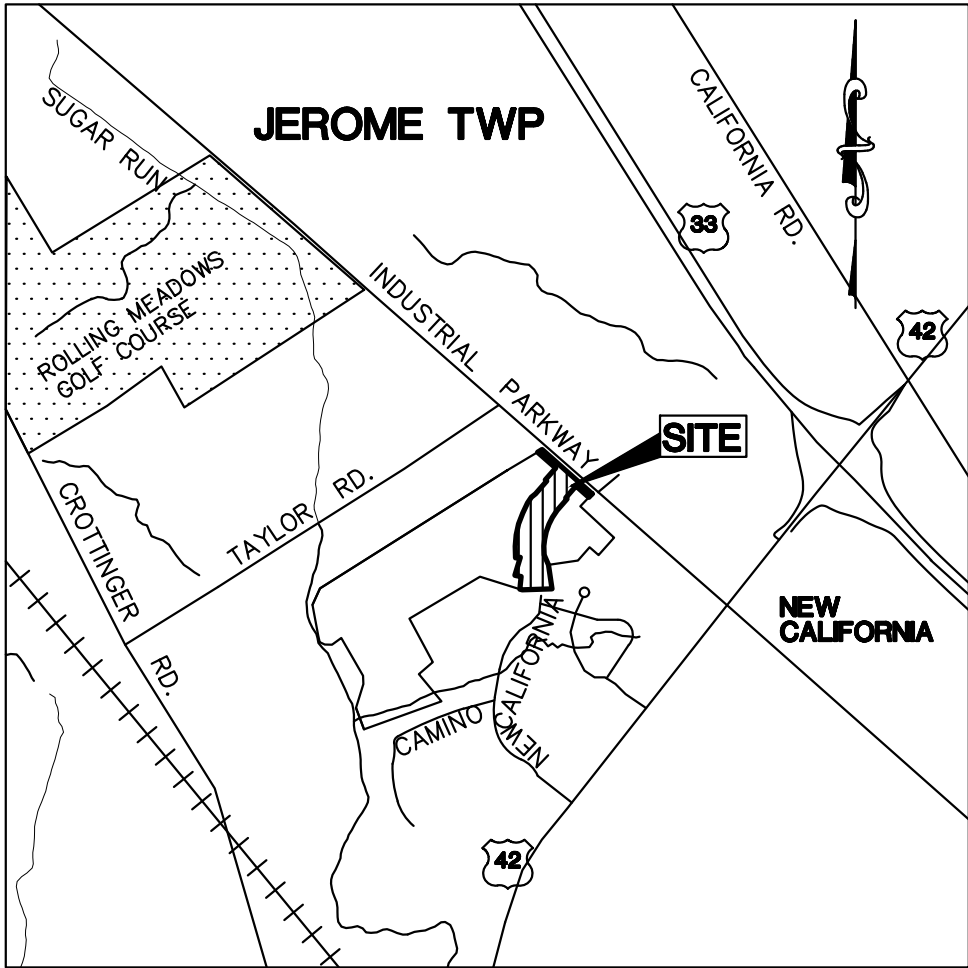
IN WITNESS THEREOF, I HAVE HEREUNTO SET MY HAND AND AFFIXED MY OFFICIAL SEAL THIS _____ DAY OF _____.

MY COMMISSION EXPIRES _____

OWNED, DEVELOPED AND DESIGNED BY:

HOMEWOOD CORPORATION
2700 EAST DUBLIN GRANVILLE ROAD, SUITE 300
COLUMBUS OHIO, 43231

REVISION RECORD		
NO	DATE	DESCRIPTION
▲		
▲		
▲		
▲		



VICINITY MAP

NOT TO SCALE

SURVEY DATA:
BASIS OF BEARINGS:
FOR THE PURPOSE OF THIS SURVEY, AN OHIO STATE PLANE - NORTH ZONE GRID BEARING OF S 40°15'58" E WAS MEASURED ALONG THE CENTERLINE OF INDUSTRIAL PARKWAY, ALSO BEING THE NORTHEASTERLY LINE OF THE SUBJECT PROPERTY, ACCORDING TO AN ACTUAL FIELD SURVEY AND SURVEY MONUMENTATION FOUND AS INDICATED

SOURCE DATA:
THE SOURCES OF RECORDED SURVEY DATA REFERENCED IN THE PLAN AND TEXT OF THIS PLAT ARE THE RECORDS OF THE RECORDER'S OFFICE, UNION COUNTY, OHIO.

IRON PINS:
WHERE INDICATED HEREON, UNLESS OTHERWISE NOTED, ARE TO BE SET AND ARE 3/4" I.D. IRON PIPE, THIRTY INCHES LONG WITH A YELLOW PLASTIC CAP BEARING THE INITIALS "CEC".

PERMANENT MARKERS:
WHERE INDICATED HEREON UNLESS OTHERWISE NOTED ARE TO BE SET AND ARE SOLID IRON PINS, 1" DIAMETER, 30" LONG WITH A YELLOW PLASTIC CAP BEARING THE INITIALS "CEC".

CERTIFICATION:
THE ACCOMPANYING PLAT REPRESENTS A SUBDIVISION OF LAND IN V.M.S. NO. 1440, UNION COUNTY, OHIO. THE TRACT HAS AN AREA OF 3.892 ACRES IN STREETS 0.227 ACRES IN RESERVES AND 9.051 ACRES IN LOTS MAKING A TOTAL OF 13.170 ACRES.

ALL MEASUREMENTS ARE IN FEET AND DECIMALS OF A FOOT. ALL MEASUREMENTS ON CURVES ARE CHORD DISTANCES.

I HEREBY CERTIFY THAT THE ACCOMPANYING PLAT IS A CORRECT REPRESENTATION OF THE RESERVE AT NEW CALIFORNIA PHASE 1 PART 1, AS SURVEYED MAY 2005.

MARK ALAN SMITH
PROFESSIONAL LAND SURVEYOR NO. 8232

CEC
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THE RESERVE AT
NEW CALIFORNIA PHASE 1

Situate In

JEROME TOWNSHIP
UNION COUNTY, OHIO

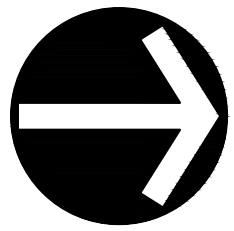
Made For

HOMEWOOD CORPORATION

LEGEND

- I.P. FOUND
- I.P. SET
- ⊙ PERMANENT MARKER SET
- △ MAG NAIL SET

DATE:	AUGUST 2016	SCALE:	1"=60'	DRAWING NO.:	PLAT
DRAWN BY:	JEC	CHECKED BY:	MAS		
PROJECT NO:	130-789	APPROVED BY:	JAM	SHEET	
				1	OF 3



NORTH

SCALE IN FEET

THE RESERVE AT NEW CALIFORNIA PHASE 1

A SUBDIVISION OF ACREAGE

STATE OF OHIO, UNION COUNTY, TOWNSHIP OF JEROME,
VIRGINIA MILITARY SURVEY 1440

NOTE "A": ACREAGE BREAKDOWN	
TOTAL ACREAGE:	13.742
ACREAGE IN LOTS 1-27 INCLUSIVE:	9.051
ACREAGE IN OPEN SPACES:	0.690
ACREAGE IN RIGHT-OF-WAYS:	
INDUSTRIAL PARKWAY:	1.132
NEW CALIFORNIA:	2.132
JEFFREY PINE DRIVE:	0.393
MESQUITE COURT:	0.195
TOTAL:	3.852

NOTE "B": NON-EXCLUSIVE UTILITY EASEMENTS ARE PLATTED FOR THE CONSTRUCTION, OPERATION AND MAINTENANCE OF PUBLIC AND PRIVATE UTILITIES, STORM WATER MANAGEMENT, AND SERVICE CONNECTIONS THERETO, ABOVE AND BENEATH THE SURFACE OF THE GROUND;

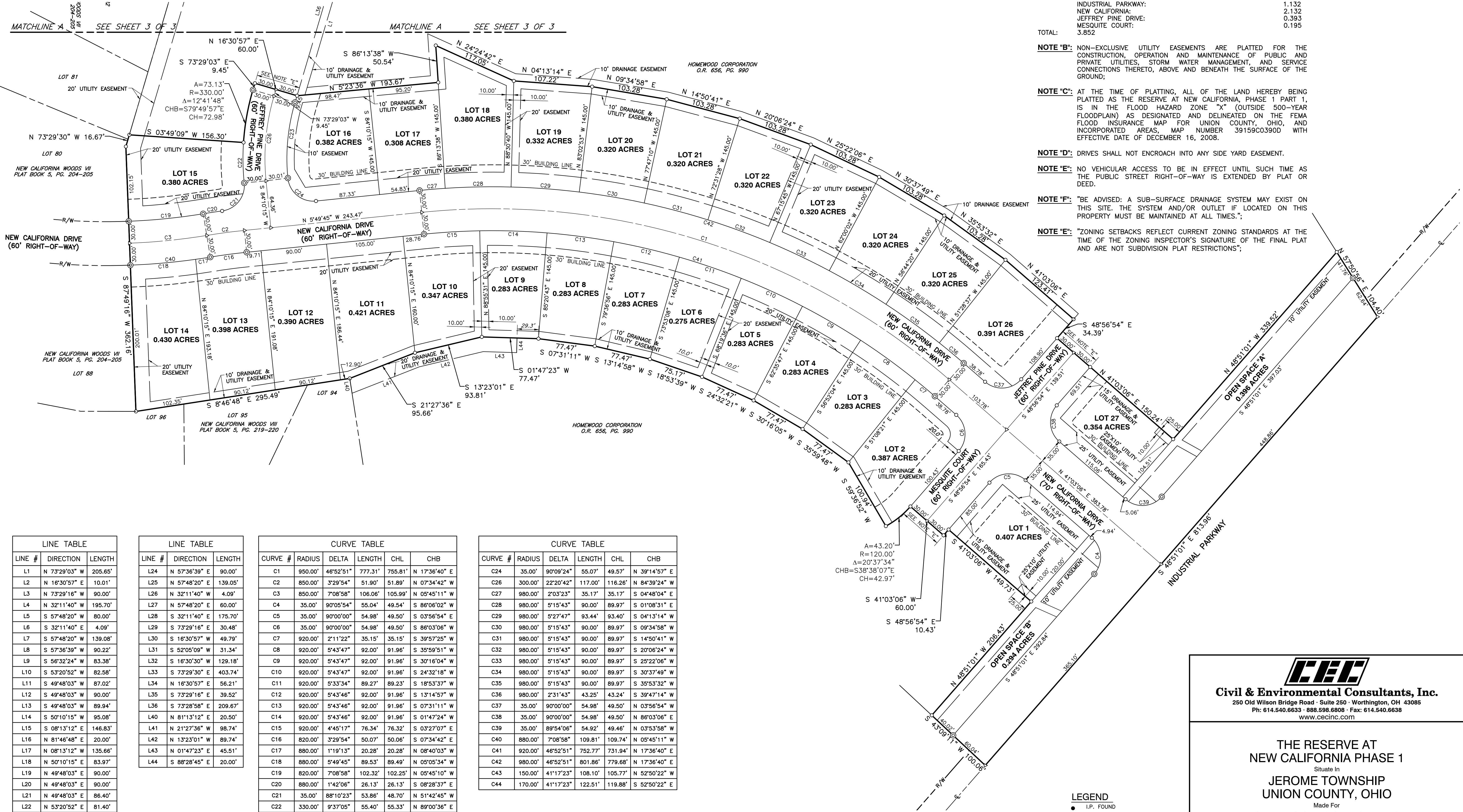
NOTE "C": AT THE TIME OF PLATTING, ALL OF THE LAND HEREBY BEING PLATTED AS THE RESERVE AT NEW CALIFORNIA, PHASE 1 PART 1, IS IN THE FLOOD HAZARD ZONE "X" (OUTSIDE 500-YEAR FLOODPLAIN) AS DESIGNATED AND DELINEATED ON THE FEMA FLOOD INSURANCE MAP FOR UNION COUNTY, OHIO, AND INCORPORATED AREAS, MAP NUMBER 39159C0390D WITH EFFECTIVE DATE OF DECEMBER 16, 2008.

NOTE "D": DRIVES SHALL NOT ENCRoACH INTO ANY SIDE YARD EASEMENT.

NOTE "E": NO VEHICULAR ACCESS TO BE IN EFFECT UNTIL SUCH TIME AS THE PUBLIC STREET RIGHT-OF-WAY IS EXTENDED BY PLAT OR DEED.

NOTE "F": "BE ADVISED: A SUB-SURFACE DRAINAGE SYSTEM MAY EXIST ON THIS SITE. THE SYSTEM AND/OR OUTLET IF LOCATED ON THIS PROPERTY MUST BE MAINTAINED AT ALL TIMES."

NOTE "G": "ZONING SETBACKS REFLECT CURRENT ZONING STANDARDS AT THE TIME OF THE ZONING INSPECTOR'S SIGNATURE OF THE FINAL PLAT AND ARE NOT SUBDIVISION PLAT RESTRICTIONS";



LINE TABLE		
LINE #	DIRECTION	LENGTH
L1	N 73°29'03" W	205.65'
L2	N 16°30'57" E	10.01'
L3	N 73°29'16" W	90.00'
L4	N 32°11'40" W	195.70'
L5	S 57°48'20" W	80.00'
L6	S 32°11'40" E	4.09'
L7	S 57°48'20" W	139.08'
L8	S 57°36'39" W	90.22'
L9	S 56°32'24" W	83.38'
L10	S 53°20'52" W	82.58'
L11	S 49°48'03" W	87.02'
L12	S 49°48'03" W	90.00'
L13	S 49°48'03" W	89.94'
L14	S 50°10'15" W	95.08'
L15	S 08°13'12" E	146.83'
L16	N 81°46'48" E	20.00'
L17	N 08°13'12" W	135.66'
L18	N 50°10'15" E	83.97'
L19	N 49°48'03" E	90.00'
L20	N 49°48'03" E	90.00'
L21	N 49°48'03" E	86.40'
L22	N 53°20'52" E	81.40'
L23	N 56°32'24" E	82.64'

LINE TABLE		
LINE #	DIRECTION	LENGTH
L24	N 57°36'39" E	90.00'
L25	N 57°48'20" E	139.05'
L26	N 32°11'40" W	4.09'
L27	N 57°48'20" E	60.00'
L28	S 32°11'40" E	175.70'
L29	S 73°29'16" E	30.48'
L30	S 16°30'57" W	49.79'
L31	S 52°05'09" W	31.34'
L32	S 16°30'30" W	129.18'
L33	S 73°29'30" E	403.74'
L34	N 16°30'57" E	56.21'
L35	S 73°29'16" E	39.52'
L36	S 73°28'58" E	209.67'
L40	N 81°13'12" E	20.50'
L41	N 21°27'36" W	98.74'
L42	N 13°23'01" W	89.74'
L43	N 01°47'23" E	45.51'
L44	S 88°28'45" E	20.00'

CURVE TABLE					
CURVE #	RADIUS	DELTA	LENGTH	CHL	CHB
C1	950.00'	46°52'51"	777.31'	755.81'	N 17°36'40" E
C2	850.00'	3°29'54"	51.90'	51.89'	N 07°34'42" W
C3	850.00'	7°08'58"	106.06'	105.99'	N 05°45'11" W
C4	35.00'	90°05'54"	55.04'	49.54'	S 86°06'02" W
C5	35.00'	90°00'00"	54.98'	49.50'	S 03°56'54" E
C6	35.00'	90°00'00"	54.98'	49.50'	S 86°03'06" W
C7	920.00'	2°11'22"	35.15'	35.15'	S 39°57'25" W
C8	920.00'	5°43'47"	92.00'	91.96'	S 35°59'51" W
C9	920.00'	5°43'47"	92.00'	91.96'	S 30°16'04" W
C10	920.00'	5°43'47"	92.00'	91.96'	S 24°32'18" W
C11	920.00'	5°33'34"	89.27'	89.23'	S 18°53'37" W
C12	920.00'	5°43'46"	92.00'	91.96'	S 13°14'57" W
C13	920.00'	5°43'46"	92.00'	91.96'	S 07°31'11" W
C14	920.00'	5°43'46"	92.00'	91.96'	S 01°47'24" W
C15	920.00'	4°45'17"	76.34'	76.32'	S 03°27'07" E
C16	820.00'	3°29'54"	50.07'	50.06'	S 07°34'42" E
C17	880.00'	1°19'13"	20.28'	20.28'	N 08°40'03" W
C18	880.00'	5°49'45"	89.53'	89.49'	N 05°05'34" W
C19	820.00'	7°08'58"	102.32'	102.25'	N 05°45'10" W
C20	880.00'	1°42'06"	26.13'	26.13'	S 08°28'37" E
C21	35.00'	88°10'23"	53.86'	48.70'	N 51°42'45" W
C22	330.00'	9°37'05"	55.40'	55.33'	N 89°00'36" E
C23	270.00'	22°11'18"	104.56'	103.91'	S 84°34'42" E

CURVE TABLE					
CURVE #	RADIUS	DELTA	LENGTH	CHL	CHB
C24	35.00'	90°09'24"	55.07'	49.57'	N 39°14'57" E
C26	300.00'	22°20'42"	117.00'	116.26'	N 84°39'24" W
C27	980.00'	2°03'23"	35.17'	35.17'	S 04°48'04" E
C28	980.00'	5°15'43"	90.00'	89.97'	S 01°08'31" E
C29	980.00'	5°27'47"	93.44'	93.40'	S 04°13'14" W
C30	980.00'	5°15'43"	90.00'	89.97'	S 09°34'58" W
C31	980.00'	5°15'43"	90.00'	89.97'	S 14°50'41" W
C32	980.00'	5°15'43"	90.00'	89.97'	S 20°06'24" W
C33	980.00'	5°15'43"	90.00'	89.97'	S 25°22'06" W
C34	980.00'	5°15'43"	90.00'	89.97'	S 30°37'49" W
C35	980.00'	5°15'43"	90.00'	89.97'	S 35°53'32" W
C36	980.00'	2°31'43"	43.25'	43.24'	S 39°47'14" W
C37	35.00'	90°00'00"	54.98'	49.50'	N 03°56'54" W
C38	35.00'	90°00'00"	54.98'	49.50'	N 86°03'06" E
C39	35.00'	89°54'06"	54.92'	49.46'	N 03°53'58" W
C40	880.00'	7°08'58"	109.81'	109.74'	N 05°45'11" W
C41	920.00'	46°52'51"	752.77'	731.94'	N 17°36'40" E
C42	980.00'	46°52'51"	801.86'	779.68'	N 17°36'40" E
C43	150.00'	41°17'23"	108.10'	105.77'	N 52°50'22" W
C44	170.00'	41°17'23"	122.51'	119.88'	S 52°50'22" E

LEGEND
● I.P. FOUND
○ I.P. SET
⊙ PERMANENT MARKER SET
△ MAG NAIL SET

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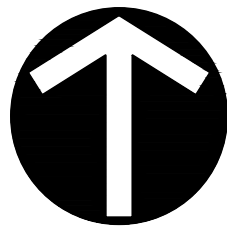
THE RESERVE AT
NEW CALIFORNIA PHASE 1
Situate In

JEROME TOWNSHIP
UNION COUNTY, OHIO

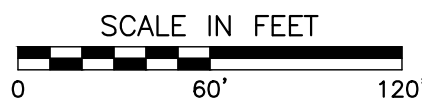
Made For
HOMECORPORATION

DATE:	AUGUST 2016	SCALE:	1"=60'	DRAWING NO.:	
DRAWN BY:	JEC	CHECKED BY:	MAS		
PROJECT NO.:	130-789	APPROVED BY:	JAM		

PLAT
SHEET 2 OF 3



SCALE IN FEET



THE RESERVE AT NEW CALIFORNIA PHASE 1

A SUBDIVISION OF ACREAGE

STATE OF OHIO, UNION COUNTY, TOWNSHIP OF JEROME,
VIRGINIA MILITARY SURVEY 1440

STANDARD DEED RESTRICTIONS FOR UNION COUNTY:

1. THERE SHALL BE NO DISCHARGE INTO ANY STREAMS OR STORM WATER OUTLETS OF ANY WASTE MATERIALS IN VIOLATION OF APPLICABLE STATE OR FEDERAL REGULATIONS.
2. NO PERMANENT STRUCTURES, PLANTING, ETC. SHALL BE PERMITTED IN EASEMENT AREAS.
3. MAINTENANCE OF DRAINAGE DITCHES SHALL BE THE RESPONSIBILITY OF THE OWNERS AFFECTED. IF ANY OWNER DAMAGES A DITCH, THAT OWNER SHALL BE RESPONSIBLE FOR THE REPAIR. REPAIRS SHALL BE MADE IMMEDIATELY.
4. NO CONSTRUCTION MAY BEGIN OR BUILDING STARTED WITHOUT THE INDIVIDUAL LOT OWNER OBTAINING ZONING, BUILDING, SEWER TAP PERMITS, AND DRIVEWAY PERMITS ARE OBTAINED FROM THE UNION COUNTY BUILDING REGULATIONS DEPARTMENT.
5. THE LOT OWNER AND HIS SUCCESSORS AND ASSIGNS AGREE TO ASSUME ANY AND ALL SANITARY SEWER AND WATER SERVICE CHARGES TO DITCH MAINTENANCE CHARGES WHICH ARE ESTABLISHED BY THE UNION COUNTY COMMISSIONERS FOR THE RESERVE AT NEW CALIFORNIA PHASE 1.

ADDITIONAL DEED RESTRICTIONS

1. TREES TO BE CLEARED IN BUILDING AREA PLUS 25' ONLY.
2. NO DIRT SHALL BE SPOILED IN THE TREED AREA. EXCESS DIRT SHALL BE DISPOSED OF OFF-SITE.
3. DEVELOPER WILL PROVIDE AREA TO DUMP EXCESS DIRT.
4. SEE DECLARATIONS, CREATING AN ESTABLISHING A PLAN FOR OWNERSHIP OF THE RESERVE AT NEW CALIFORNIA PHASE 1, O.R. _____, PG. _____, FOR ADDITIONAL DEED RESTRICTIONS.

NOTE "H": THE JEROME TOWNSHIP TRUSTEES SHALL BE RESPONSIBLE FOR MAINTENANCE OF ALL STORM SEWER PIPE AND DRAINAGE STRUCTURES WITHIN THE RESERVE AT NEW CALIFORNIA PHASE 1 PART 1, ROAD RIGHT OF WAYS.

NOTE "I": THE HOMEOWNER OF EACH LOT SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF DRAINAGE DETENTION AREAS AND DRAINAGE DITCHES WHICH ARE LOCATED ON THE RESPECTIVE HOMEOWNER'S PROPERTY. MAINTENANCE SHALL INCLUDE MOWING THE DETENTION AREAS AND DRAINAGE DITCHES, AS WELL AS KEEPING THE ACCESSIBLE OPENINGS OF ALL PIPES AND CATCH BASIN INLETS CLEAR AND FREE OF DEBRIS.

NOTE "J": UTILITY PROVIDERS: BUYERS OF THE LOTS IN THIS SUBDIVISION ARE HEREBY NOTIFIED THAT, AT THE TIME OF PLATTING, UTILITY SERVICE TO THIS SUBDIVISION FOR ELECTRIC POWER IS PROVIDED BY UNION RURAL ELECTRIC, TELEPHONE SERVICE IS PROVIDED BY FRONTIER OR TIME WARNER, AND NATURAL GAS IS PROVIDED BY COLUMBIA GAS.

NOTE "K": UTILITY EASEMENTS: WE THE UNDERSIGNED OF THE WITHIN PLATTED LAND, DO HEREBY GRANT UNTO THE CITY OF MARYSVILLE, UNION RURAL ELECTRIC, FRONTIER COMMUNICATIONS, TIME WARNER CABLE, COLUMBIA GAS, AND THEIR SUCCESSORS AND ASSIGNS (HEREINAFTER REFERRED TO AS GRANTEES) A PERMANENT RIGHT-OF-WAY AND EASEMENT A MINIMUM IF TEN (10) FEET IN WIDTH UNDER, OVER, AND THROUGH ALL SUBLOTS AND ALL LANDS OWNED BY THE GRANTOR SHOWN HEREON AND PARALLEL WITH THE CONTIGUOUS TO NEW CALIFORNIA DRIVE, MESQUITE COURT, AND JEFFREY PINE DRIVE AND ALSO UPON LAND AS DEPICTED HEREON TO CONSTRUCT, PLACE, OPERATE, MAINTAIN, REPAIR, RECONSTRUCT OR RELOCATE SUCH UNDERGROUND ELECTRIC, WATERLINES, SEWER LINES, GAS, AND COMMUNICATION CABLE, DUCTS, CONDUITS, PIPES, GAS PIPE LINES, SURFACE OR BELOW GROUND MOUNTED TRANSFORMERS AND PEDESTALS, CONCRETE PADS AND OTHER FACILITIES AS DEEMED NECESSARY OR CONVENIENT BY THE GRANTEES FOR DISTRIBUTING, TRANSPORTING, AND TRANSMITTING ELECTRICITY, GAS, AND COMMUNICATION SIGNALS FOR PUBLIC AND PRIVATE USE AT SUCH LOCATIONS AS THE GRANTEES MAY DETERMINE UPON, WITHIN, AND ACROSS SAID EASEMENTS PREMISES. SAID EASEMENTS RIGHTS SHALL INCLUDE THE RIGHT, WITHOUT LIABILITY THEREFORE TO REMOVE TREES AND LANDSCAPING, INCLUDING LAWNS WITHIN AND WITHOUT SAID EASEMENT PREMISES WHICH MAY INTERFERE WITH THE INSTALLATION AND MAINTENANCE, RIGHT TO INSTALL, REPAIR, AUGMENT, AND MAINTAIN SERVICE CABLES, AND PIPE LINES OUTSIDE THE ABOVE DESCRIBED EASEMENT PREMISES OR THE RIGHT OF ACCESS, INGRESS AND EGRESS TO AND FROM ANY OF THE WITHIN DESCRIBED PREMISES FOR EXERCISING ANY OF THE PURPOSES OF THIS RIGHT-OF-WAY AND EASEMENT GRANT.

NOTE "L": DRAINAGE EASEMENT: WE THE UNDERSIGNED OWNERS OF THE PLATTED LAND, DO HERE BY GRANT UNTO UNION COUNTY AND THEIR SUCCESSORS AND ASSIGNS (HEREINAFTER REFERRED TO AS GRANTEES), A PERMANENT EASEMENT WITHIN AREAS DESIGNATED "DRAINAGE EASEMENT", "UTILITY EASEMENT" AND "DRAINAGE AND UTILITY EASEMENT" TO CONSTRUCT, OPERATE, MAINTAIN, REPAIR, RECONSTRUCT OR RELOCATE DRAINAGE FACILITIES SUCH AS STORM SEWERS, DRAINAGE SWALES OR COURSES AND OTHER FACILITIES AS DEEMED NECESSARY OR CONVENIENT BY THE GRANTEES FOR DRAINAGE REQUIRED FOR PUBLIC OR PRIVATE USE AT SUCH LOCATIONS AS THE GRANTEES MAY DETERMINE UPON, WITHIN, AND ACROSS SAID EASEMENT PREMISES. SAID EASEMENT RIGHTS SHALL INCLUDE THE RIGHT, WITHOUT LIABILITY THEREFORE TO REMOVE TREES AND LANDSCAPING, INCLUDING LAWNS OR ANY OTHER STRUCTURE WITHIN SAID EASEMENT PREMISES WHICH MAY INTERFERE WITH THE INSTALLATION AND MAINTENANCE OF DRAINAGE FACILITIES.

LEGEND

- I.P. FOUND
- I.P. SET
- ⊙ PERMANENT MARKER SET
- △ MAG NAIL SET



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THE RESERVE AT
NEW CALIFORNIA PHASE 1

Situate In

JEROME TOWNSHIP
UNION COUNTY, OHIO

Made For

HOMWOOD CORPORATION

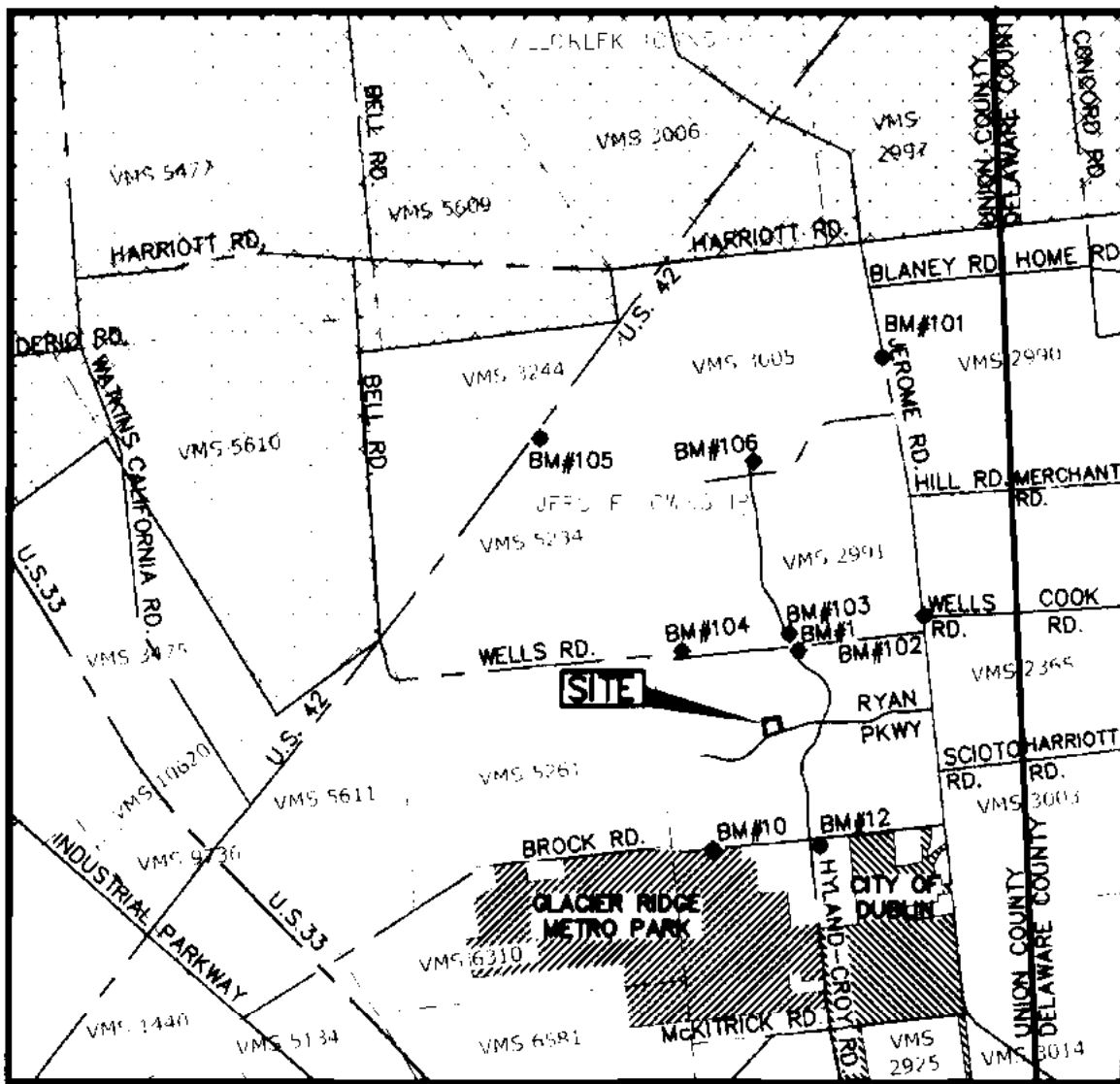
DATE: **AUGUST 2016** SCALE: **1"=60'** DRAWING NO.:
DRAWN BY: **JEC** CHECKED BY: **MAS** **PLAT**
PROJECT NO: **130-789** APPROVED BY: **JAM** SHEET **3** OF **3**

LINE TABLE		
LINE #	DIRECTION	LENGTH
L1	N 73°29'03" W	205.65'
L2	N 16°30'57" E	10.01'
L3	N 73°29'16" W	90.00'
L4	N 32°11'40" W	195.70'
L5	S 57°48'20" W	80.00'
L6	S 32°11'40" E	4.09'
L7	S 57°48'20" W	139.08'
L8	S 57°36'39" W	90.22'
L9	S 56°32'24" W	83.38'
L10	S 53°20'52" W	82.58'
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LINE TABLE		
LINE #	DIRECTION	LENGTH
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L25	N 57°48'20" E	139.05'
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L41	N 21°27'36" W	98.74'
L42	N 13°23'01" W	89.74'
L43	N 01°47'23" E	45.51'
L44	S 86°26'45" E	20.00'

CURVE TABLE					
CURVE #	RADIUS	DELTA	LENGTH	CHL	CHB
C1	950.00'	46°52'51"	777.31'	755.81'	N 17°36'40" E
C2	850.00'	3°29'54"	51.90'	51.89'	N 07°34'42" W
C3	850.00'	7°08'58"	106.06'	105.99'	N 05°45'11" W
C4	35.00'	90°05'54"	55.04'	49.54'	S 86°06'02" W
C5	35.00'	90°00'00"	54.98'	49.50'	S 03°56'54" E
C6	35.00'	90°00'00"	54.98'	49.50'	S 86°03'06" W
C7	920.00'	2°11'22"	35.15'	35.15'	S 39°57'25" W
C8	920.00'	5°43'47"	92.00'	91.96'	S 35°59'51" W
C9	920.00'	5°43'47"	92.00'	91.96'	S 30°16'04" W
C10	920.00'	5°43'47"	92.00'	91.96'	S 24°32'18" W
C11	920.00'	5°33'34"	89.27'	89.23'	S 18°53'37" W
C12	920.00'	5°43'46"	92.00'	91.96'	S 13°14'57" W
C13	920.00'	5°43'46"	92.00'	91.96'	S 07°31'11" W
C14	920.00'	5°43'46"	92.00'	91.96'	S 01°47'24" W
C15	920.00'	4°45'17"	76.34'	76.32'	S 03°27'07" E
C16	820.00'	3°29'54"	50.07'	50.06'	S 07°34'42" E
C17	880.00'	1°19'13"	20.28'	20.28'	N 08°40'03" W
C18	880.00'	5°49'45"	89.53'	89.49'	N 05°05'34" W
C19	820.00'	7°08'58"	102.32'	102.25'	N 05°45'10" W
C20	880.00'	1°42'06"	26.13'	26.13'	S 08°28'37" E
C21	35.00'	88°10'23"	53.86'	48.70'	N 51°42'45" W
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CURVE TABLE					
CURVE #	RADIUS	DELTA	LENGTH	CHL	CHB
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C27	980.00'	2°03'23"	35.17'	35.17'	S 04°48'04" E
C28	980.00'	5°15'43"	90.00'	89.97'	S 01°08'31" E
C29	980.00'	5°27'47"	93.44'	93.40'	S 04°13'14" W
C30	980.00'	5°15'43"	90.00'	89.97'	S 09°34'58" W
C31	980.00'	5°15'43"	90.00'	89.97'	S 14°50'41" W
C32	980.00'	5°15'43"	90.00'	89.97'	S 20°06'24" W
C33	980.00'	5°15'43"	90.00'	89.97'	S 25°22'06" W
C34	980.00'	5°15'43"	90.00'	89.97'	S 30°37'49" W
C35	980.00'	5°15'43"	90.00'	89.97'	S 35°53'32" W
C36	980.00'	2°31'43"	43.25'	43.24'	S 39°47'14" W
C37	35.00'	90°00'00"	54.98'	49.50'	N 03°56'54" W
C38	35.00'	90°00'00"	54.98'	49.50'	N 86°03'06" E
C39	35.00'	89°54'06"	54.92'	49.46'	N 03°53'58" W
C40	880.00'	7°08'58"	109.81'	109.74'	N 05°45'11" W
C41	920.00'	46°52'51"	752.77'	731.94'	N 17°36'40" E
C42	980.00'	46°52'51"	801.86'	779.68'	N 17°36'40" E
C43	150.00'	41°17'23"	108.10'	105.77'	N 52°50'22" W
C44	170.00'	41°17'23"	122.51'	119.88'	S 52°50'22" E



LOCATION MAP

THE COURTYARDS AT JEROME VILLAGE, PHASE 1 IS SUBJECT TO JEROME VILLAGE MASTER DEED DECLARATION AND RESTRICTIONS AS RECORDED IN VOLUME 907 PAGES 572, UNION COUNTY RECORDER'S OFFICE, AS AMENDED, THE RESIDENTIAL PROPERTY OWNERS ASSOCIATION DEED DECLARATION, RESTRICTIONS AND BYLAWS AS RECORDED IN VOLUME 911, PAGE 922, UNION COUNTY RECORDER'S OFFICE AND THE DECLARATION OF COVENANTS, RESTRICTIONS AND AGREEMENTS FOR JVCA RECORDED IN VOLUME 859 PAGE 275, UNION COUNTY RECORDER'S OFFICE.

STANDARD DEED RESTRICTIONS FOR UNION COUNTY

Residential and Commercial

- There shall be no discharge in to any streams or storm water outlets of any waste materials in violation of applicable local, state, or federal regulations.
- Grading of the storm water retention areas shall not be changed.
- The lot owner and his successors and assigns agree to assume any and all maintenance charges which are established by the Union County Commissioners for this subdivision.
- No construction may begin or building started without the individual lot owner obtaining zoning, building, water & sewer tap, and driveway permits. Zoning permits are to be obtained from the Township Zoning Inspector. Building permits are obtained from the Union County Building Regulation Department and driveway permits are obtained from the Union County Engineer's Office. Water & sewer tap permits are obtained from the applicable service provider.
- The lot owner and his successors and assigns agree to assume any and all sanitary sewer and water service charges which are established by the applicable provider.
- All construction shall meet the requirements of the Township, Union County, and other applicable code authorities.

Residential Only

- Downspout drains shall not be connected directly to roadway underdrains.

Miscellaneous Restrictions/Notes

- This subdivision is located adjacent to lands which may be used for agricultural farming purposes. Lot owners can expect noise from farm machinery, dust from farming operations, the application of chemicals to the soil and crops, odors and noise from livestock, and other typical farming nuisances. Owners can expect farming operations to happen day or night. You can expect hunting on agricultural land. Do not expect to use agricultural lands for your purposes without first getting permission from the land owner. Do not allow your children to play on agricultural lands. Do not discard clippings and trimmings from lawns, trees, bushes, plants, etc. or other wastes that you may generate on agricultural land. Dispose of all wastes appropriately. Additionally, there may be existing ditches, surface swales or underground ditches that drain water from adjacent land on to or through your property. You have a legal responsibility to allow the reasonable flow of water on to or through your property from upground properties. You also have a legal responsibility to maintain and repair any ditches, surface swales or underground ditches on your property.
- Parking: Union County may restrict or eliminate on-street parking along the side of the pavement within Silverbell Drive, Moreland Way, Cleander Way, Calla Lily Way, Elderberry Drive, Spindle Lane and Spicebush Drive. The owners of the fee simple titles to all of the lots in The Courtyards at Jerome Village Subdivision, their heirs, successors and assigns, hereby waive any and all objections to said parking restriction or elimination.
- Utility Providers: Buyers of the lots in this subdivision are hereby notified that, at the time of platting, utility service to this subdivision for electric power is provided by Union Rural Electric, telephone service is provided by Frontier Communications or Time Warner, and natural gas is provided by Columbia Gas.

Jerome Village Blanket Restrictions

- No individual driveways permitted on: Home Road, Jerome Road, Hyland-Croy Road, Ewing Road, US 42, Seely Road, James Road, Joshua Road, Ravenhill Parkway, Wells Road, Ryan Parkway, Brock Road.
- Driveways for individual lots, whether commercial, residential, or other, shall not be permitted on major or minor collector roads. All driveways shall connect to local roads within a sub area.
- All new local road connections are subject to stopping sight distance and intersection sight distance requirements.
- All restrictions are minimum requirements. If conflict arises between access restrictions and an intersection improvement (i.e., turn lane tapers, roundabout tapers, etc.), the intersection improvement shall govern and access restrictions shall be adjusted accordingly. The County Engineer shall have final say on all relocated access locations.
- If conflict arises between the access restrictions and Union County access management standards, the County Engineer shall determine which standard is to be applied.
- No on-street parking permitted on Hyland-Croy, Jerome, Ryan, Seely, Wells, Brock, Ravenhill, Ewing, Joshua, or Home Road.
- No on-street parking within The Courtyards at Jerome Village.
- Open spaces, whether existing or created during platting of a pod, or during development of a commercial, residential, or other type of lot, shall be connected as much as possible to the open space dedicated along Hyland-Croy Road. Connections shall be directly adjacent to the open space along Hyland-Croy Road or, if the open spaces do not have adjacent property lines, connection shall be made through contiguous open space, where possible.
- Future local road locations are subject to approval by the Union County Engineer. Final location and design shall be submitted to and approved by the County Engineer prior to platting of lots, groups of lots, or pods.

Utility Easements

We the undersigned owners of the within platted land, do hereby grant unto the Eversole Run Sewer District, City of Marysville, Columbia Gas, Union Rural Electric (Electric), Frontier Communications, (Telecommunications), Time Warner Cable (Telecommunications), and their successors and assigns (hereinafter referred to as grantees) a permanent private right-of-way and easement as shown on plat under, over, and through all sublots and all lands owned by the grantor shown hereon and contiguous to Silverbell Drive, Moreland Way, Cleander Way, Calla Lily Way, Elderberry Drive, Spindle Lane and Spicebush Drive and also upon land as depicted hereon to construct, place, operate, maintain, repair, reconstruct or relocate such waterlines, sewer lines, underground electric, gas and communication cable, ducts, conduits, pipes, gas pipe lines, surface or below ground mounted transformers and pedestals, concrete pads and other facilities as deemed necessary or convenient by the grantees for distributing, transporting, and transmitting electricity, gas and communication signals for public and private use at such locations as the grantees may determine upon, within, and across said easement premises. No permanent structures, plantings, etc. shall be permitted in the easement areas. Said easement rights shall include the right, without liability therefore to remove trees and landscaping, including lawns within and without said easement premises which may interfere with the installation and maintenance, right to install, repair, augment, and maintain service cables, and pipe lines outside the above described easement premises or the right of access, ingress and egress to and from any of the within described premises for exercising any of the purposes of this right-of-way and easement grant.

Drainage Easements

We the undersigned owners of the platted land, do hereby grant unto Union County and their successors and assigns (hereinafter referred to as grantees), a permanent easement within areas designated "Private Right-of-way", "Drainage Easement", "Utility Easement" and "Drainage and Utility Easement" to construct, operate, maintain, repair, reconstruct or relocate drainage facilities such as storm sewers, drainage swales or courses and other facilities as deemed necessary or convenient by the grantees for drainage required for public and private use at such locations as the grantees may determine upon, within, and across said easement premises. No permanent structures, plantings, etc. shall be permitted in the easement areas. Said easement rights shall include the right, without liability therefore to remove trees and landscaping, including lawns or any other structure within said easement premises which may interfere with the installation and maintenance of drainage facilities.

Waterline Easements

We the undersigned owners of the platted land, do hereby grant unto City of Marysville and their successors and assigns (hereinafter referred to as grantees), a permanent easement within areas designated "Waterline Easement" to construct, operate, maintain, repair, reconstruct or relocate water service facilities as deemed necessary or convenient by the grantees for public and private use at such locations as the grantees may determine upon, within, and across said easement premises. No permanent structures, plantings, etc. shall be permitted in the easement areas. Said easement rights shall include the right, without liability therefore to remove trees and landscaping, including lawns or any other structure within said easement premises which may interfere with the installation and maintenance of facilities.

OWNERSHIP

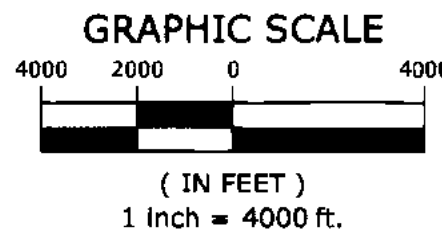
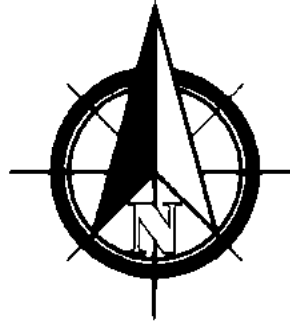
Roadways, waterlines, storm sewer and dedicated open space is to be privately owned and maintained by The Courtyards at Jerome Village Homeowners association. Union County and Jerome Township have no responsibility to maintain any improvements constructed within.

Sanitary Sewer, Gas lines, Electric and Telecommunications are owned and maintained by the respective service providers and are installed within easements for access and maintenance as described in "Utility Easements"

THE COURTYARDS AT JEROME VILLAGE, PHASE 1

BEING PART OF VIRGINIA MILITARY SURVEY (VMS) 2991 JEROME TOWNSHIP, UNION COUNTY, OHIO

Situated in State of Ohio, County of Union, Jerome Township, Virginia Military Survey No. 2991 and being 3.214 acres of land located in that 9.720 acre tract of land as described in a deed to Epcon Jerome, LLC, of record in Instrument #201606160004622, all references here in located in the Recorder's Office, Union County, Ohio.



SHEET INDEX

Sheet 1 - Title/Signature Sheet
Sheet 2 - Detail Sheet

BASIS OF BEARINGS

The bearings shown hereon are based on the Ohio State Plane System (North Zone) as established by GPS observations.

Area Summary

Right-of-Way (PRIVATE)	0.802	AC
Lots	0.890	AC
Openspace	1.522	AC
Total	3.214	AC

Lot Summary

Single Unit	7
-------------	---

Density

Gross	(Lots/Total Area)	2.178 du/ac
Net	(Lots/Lot Area)	7.865 du/ac

Minimum Lot Size

Single Unit	4,800	SF
-------------	-------	----

Setbacks

Single Unit	
Front Yard	Varies (As noted)
Rear Yard	5 FT
Side Yard	5 FT

PARCEL BREAKDOWN

Parcel Number	Map/GIS Number	Acreages of Parcel
17-0012033.2620	126-00-00-064.004	3.214 AC.

Jerome Village Blanket Notes

- Note A: All of Jerome Village is in the flood hazard zone X (areas outside the 500-year flood plain) on the Federal Emergency Management Agency Flood Insurance Rate Maps, Map Number 39159C0390D, effective date December 16, 2008.
- Note B: Be advised; a subsurface drainage system may exist on this site. The system and/or outlet if located on this property must be maintained at all times.
- Note C: All storm water drainage including flood routing, open ditches and basins which accept public storm water, will be a part of the Union County ditch maintenance program. Each subarea will file a separate ditch maintenance petition. Only areas outside of the right-of-way will be a part of the County Ditch Maintenance Program.
- Note D: All dead, diseased, noxious or decayed trees or vegetation, log jams, etc. shall be removed from streams that will be a part of the Union County ditch maintenance program.
- Note E: All easements and setbacks for stream maintenance shall be reviewed by Union County Soil & Water Conservation District for access to said streams prior to acceptance.
- Note F: Removed (not applicable)
- Note G: Existing and proposed trees are allowed within right-of-way if roadway is curbed and posted speed is 35 mph or less. County Engineer to review on case by case basis for all other conditions.
- Note H: Vegetated swales, including rain gardens & bio-swales, are to be graded within median of road right-of-way to provide required drainage. Ponding depths within median are not to exceed 8" and are to drain within 36 hours. No permanent pools will be allowed within road right-of-way.
- Note I: Removed (not applicable)
- Note J: Mounding, landscaping, or guardrail may be required between stormwater retention/detention facilities and road right-of-way, if the edge of water is within 100' of the edge of pavement.

Variances

- Variance from the Union County Subdivision Regulations, Section 406, minimum right-of-way widths to allow a 50' right-of-way width for all local street classifications within Jerome Village. Resolution #306-08. Dated 6-11-09.
- Variance to deviate from Union County Subdivision Regulations, Article 4, Section 408.3 - Permanent Dead End Streets and 408.7 - Temporary Turnaround and allow dead end streets and eliminating the need for the turnaround beyond 200'. Resolution #16-091. Dated 3-10-16.
- Variance to deviate from the Union County Subdivision Regulations, Article 4, Section 412 - Blocks. Allowing a block length of less than 500 feet. Resolution #16-092. Dated 3-10-16.
- Variance to deviate from the Union County Technical Design Standards, Article 1, Section 101 - Street Design, Part i - pavement width to deviate from the 28' curb section and install a 26' curb section for all the private streets within The Courtyards at Jerome Village, (aka GPN-5 development). Resolution #16-093. Dated 3-10-16.
- Variance to deviate from Union County Technical Design Standards, Article 1, Section 101 - Horizontal Alignment reduced minimum radii to 100' and Article 2, Section 202 - Rigid Pavement Design to remove 4" drainage layer. Accepted 7-7-16.

SURVEYOR CERTIFICATION:

American Land Surveyors do hereby certify the following:

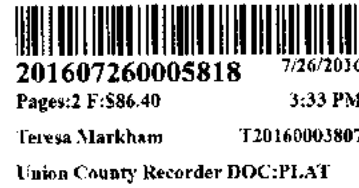
- The accompanying plat represents a subdivision of land in VMS 2991, Jerome Township, Union County, Ohio.
- The tract has an area of 0.802 acres in streets, 0.890 acres in lots, and 1.522 acres in Reserves making a total of 3.214 acres.
- This plat was prepared based on a field survey performed in August, 2015 by American Land Surveyors, LLC.
- All dimensions are shown in feet and decimal parts thereof. dimensions shown along curved lines are chord distances;
- This property is located in Zone X per F.E.M.A. Community Panel No. 39159C0390D dated December 16, 2008.
- Monumentation set at the locations shown hereon consist of a 5/8" inch steel reinforcing rod, 30 inches in length affixed with an orange plastic cap bearing the inscription "Jon B. Adcock, S-8461".
- The accompanying plat is a correct representation of The Courtyards at Jerome Village, Phase 1 as surveyed.

Signed and sealed this 13th day of July, 2016.

Jon (Brett) Adcock
Jon (Brett) Adcock, Registered Professional Surveyor No. 8461

DEVELOPER:
Epcon Jerome, LLC.
500 Stonehenge Parkway
Dublin, Ohio 43017
Attention: Todd Pomorski

SURVEYOR:
American Land Surveyors
1346 Hemlock Court N.E.
Lancaster, Ohio 43130
Attention: Jon (Brett) Adcock, P.S.



LUC. R.P.C. FILE # _____

Know all men by these presents that Epcon Jerome, LLC, owner of the land indicated on the accompanying plat, have authorized the platting thereof and do hereby dedicate all right-of-way and easements shown hereon to the public use forever.

In witness thereof, the following have set their hand this 14th day of July, 2016.

Epcon Jerome, LLC:

By: *Joel D Rhodes*
Joel D Rhodes, Vice President

Signed and acknowledged in the presence of:

Signature: *Walter A. Bueckle* Witness

Printed Name: *Walter A. Bueckle*

Signature: *Marguerite A. White* Witness

Printed Name: *Marguerite A. White*

STATE OF OHIO

COUNTY OF UNION

Before me, a Notary Public in and for said County, personally appeared Joel D. Rhodes, Vice President and Operating Officer of Epcon Jerome, LLC, who acknowledged the signing of the foregoing instrument to be his voluntary act and deed for the uses and purposes therein expressed.

In witness thereof, I have hereunto set my hand and affixed my official seal this 14th day of July, 2016.

Signature: *Debra A Wang* My commission expires: 4/7/20
Notary Public



Reviewed this 12th day of July, 2016: *[Signature]* Chairman, Jerome Township Trustees

Approved this 25th day of July, 2016: *[Signature]* Union County Engineer

Approved this 14th day of July, 2016: *[Signature]* County Health Department

Approved this 14th day of July, 2016: *[Signature]* LUC Regional Planning Commission

Approved this 26th day of July, 2016: *[Signature]* Union County Commissioner

[Signature] Union County Commissioner

Transferred this 26th day of July, 2016: *[Signature]* Union County Auditor

Filed for record this 26th day of July, 2016, at 3:33 am @m

Recorded this 26th day of July, 2016 at 3:33 am @m in

Plat Book 5, Page 387 AB *[Signature]* Union County Recorder

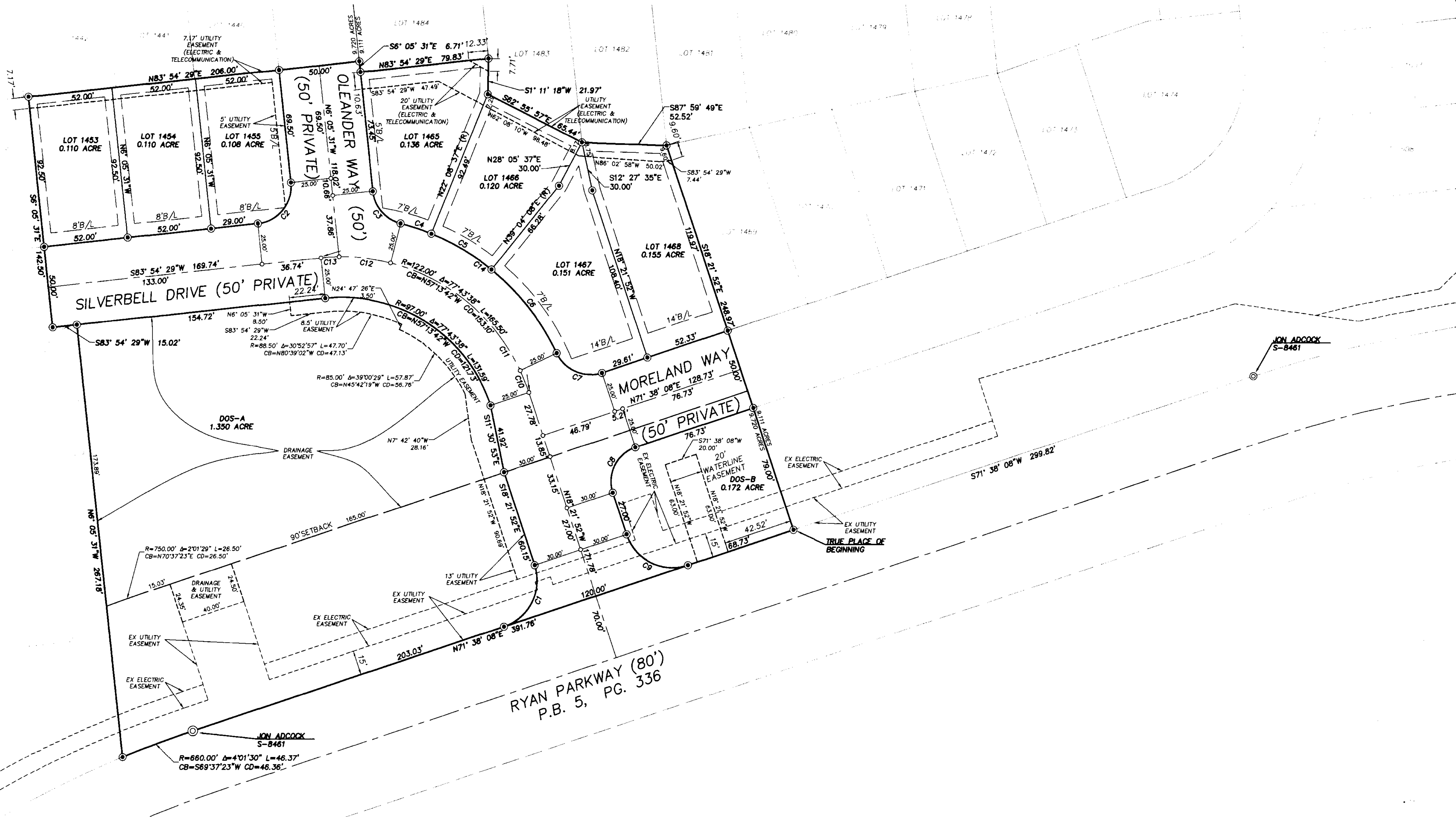
Plat Bk. 5 Pg. 387 AB Slide 191

1346 Hemlock Court N.E.
Lancaster, OH 43130
Contact: Brett Adcock
(740) 654-0600 - Lancaster
(614) 837-0800 - Columbus
(740) 455-2200 - Zanesville
(740) 670-0800 - Newark
Fax: (740) 654-0604
www.americanlandsurveyors.com

ALS AMERICAN LAND SURVEYORS

Focused on Excellence

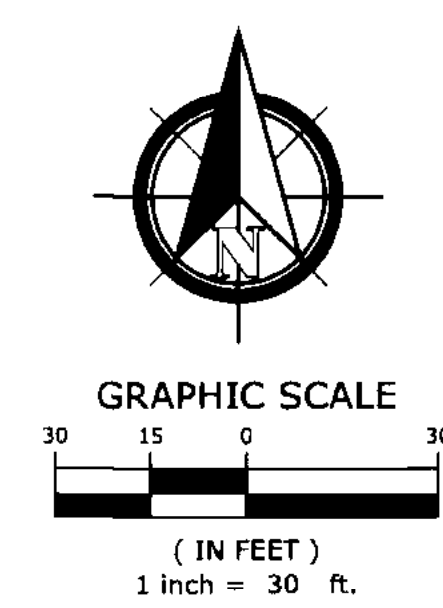
FIELD	DRAFT	CHECK
JBA	CMK	JBA
JOB NO.:	15-025	
DATE:	MAY, 2016	
SCALE:	N/A	



Right of Way Curve Table

Curve #	Radius	Delta	Length	Chord Direction	Chord Length
C1	30.00'	90° 00' 00"	47.12'	N26° 38' 08"E	42.43'
C2	23.00'	90° 00' 00"	36.13'	N38° 54' 29"E	32.53'
C3	23.00'	69° 36' 00"	27.94'	S40° 53' 31"E	26.25'
C4	147.00'	7° 50' 07"	20.10'	N71° 46' 27"W	20.09'
C5	147.00'	16° 55' 31"	43.42'	N59° 23' 38"W	43.27'
C6	147.00'	25° 44' 04"	66.03'	N38° 03' 50"W	65.47'
C7	23.00'	83° 10' 04"	33.39'	S66° 46' 50"E	30.53'
C8	22.00'	90° 00' 00"	34.56'	S26° 38' 08"W	31.11'
C9	30.00'	90° 00' 00"	47.12'	S63° 21' 52"E	42.43'
C10	122.00'	6° 49' 56"	14.55'	N21° 46' 50"W	14.54'
C11	122.00'	50° 29' 42"	107.52'	N50° 26' 39"W	104.07'
C12	122.00'	15° 06' 20"	32.16'	N83° 14' 40"W	32.07'
C13	122.00'	5° 17' 40"	11.27'	S86° 33' 19"W	11.27'
C14	147.00'	50° 29' 42"	129.55'	N50° 26' 39"W	125.40'

- LEGEND:**
- IRON PIN SET - 5/8" X 30" REBAR WITH PLASTIC CAP INSCRIBED "JON ADCOCK S-8461"
 - IRON PIPE FOUND AS NOTED
 - IRON PIN FOUND AS NOTED
 - (R) RADIAL LINE



1346 Hemlock Court N.E.
Lancaster, OH 43130
Contact: Brett Adcock
(740) 654-0600 - Lancaster
(614) 837-0800 - Columbus
(740) 455-2200 - Zanesville
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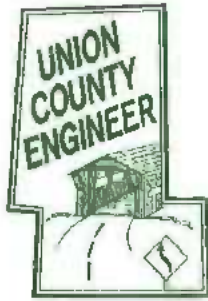
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Basis of Bearings:
The bearings shown hereon are based on GPS observations in conjunction with the Ohio Department of Transportation VRS Network, being NAD 1983 Horizontal Datum.

Citation of permanent documents:
Official Record 669, Page 653

FIELD	DRAFT	CHECK
JBA	CMK	JBA
JOB NO.: 15-026		
DATE: MAY, 2016		
SCALE: 1"=30'		



County Engineer
Environmental Engineer
Building Department
233 W. Sixth Street
Marysville, Ohio 43040
P 937. 645. 3018
F 937. 645. 3161
www.co.union.oh.us/engineer

Marysville Operations Facility
16400 County Home Road
Marysville, Ohio 43040
P 937. 645. 3017
F 937. 645. 3111

Richwood Outpost
190 Beatty Avenue
Richwood, Ohio 43344

September 1, 2016

Public Service with integrity

Bradley Bodenmiller
LUC Regional Planning Commission
Box 219
East Liberty, Ohio 43319

Re: Final Plat Review
The Reserve at New California Phase 1

Bradley,

We have completed our review for the above final plat, received by our office on August 22, 2016. The construction drawings have been approved by our office. Construction work has commenced at the site, but has not yet been completed, so we have required a performance bond for the cost of the remaining subdivision improvements. That surety has been received and is currently under review by our Prosecutor's Office. In addition, we have the following comments:

1. Revise the dedication note under the signature lines to read, *"Rights-of-way for public streets and roads herein dedicated to public use are hereby approved this ____ day of ____, 20__ for the County of Union, State of Ohio. Street improvements within said dedicated rights-of-way shall not be accepted for public use unless and until construction is completed and accepted as such by Union County. In addition, street improvements within said dedicated rights-of-way shall not be accepted for public maintenance until the maintenance period transpires and the street improvements are accepted for public maintenance by Union County."*
2. Move the development summary information to the first sheet. In addition, include gross density (lot area/total area), net lot density (lots/lot area) and setback information.
3. Show the existing right of way on Industrial Parkway, and any other existing easements.
4. Remove Note "I" on sheet 3.
5. In Note "L" replace the word "remove" with "replace" in the last sentence.

Due to the outstanding comments, we do not feel comfortable issuing an endorsement of approval at this time. However, due to the nature of the comments, we feel that they can be addressed by the September 6th Zoning and Subdivision Committee meeting. If you have any questions or concerns, feel free to contact me at (937) 645-3165.

Jeff Stauch, PE/PS
County Engineer | Environmental Engineer

Mary A. Sampsel, PE
Assistant County Engineer | Chief Building Official

Sincerely,



Bill Narducci, P.E.
Engineering Manager
Union County Engineer

Cc: Luke Sutton, Union County Engineer's Office (via email)
Jeremy Burrey, Union SWCD (via email)

County Engineer
Environmental Engineer
Building Department

233 W. Sixth Street
Atarville, Ohio 43040

P 937. 645. 3018
F 937. 645. 3161
www.co.union.oh.us/engineer



Engineering, Planning and Zoning
City Hall, 209 South Main Street
Marysville, Ohio 43040-1641
(937) 645-7350
FAX (937) 645-7351
www.marysvilleohio.org

September 1, 2016

Bradley J. Bodenmiller
LUC Regional Planning Commission
9676 East Foundry
East Liberty, OH 43319

**Subject: The Reserve at New California – Phase 1
Final Plat – Comment Letter #1**

The City of Marysville has reviewed the proposed water and wastewater systems for The Reserve at New California, Phase 1, and recommends approving the Final Plat upon addressing the following comments.

General:

1. Please modify the annotation arrows for the twenty (20) foot wide utility easement on the south side of New California Drive. It appears the arrows are referencing the building setback line and not the utility easement.
2. Please provide additional utility easement along Lot 27. Due to the depth of the sanitary sewer, the minimum utility easement offset shall be fifteen (15) feet.
3. Please show the existing easement for the wastewater infrastructure along Industrial Parkway.

Please contact us if you need additional clarification or wish to discuss these comments further.

Sincerely,

Kyle Hoyng, P.E.
Utility Engineer

cc: Jeremy Hoyt, P.E. (City of Marysville)
Mike Andrako, P.E. (City of Marysville)
Scott Sheppard (City of Marysville)
Rich Felton (City of Marysville)



Jerome Township
Union County, Ohio

9777 Industrial Parkway
Plain City, Ohio 43064
Office (614) 873-4480
Fax (614) 873-8664

Jerome Township Zoning Office

August 31, 2016

Bradley J. Bodenmiller
LUC Regional Planning Commission
9676 E. Foundry
East Liberty, Ohio 43319

RE: Plats – Reserve at New California – Final Plat, Section 1

Dear Brad,

I have reviewed the Final Plat for Section 1 of the Reserve at New California as referenced above and it appears as if the Final Plat as submitted is consistent with the zoning as approved by the trustees with the exception of one small item. It appears that the acreage for the area listed as "Open Space A", at 0.396 Acres, is smaller than what was listed (.67 Acres) for that same open space on both the Preliminary Plat and the approved zoning modification. This would result in a .274 Acre reduction in the amount of open space approved as part of the Final Development Plan submitted to the township. However, when looking at the drawings it does appear that the open space did not actually change in dimension, but was probably mislabeled on either the original submittal or the current Final Development Plan and should be clarified by the applicant. However, it does not appear as if the applicant has intentionally reduced the open space, and this change is small enough that the township would consider it an "engineering and surveying" related change and not a substantive change to the zoning. Since I can find no other concerns with the Final Plat as filed I can see no reason from the townships perspective that the application should be denied.

As always, my review is limited to the zoning related items only and the township defers to the expertise of the Union County Engineers office in regards to all traffic and engineering related items.

Respectfully,

Gary Smith, RLA/CLARB
Jerome Township Zoning Officer

Brad Bodenmiller

From: Smith, Mark <msmith@cecinc.com>
Sent: Wednesday, August 31, 2016 1:10 PM
To: Brad Bodenmiller; bnarducci@co.union.oh.us; Reeves, Michael
Cc: Jim Lipnos; Burkhardt, Brian
Subject: RE: The Reserve at New California Phase 1 Final Plat

Follow Up Flag: Flag for follow up
Flag Status: Completed

Brad

The label of 0.67 acres shown on the Preliminary Plat is incorrect and should be the 0.396 acres as shown on the subdivision plat submitted for review.

I apologize for the error and any confusion.

Mark A. Smith P.S. / Project Manager

Civil & Environmental Consultants, Inc.
250 Old Wilson Bridge Road Suite 250 · Worthington, Oh 43085
Toll-Free: (888) 598-6808 · Direct (614) 545-1269 · Fax: (614) 540-6638
Mobile: (614) 493-8392 · <http://www.cecinc.com>

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-----Original Message-----

From: Brad Bodenmiller [mailto:bradbodenmiller@lucplanning.com]
Sent: Wednesday, August 31, 2016 12:52 PM
To: bnarducci@co.union.oh.us; Reeves, Michael; Smith, Mark
Cc: Jim Lipnos
Subject: Fw: The Reserve at New California Phase 1 Final Plat

Can you folks speak to Gary Smith's concern regarding the open space acreage? Was there a reduction in the space?

Bradley J. Bodenmiller
Planner II | LUC Regional Planning Commission P.O. Box 219 | 9676 E. Foundry | East Liberty, Ohio 43319
P: (937) 666-3431 | F: (937) 666-6203
www.lucplanning.com | Find us on Facebook!

From: Jerome Township Zoning Inspector <jeromeinspect@aol.com>
Sent: Wednesday, August 31, 2016 11:30:08 AM
To: Brad Bodenmiller
Subject: Re: The Reserve at New California Phase 1 Final Plat

Brad,

Please find attached my review for the Final Plat of Section 1 - New California Reserve. I did find one small discrepancy which is outlined in the letter but I don't believe it is a cause for denial from the townships perspective. Please feel free to call me if you have any questions...

Kind Regards,

Gary Smith, RLA | CLARB

Planning and Zoning Office
Jerome Township, Ohio
9777 Industrial Parkway
Plain City, Ohio
43064

Ph: 614.873.4480
www.jerometownship.com

-----Original Message-----

From: Brad Bodenmiller <bradbodenmiller@lucplanning.com>
To: Bill Narducci <bnarducci@co.union.oh.us>; Letitia Rayl <lrayl@co.union.oh.us>; Aaron Smith <asmith.uswcd@gmail.com>; Jim Cogar (jim.cogar@uchd.net) <jim.cogar@uchd.net>; Jeremy Hoyt <jhoyt@marysvilleohio.org>; jerometownship <jerometownship@aol.com>; jeromezclerk <jeromezclerk@aol.com>; Gary Smith (jeromeinspect@aol.com) <jeromeinspect@aol.com>; Thomas Slack <Thomas.Slack@dot.ohio.gov>; Kevin Gregory <k.gregory@ure.com>; Ronald Rockenbaugh <r.rockenbaugh@ure.com>; Benjamin Vollrath <benjamin.vollrath@aes.com>
Cc: Luke Sutton <lsutton@co.union.oh.us>; Jeremy Burrey <jburrey.uswcd@gmail.com>; Kyle Hoyng <khoyng@marysvilleohio.org>; Hurst, Andrew <Andrew.Hurst@dot.state.oh.us>; Dave Gulden <davegulden@lucplanning.com>; Reeves, Michael <mreeves@cecinc.com>; msmith <msmith@cecinc.com>; Jim Lipnoski <jlipnos@homewoodcorp.com>
Sent: Tue, Aug 30, 2016 9:06 am
Subject: The Reserve at New California Phase 1 Final Plat

All,

This email is a reminder for reviewing agencies and a notice of meeting change for reviewing agencies and applicants/owners.

Reminder:

Reviewing agencies, please have any comments regarding The Reserve at New California Phase 1 Final Plat by end of the day this Thursday, September 1.

Meeting change:

The Zoning & Subdivision Committee meeting was rescheduled for Tuesday, September 6, 2016, at 1:30 PM...

The Executive Committee meeting will still be held Thursday, September 8, 2016, at 1:15 PM.

Bradley J. Bodenmiller

Planner II | LUC Regional Planning Commission P.O. Box 219 | 9676 E. Foundry | East Liberty, Ohio 43319

P: (937) 666-3431 | F: (937) 666-6203

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Facebook!<http://cp.mcafee.com/d/1jWVlq4x8SyMMqekjhO-MMqejtPr3yoVxBdMSMUCEoouudle9zC6kTzoVBZUtuXxKfhHoHY26JAioarz_bCSU_OVJMwetKUU_R-hoh7nhsWZOWqryv9CzByWqoXBHEShhiKMzOEuvkzaT0QSCrodTVCX31EVjouvodTdAVPmEBC5etSTAaRaYLySAvFwIGhS1s9MBm1si9x3p4o5MnV6loqun2N-Mxa14K9IIIBiAGMN55NVCXXPZQnS6m3p2eE4aEv1mhV_N1hXtBzZx2k2fbCQjhOMqekjobZ8Qg0LPcLciwhd46Avxolq85RvxexJcQsCUjd>

Brad Bodenmiller

From: Andrew.Hurst@dot.ohio.gov
Sent: Thursday, September 1, 2016 3:06 PM
To: Brad Bodenmiller
Subject: RE: Mitchell Highlands Preliminary Plat

Follow Up Flag: Follow up
Flag Status: Flagged

We have no comments on any of these plats.

From: Brad Bodenmiller [mailto:bradbodenmiller@lucplanning.com]
Sent: Tuesday, August 30, 2016 9:06 AM
To: bnarducci@co.union.oh.us; Letitia Rayl <lrayl@co.union.oh.us>; Aaron Smith (asmith.uswcd@gmail.com) <asmith.uswcd@gmail.com>; Jim Cogar (jim.cogar@uchd.net) <jim.cogar@uchd.net>; Jeremy Hoyt <jhoyt@marysvilleohio.org>; jerometownship@aol.com; jeromezclerk@aol.com; Gary Smith (jeromeinspect@aol.com) <jeromeinspect@aol.com>; Slack, Thomas <Thomas.Slack@dot.ohio.gov>; Kevin Gregory <k.gregory@ure.com>; Ronald Rockenbaugh <r.rockenbaugh@ure.com>
Cc: Luke Sutton <lsutton@co.union.oh.us>; Jeremy Burrey <jburrey.uswcd@gmail.com>; Kyle Hoyng <khoyng@marysvilleohio.org>; Hurst, Andrew <Andrew.Hurst@dot.ohio.gov>; Dave Gulden <davegulden@lucplanning.com>; Reeves, Michael <mreeves@cecinc.com>; Corey Theuerkauf <CTheuerkauf@rockfordhomes.net>
Subject: Mitchell Highlands Preliminary Plat

All,

This email is a reminder for reviewing agencies and a notice of meeting change for reviewing agencies and applicants/owners.

Reminder:

Reviewing agencies, please have any comments regarding **Mitchell Highlands – Preliminary Plat** by end of the day this Thursday, September 1.

Meeting change:

The Zoning & Subdivision Committee meeting was rescheduled for **Tuesday, September 6, 2016, at 1:30 PM.**

The Executive Committee meeting will still be held **Thursday, September 8, 2016, at 1:15 PM.**

Bradley J. Bodenmiller

Planner II | LUC Regional Planning Commission
P.O. Box 219 | 9676 E. Foundry | East Liberty, Ohio 43319
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August 31, 2016

Bradley Bodenmiller
LUC Regional Planning Commission
9676 E. Foundry St.
East Liberty, OH 43319

RE: URE comments for The Reserve at New California – Final Plat

Brad,

Noted comments per paper drawings received 08/22/16. Drawing set of 3 sheets issued Final Plat for The Reserve at New California, Dated August 2016:

- 1) Sheet 1 of 3 – Plat
 - a) Need to define who uses the noted utility easements for clarity.
 - b) Request listing of utilities and contacts using easement since two electric utilities are in the development. The different utilities could have conflicts when areas are not clearly defined.
- 2) Sheet 2 of 3 – Plat
 - c) URE has a territory split with DP&L. DP&L will serve lots – 01 and 27. URE will serve lots 02 through 26
 - d) URE electric services is from rear lot. URE request easement area that is closest to home locations.
 - e) Reference separate attached document "The Reserve at New Ca Phase 1-URE Easement Clarification 08-31-16" that has clarification of easement and road crossing locations. Highlighted and noted from sheet 2 of 3.
 - f) Typically phone and or cable or fiber will go joint use with URE trenching.
- 3) Sheet 3 of 3 – Plat
 - g) Need to edit NOTE "J" and "K" to include DP&L as electric power provider.
 - h) Consider clarifying easement area as referenced in item 1 above.

URE require 20 feet easement for primary and secondary facilities per Terms and Conditions for Supplying Electric Service to reach transformer / pedestal locations. Actual location of electrical facilities can be located within a 10 feet easement if adjacent property has additional easements or right of way for ingress and egress totaling a minimum of 20 feet. When on property line require 10 ft easement on each of the adjacent properties. Developer to install creek/stream crossing (directional bore if applicable) 10 feet beyond stream protection easements (when applicable).

Based on existing drawing review set URE request delay in approving final plat until noted discrepancies are resolved.

Please contact me with questions or concerns.

Thanks,

Ron Rockenbaugh
Manager of Engineering Services
Union Rural Electric Cooperative, Inc.
PO Box 393
15461 US Route 36
Marysville, Ohio 43040
Cell: (937) 537-0369
Direct: (937) 645-9241



A SUBDIVISION OF ACREAGE

STATE OF OHIO, LINCOLN COUNTY TOWNSHIP OF FRODO
VIRGINIA KELLEY & SONS 1410

ARMED AND DANGEROUS

C-ARC WAGE									
Job #	Product	30 %	100 %	2-4	25 %				
01	2010	1000000	100	100	1000000	100	100	100	100
02	2010	1000000	100	100	1000000	100	100	100	100
03	2010	1000000	100	100	1000000	100	100	100	100
04	2010	1000000	100	100	1000000	100	100	100	100
05	2010	1000000	100	100	1000000	100	100	100	100
06	2010	1000000	100	100	1000000	100	100	100	100
07	2010	1000000	100	100	1000000	100	100	100	100
08	2010	1000000	100	100	1000000	100	100	100	100
09	2010	1000000	100	100	1000000	100	100	100	100
10	2010	1000000	100	100	1000000	100	100	100	100
11	2010	1000000	100	100	1000000	100	100	100	100
12	2010	1000000	100	100	1000000	100	100	100	100
13	2010	1000000	100	100	1000000	100	100	100	100
14	2010	1000000	100	100	1000000	100	100	100	100
15	2010	1000000	100	100	1000000	100	100	100	100
16	2010	1000000	100	100	1000000	100	100	100	100
17	2010	1000000	100	100	1000000	100	100	100	100
18	2010	1000000	100	100	1000000	100	100	100	100
19	2010	1000000	100	100	1000000	100	100	100	100
20	2010	1000000	100	100	1000000	100	100	100	100
21	2010	1000000	100	100	1000000	100	100	100	100
22	2010	1000000	100	100	1000000	100	100	100	100
23	2010	1000000	100	100	1000000	100	100	100	100
24	2010	1000000	100	100	1000000	100	100	100	100
25	2010	1000000	100	100	1000000	100	100	100	100
26	2010	1000000	100	100	1000000	100	100	100	100
27	2010	1000000	100	100	1000000	100	100	100	100
28	2010	1000000	100	100	1000000	100	100	100	100
29	2010	1000000	100	100	1000000	100	100	100	100
30	2010	1000000	100	100	1000000	100	100	100	100
31	2010	1000000	100	100	1000000	100	100	100	100
32	2010	1000000	100	100	1000000	100	100	100	100
33	2010	1000000	100	100	1000000	100	100	100	100
34	2010	1000000	100	100	1000000	100	100	100	100
35	2010	1000000	100	100	1000000	100	100	100	100
36	2010	1000000	100	100	1000000	100	100	100	100
37	2010	1000000	100	100	1000000	100	100	100	100
38	2010	1000000	100	100	1000000	100	100	100	100

Repair Lot
Secure

URE Request
re Easements
and Road Closing
08/29/16
Lemay

**THE RESERVE AT
NEW CALIFORNIA PHASE I**
PENDING
**JEROME TOWNSHIP
UNION COUNTY, OHIO**
Master Plan
HOMEWOOD CORPORATION

[illegible]

Brad Bodenmiller

From: Benjamin Vollrath <benjamin.vollrath@aes.com>
Sent: Wednesday, August 31, 2016 3:44 PM
To: Brad Bodenmiller
Subject: RE: The Reserve at New California Phase 1 Final Plat

Follow Up Flag: Flag for follow up
Flag Status: Flagged

Brad,

DP&L's only comment is to request that the final plat print more clearly label the 10 foot utility easement corridors that run through Open Space A and B perpendicular to Industrial Parkway. These short corridors are where our overhead lines will cross Industrial Parkway on either side of the New California Drive entrance. The prints show the 10ft utility easement parallel to Industrial Parkway very clearly, but the corridors aren't as easily identified.

In your expertise, if this comment is unnecessary then feel free to leave it off!

Ben Vollrath
Customer Business Manager
Dayton Power & Light
Desk: 937-331-3370
Mobile: 937-475-5408
benjamin.vollrath@dpiinc.com

From: Brad Bodenmiller [mailto:bradbodenmiller@lucplanning.com]
Sent: Tuesday, August 30, 2016 9:06 AM
To: Bill Narducci; Letitia Rayl; Aaron Smith (asmith.uswd@gmail.com); Jim Cogar (jim.cogar@uchd.net); Jeremy Hoyt; jerometownship@aol.com; jeromezclerk@aol.com; Gary Smith (jeromeinspect@aol.com); Thomas.Slack@dot.ohio.gov; Kevin Gregory; Ronald Rockenbaugh; Benjamin Vollrath
Cc: Luke Sutton; Jeremy Burrey; Kyle Hoyng; Hurst, Andrew; Dave Gulden; Reeves, Michael; msmith@cecinc.com; Jim Lipnos
Subject: The Reserve at New California Phase 1 Final Plat

All,

This email is a reminder for reviewing agencies and a notice of meeting change for reviewing agencies and applicants/owners.

Reminder:

Reviewing agencies, please have any comments regarding **The Reserve at New California Phase 1 – Final Plat** by end of the day this Thursday, September 1.

Meeting change:

The Zoning & Subdivision Committee meeting was rescheduled for **Tuesday, September 6, 2016, at 1:30 PM.**

The Executive Committee meeting will still be held **Thursday, September 8, 2016, at 1:15 PM.**

Bradley J. Bodenmiller
Planner II | LUC Regional Planning Commission

P.O. Box 219 | 9676 E. Foundry | East Liberty, Ohio 43319

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Staff Report – Woodbine Village Section 2 Phase 2

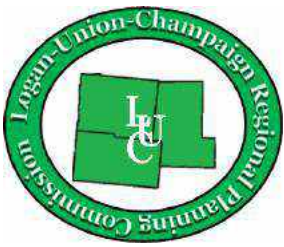
Applicant:	<p>Pulte Homes of Ohio LLC c/o Matthew Callahan 4900 Tuttle Crossing Boulevard Dublin, OH 43016 matthew.callahan@pulte.com</p> <p>Advanced Civil Design Inc c/o David Storck & Tom Warner 422 Beecher Road Gahanna, OH 43230 dstorck@advancedcivildesign.com twarner@advancedcivildesign.com</p>
Request:	Approval of the Woodbine Village Section 2 Phase 2 Amended Preliminary Plat.
Location:	Located at the southeast corner of Brock Road and Industrial Parkway in Jerome Township, Union County.

Staff Analysis:	<p>This Amended Preliminary Plat involves 4.36 acres of land within Woodbine Village Section 2 and proposes an additional 5 single-family residential lots.</p> <p>Acreages:</p> <ul style="list-style-type: none">○ 0.0 acres in right-of-way○ 1.44 acres in single-family residential lots○ 2.92 acres in open space <p>Proposed utilities:</p> <ul style="list-style-type: none">○ City of Marysville public water service○ City of Marysville public sanitary waste disposal <p>Preliminary Plat:</p> <ul style="list-style-type: none">○ The original Preliminary Plat was approved on 03-10-16.○ The original Final Plat was approved on 01-14-16.○ This Amended Preliminary Plat would allow for additional lots. <p>• Union County Engineer's Office</p> <ul style="list-style-type: none">○ The Engineer's Office submitted comments in a letter dated 09-01-16. The Engineer's Office recommended approval with a condition and with modifications.
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Staff Report – Woodbine Village Section 2 Phase 2

	<p>Items listed below should be addressed in the Amended Final Construction Drawings and Amended Final Plat:</p> <ol style="list-style-type: none">1. As a condition of our approval, we asked the developer to submit revised engineering drawings showing the lot layout portrayed in this preliminary plat, including any utility adjustments. We have not received these revised drawings to this point, and recommend approval of the preliminary plat under the conditions that the developer provide these drawings prior to the final platting phase.2. The utility infrastructure note on sheet 4 should reference Section 2.3. We will require an additional drainage easement along the reserve area abutting the existing stormwater basin for access and maintenance. The width of this additional easement should be no less than 15'.4. It is recommended that a buildable lot is not placed directly behind the relocated pumpstation along Woodbine Way. In addition to the obvious concerns regarding potential odor and unsightliness, it is planned at some point that the pump station will be decommissioned after the proposed lot has been constructed and inhabited. This will result in major construction work in this lot owners front yard. We recommend revising the lot layout and creating a reserve area in the immediate vicinity of this pump station. <p>• Union County Soil & Water Conservation District</p> <ul style="list-style-type: none">○ Soil & Water submitted comments in an email dated 09-01-16. Request the 20 ft. easement between lots 124 and 125 be increased to 25 ft. for the easement. Also, add an easement between 122 and 123 to be 25 ft. as well. <p>• Union County Health Department</p> <ul style="list-style-type: none">○ No comments received as of 09-01-16. Standard comments from the reviewing agency are below:<ol style="list-style-type: none">1. "All efforts should be made to provide a point of connection (via easements and/or services lines) to both water and sewer to any adjacent home,
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Staff Report – Woodbine Village Section 2 Phase 2

	<p>business, or any other facility that is serviced by a private water system (PWS) and or sewage treatment system (STS)."</p> <ol style="list-style-type: none">2. "Any home, business, or other structure that is currently being serviced by a private STS and ends up being situated within 200' of a sanitary sewer easement, shall be brought to the attention of the Union County Health Department."3. "If at any time during development of the subdivision a PWS (well, cistern, etc.) or STS is found, our office shall be immediately contacted for inspection. Proper permitting must be obtained for sealing and or abandonment of a PWS and STS." <p>• City of Marysville</p> <ul style="list-style-type: none">○ The City of Marysville submitted comments in a letter dated 09-01-16. The City recommended approval with modifications. Those comments are below:<ul style="list-style-type: none">✓ The existing utilities and easements shall be depicted as such (i.e. shaded and / or labeled) within this preliminary plat.✓ As a reminder, this development's pump station and associated force main is to privately maintained by the Developer / Homeowner's Association. The following items remain to be completed on the original private pump station relocation: a) Electric shall be supplied to all necessary items via generator(s) until power was installed to the site – particularly the bioxide tank; and, b) Permanent signage shall be posted at the site. <p>• Jerome Township</p> <ul style="list-style-type: none">○ Jerome Township submitted comments in a letter dated 08-31-16. "The plat as submitted appears to be in compliance with the Development approved by the Zoning Commission and Trustees and on file with the Zoning Office....The applicant should be reminded that there are still landscaping and screening requirements along US 33 and throughout the development....However, those are township items and not a requirement for plat approval."
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Staff Report – Woodbine Village Section 2 Phase 2

• ODOT District 6

- Per an email dated 09-01-16, ODOT had no comments.

• Union Rural Electric

- Union Rural Electric submitted comments in a letter dated 09-01-16. Please refer to the letter for the full comments. **Some** of those comments are listed below:
 1. Sheet 3: Question the lot number surrounding this section compared to lot number assigned under recorded Final Plat for Woodbine Vilalge Section 2 dated 03/25/2016.
 2. Sheet 4: URE electric services is from rear lot. URE easement requirements are 20 feet unless adjacent property has additional easements or right of way for ingress and egress totaling a minimum for 20 feet.
 3. Sheet 4: Also 20 FT easement on North West and South East side of lot 127.
 4. Sheet 4: URE electrical facilities to cross rear lots 123, 124, 125, 126, and 127 with additional electrical facilities on the North West and South East side of lot 127 to existing primary underground 3 phase circuit.
 5. Sheet 4: All easement areas must be continuous for electric facilities.
 6. Sheet 4: Include road crossing conduits at the end of Woodbine Way for future expansion of electrical facilities. (between lots 127 and 107 as noted on drawing)
 7. Sheet 4/5: Reference URE Road or Street Crossing drawing.

• LUC Regional Planning Commission

1. Sheet 1: Note that this is an *amended* preliminary plat.
2. The lot numbers are out of sequence—47, 48, 49, 50, and 51 would be sequential.
3. Some adjacent of the Woodbine Section 1 subdivisions shown should read *amended*.
4. Easements for water and sewer must be a minimum of 20' and 10' for other utilities (§414).



Staff Report – Woodbine Village Section 2 Phase 2

	<ol style="list-style-type: none">5. In approvals regarding Woodbine Village, the LUC Executive Committee has recommended noise mitigation measures, such as a sound barrier, to be implemented. Staff reiterates that recommendation.6. A letter from Jerome Township certifying that the Final Plat conforms with the Township's zoning is required before any approval of the Final Plat may be granted (§401; §413, 2.).7. All bonds, surety, letters of credit, etc. shall be approved by the County Commissioners before any approval of the Final Plat may be granted (§326).
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Staff Recommendations:	Staff recommends APPROVAL of the Woodbine Village Section 2 Phase 2 Amended Preliminary Plat with the condition that all comments/modifications from LUC and reviewing agencies shall be incorporated into Construction Drawings and Final Plat. The developer shall ensure that prior to Final Plat submittal, all requirements and items outlined in the Union County Subdivision Regulations are incorporated in the Final Plat prior to submittal.
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Z&S Committee Recommendations:	
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Logan-Union-Champaign regional planning commission

Director: Dave Gulden, AICP

Application for Preliminary Plat Approval

Date: 08-17-16

Name of Subdivision: Woodbine Village - Section 2, Phase 2

Location: S.E. Corner of Brock Road & Industrial Parkway

Township: Jerome

Military Survey: 5134

Complete Parcel(s) Identification Number (PIN): 1700220070500

Have **ALL** Sketch Plan review letters been obtained? Yes (Engineer, SWCD, Board of Health)

Name of Applicant: Pulte Homes of Ohio, LLC

Address: 4900 Tuttle Crossing Blvd

City: Dublin

State: OH Zip: 43016

Phone: 614-376-1018

Fax: _____

Email: Matthew.Callahan@Pulte.com

Name of Owner of property to be subdivided: Pulte Homes, Inc.

Address: 4900 Tuttle Crossing Blvd

City: Dublin

State: OH Zip: 43016

Phone: 614-376-1018

Fax: _____

Email: Matthew.Callahan@Pulte.com

Name of Applicant's Surveyor or Engineer: Advanced Civil Design, Inc.

Address: 422 Beecher Road

City: Gahanna

State: OH Zip: 43230

Phone: (614) 428-7750

Fax: (614) 428-7755

Email: twarner@advancedcivildesign.com

Proposed Acreage to be Subdivided: 4.362 Acres

Current Zoning Classification: PUD

Proposed Zoning Changes: N/A

Proposed Land Use: Single Family Subdivision

Development Characteristics

Number of proposed lots: 5

Typical lot width (feet): 90 feet at Building Line

Number of proposed units: 5

Typical lot area (sq. ft.): 12,150 s.f. min.

Single Family Units: 5

Multi-Family Units: N/A

Acreage to be devoted to recreation, parks or open space: 2.919 Acres

9676 E. Foundry St, PO Box 219

East Liberty, Ohio 43319

• Phone: 937-666-3431 • Fax: 937-666-6203

• Email: luc-rpc@lucplanning.com • Web: www.lucplanning.com



Logan-Union-Champaign regional planning commission

Director: Dave Gulden, AICP

Recreation facilities to be provided: NO

Do you propose deed restrictions? (If yes, attach a copy): Yes X No

1. Proposed method of Supplying Water Service: Public Water Service

2. Proposed method of Sanitary Waste Disposal: Gravity Sanitary Service
(If on-site disposal systems are proposed, please attach letter certifying the County Board of Health approval)

3. Requests for Variances from Subdivision Regs: N/A
(If yes, please explain variances and reason for variances)

List all proposed improvements and utilities and state your intention to install or provide a guarantee prior to final plat approval:

	Improvement	Installation	Guarantee
a.	Public Water Line	By Developer	Yes
b.	Public Sewer Line	By Developer	Yes
c.	Storm Sewer Improvements	By Developer	Yes
d.	Public Streets	By Developer	Yes
e.	Industrial Parkway Improvements	By Developer	Yes

For Official Use

Date filed: Filing Fee:

Date of Meeting of Planning Commission:

Action by Planning Commission:

If rejected, reason(s) for:

9676 E. Foundry St, PO Box 219
East Liberty, Ohio 43319

• Phone: 937-666-3431 • Fax: 937-666-6203
• Email: luc-rpc@lucplanning.com • Web: www.lucplanning.com



Preliminary Plat Review Checklist

#	Required Item Description	Have	Need
1	Drawn at a scale not less than 1:100 and shall be on one or more sheets 24" X 36"	X	
2	Proposed name of the subdivision, which shall not duplicate or closely approximate the name of any other subdivision in the county.	X	
3	Location by section, range, and township or Virginia Military Survey (VMS).	X	
4	Names, addresses and telephone numbers of the owner, subdivider, and professional surveyor or professional engineer who prepared the plat; and the name, address and telephone number of the professional surveyor who performed the boundary survey.	X	
5	Date of survey.	X	
6	Scale of the plat, north point, and date.	X	
7	Boundaries of the subdivision and its acreage.	X	
8	Names of adjacent subdivisions, owners of record of adjoining parcels of unsubdivided land, and the location of their boundary lines.	X	
9	Locations, widths, and names of existing streets, railroad rights-of-way, easements, parks, permanent buildings, and corporation and township lines; location of wooded areas and other significant natural features; soil types and soil type limits; limits of Flood Hazard zones.	X	
10	Zoning classification of the tract and adjoining properties.	X	
11	Existing contours (USGS datum) at an interval of not greater than two feet if the slope of the ground is fifteen percent or less; and not greater than five feet where the slope is more than fifteen percent.	X	
12	Existing sewers, water and gas mains, culverts and other underground structures, and electric and telephone poles and lines and other above ground structures within and adjacent to the tract.	X	
13	Layout, names and widths of proposed streets and easements.	X	
14	Building setback lines with dimensions.	X	
15	Layout and dimensions of all proposed water and sewer lines, showing their connections with the existing systems, and all proposed easements for utility, water and sewer lines.	X	
16	Layout, numbers and approximate dimensions of each lot. When lots are located on a curve or when side lot lines are not at ninety degree angles, the width at the building line shall be shown, if it is less than the frontage width. Location of access from lots to the proposed streets shall be shown.	X	
17	Parcels of land to be reserved for public use or to be reserved by covenant for residents of the subdivision.	X	

9676 E. Foundry St, PO Box 219
East Liberty, Ohio 43319

• Phone: 937-666-3431 • Fax: 937-666-6203
• Email: luc-rpc@lucplanning.com • Web: www.lucplanning.com



Logan-Union-Champaign regional planning commission

Director: Dave Gulden, AICP

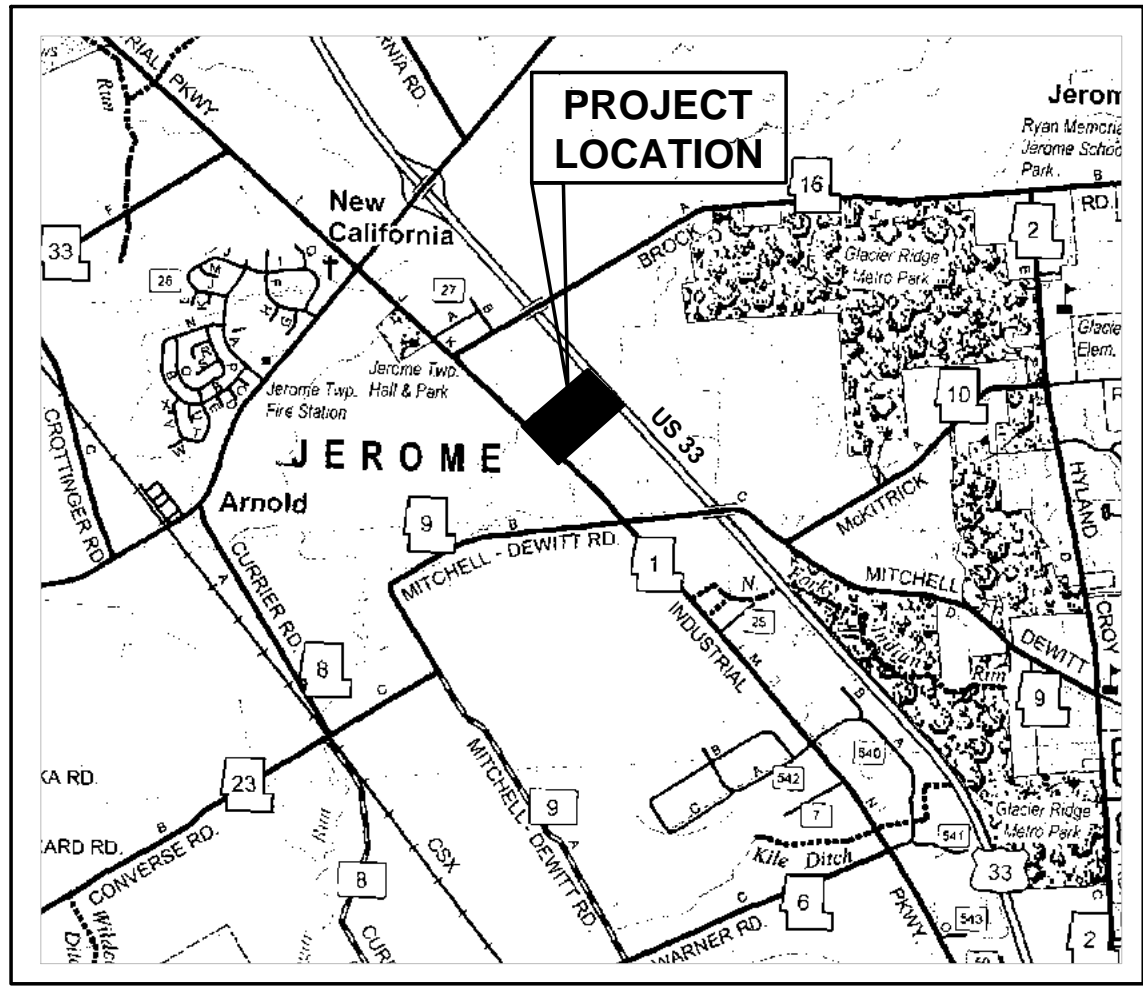
18	The limits of all Flood Hazard Areas (zone A, AE, B, and X) as determined by the Federal Emergency Management Agency (show the FEMA map number and date). The Base Flood Elevation shall be determined and shown. Minimum first floor elevations shall be shown for all lots located within Flood Hazard Areas.	X	
----	---	---	--

Supplementary Information			
19	Statement of proposed use of lots, giving the type and number of dwelling units; and type of business or industry if use is not residential.	X	
20	Description of proposed covenants and restrictions.	X	
21	Description of proposed zoning changes.	N/A	
22	Typical sections and tentative profiles of streets and other related improvements as required in Article 5. Calculations as required to justify horizontal and vertical curves, pipe sizes, etc. The County Engineer shall have approved the layout and design of the lots, streets and other improvements prior to the Preliminary Plat approval.	X	
23	A preliminary drainage plan which shall identify adequate drainage outlets and shall contain adequate measures for control of erosion and siltation and for surface water management in accordance with Article 5 and the Technical Design Standards. The County Soil and Water Conservation District shall have approved the preliminary drainage plan prior to Preliminary Plat approval.	X	
24	If the subdivider proposes individual household sewage systems, the County Board of Health or the OEPA shall have approved the use of individual household sewage systems prior to the Preliminary Plat approval.	N/A	
25	If the subdivider proposes individual household wells, the subdivider shall supply evidence acceptable to the County Board of Health of the availability of satisfactory water. The County Board of Health or the OEPA shall have approved the use of individual household wells prior to the Preliminary Plat approval.	N/A	
26	Letters from utility companies, as required, indicates approval of easement locations and widths prior to the Preliminary Plat approval.	X	
27	A vicinity map at scale of generally not more than six thousand feet to an inch shall be shown on, or shall accompany, the Preliminary Plat. This map shall show all existing subdivisions, roads, and tract lines, together with the names of the owners of land immediately adjoining the proposed subdivision and between it and the nearest existing thoroughfares. It shall also show the most advantageous connections between the roads in the proposed subdivision and those of the neighboring areas.	X	
28	Preliminary Plat Fees: Payment/Check made out to LUC Regional Planning Commission, based on the current fee schedule.	X	

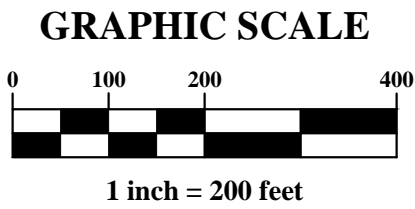
9676 E. Foundry St, PO Box 219
East Liberty, Ohio 43319

• Phone: 937-666-3431 • Fax: 937-666-6203
• Email: luc-rpc@lucplanning.com • Web: www.lucplanning.com

UNION COUNTY, OHIO
PRELIMINARY PLAT
FOR
WOODBINE VILLAGE SECTION 2 - PHASE 2
SITUATED IN THE TOWNSHIP OF JEROME, UNION COUNTY
BEING PART OF VIRGINIA MILITARY SURVEY NO. 5134



LOCATION MAP
NO SCALE



INDEX OF SHEETS

TITLE SHEET	1
EXISTING CONDITIONS SITE PLAN	2
LAYOUT AND DIMENSION PLAN	3
UTILITY PLAN	4
TYPICAL ROADWAY SECTIONS	5

BENCHMARKS

BASED ON FRANKLIN COUNTY MONUMENTS (NAVD 1988 DATUM).

- Site BM 1 - "+" IN THE TOP OF SOUTHWEST BOLT OF BASE PLATE OF WEST LEG OF MILE SIGN (DUBLIN 8 / COLUMBUS 21) WEST SIDE OF US 33.
ELEV. = 983.16
- Site BM 2 - CSG IN SOUTH SIDE OF POWER POLE, SOUTH SIDE OF BROCK ROAD, 25'± EAST OF BRIARWOOD DRIVE.
ELEV. = 1022.19
- Site BM 3 - CSG IN SOUTHWEST SIDE OF POWER POLE, SOUTH SIDE OF BROCK ROAD, 2ND POWER POLE EAST OF INDUSTRIAL PARKWAY.
ELEV. 1015.80
- Site BM 4 - NORTHWEST CORNER OF CONCRETE WALK AT GATE OPENING TO CELL TOWER, SOUTH OF PROPOSED DEVELOPMENT.
ELEV. = 993.04

DEVELOPMENT DATA

SITE ZONING DISTRICT:	PUD
NUMBER OF LOTS:	5
SITE ACREAGE:	4.36 AC.
LOT AREA:	1.44 AC.
R/W AREA:	0.00 AC.
OPEN SPACE AREA:	2.92 AC.
OPEN SPACE AREA REQUIRED (10% OF SITE ACREAGE):	0.44 AC.
GROSS DENSITY:	1.15 DU/AC.
MINIMUM LOT SIZE:	12,150 SQ. FT.
MINIMUM FRONTAGE:	81 FT.
MINIMUM LOT DEPTH:	135' FT.
FRONT SETBACK:	WOODBINE WAY
	35 FT.
SIDE SETBACK:	10 FT. PER SIDE
	(20 FT. TOTAL)
REAR SETBACK:	25 FT.
EXISTING BOUNDARY AREA:	4.36 AC.
TOTAL R/W AREA:	0.00 AC.
PROP. BOUNDARY:	4.36 AC.

OWNER / DEVELOPER

PULTE HOMES, INC.
4900 TUTTLE CROSSING BLVD.
DUBLIN, OHIO 43016
PHONE 614-376-1018
CONTACT: MATTHEW CALLAHAN
EMAIL: matthew.callahan@pulte.com

VICINITY MAP

WOODBINE VILLAGE 2
PRELIMINARY PLAT
FOR
WOODBINE VILLAGE - SECTION 2, PHASE 2
TITLE SHEET

Date: 08/17/2016
Scale: AS NOTED
Drawn By: DAS
Checked By: JDW
Project Number: 15-0001-722
Drawing Number: 1 / 5

SOILS LEGEND

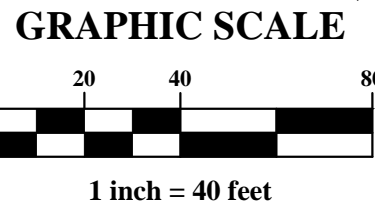
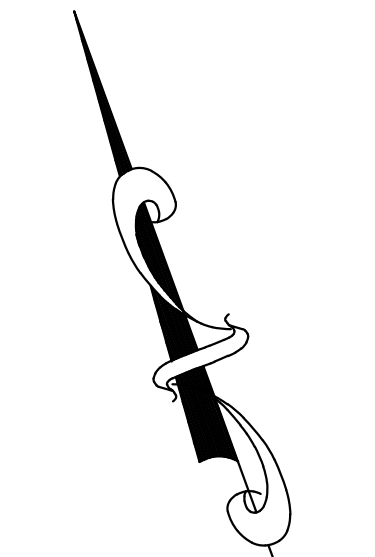
BoB- BLOUNT SILT LOAM, 2 to 6 PERCENT SLOPES

GENERAL NOTES

ALL BOUNDARY DATA IS PER AN ALTA SURVEY PERFORMED BY ADVANCED CIVIL DESIGN, INC. DATED DECEMBER, 2012.

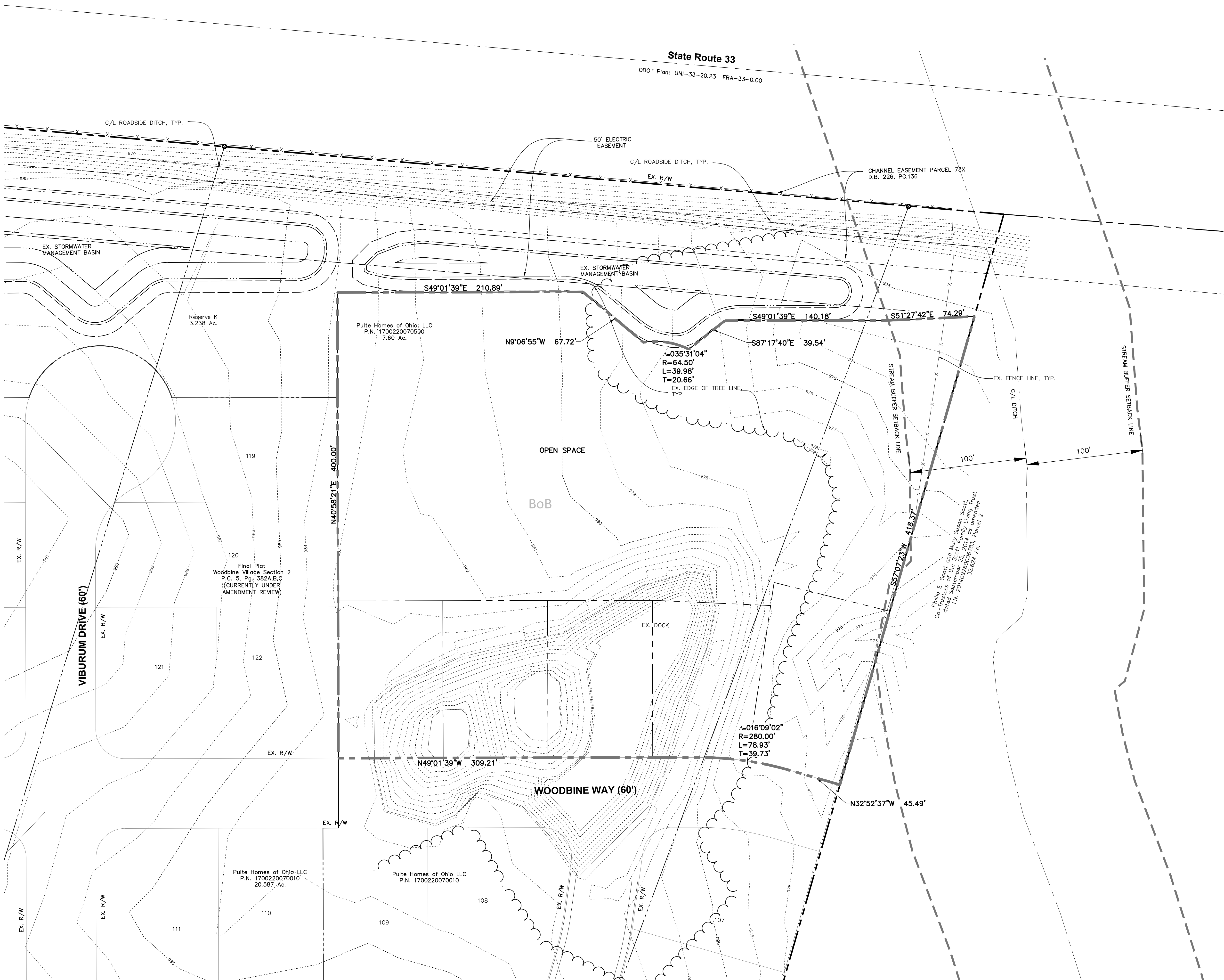
ALL TOPOGRAPHIC INFORMATION SHOWN IS REFLECTIVE OF A FIELD SURVEY OF THE EXISTING CONDITIONS PERFORMED BY ADVANCED CIVIL DESIGN, INC. NOVEMBER 2012.

ALL EXISTING UTILITY INFORMATION IS FROM RECORD PLAN INFORMATION AND IS SHOWN FOR REFERENCE ONLY.



FLOOD HAZARD INFORMATION

FLOOD HAZARD DESIGNATION: ZONE X
FEMA MAP NUMBER: 39159C0 388D
EFFECTIVE DATE: DECEMBER 16, 2008



PLAN PREPARED BY:

CONTACT: TOM WARNER, P.E.
422 Beecher Road
Gahanna, Ohio 43230
ph 614.428.7750
fax 614.428.7759

ADVANCED CIVIL DESIGN
ENGINEERS SURVEYORS

PLAN PREPARED FOR:

WOODBINE VILLAGE 2

JEROME TWP./UNION COUNTY, OHIO

PRELIMINARY PLAT

FOR

WOODBINE VILLAGE - SECTION 2, PHASE 2

EXISTING CONDITIONS SITE PLAN

Issue Dates:

Date: 08/17/2016

Scale: AS NOTED

Drawn By: DAS

Checked By: JDW

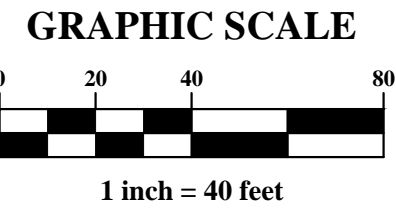
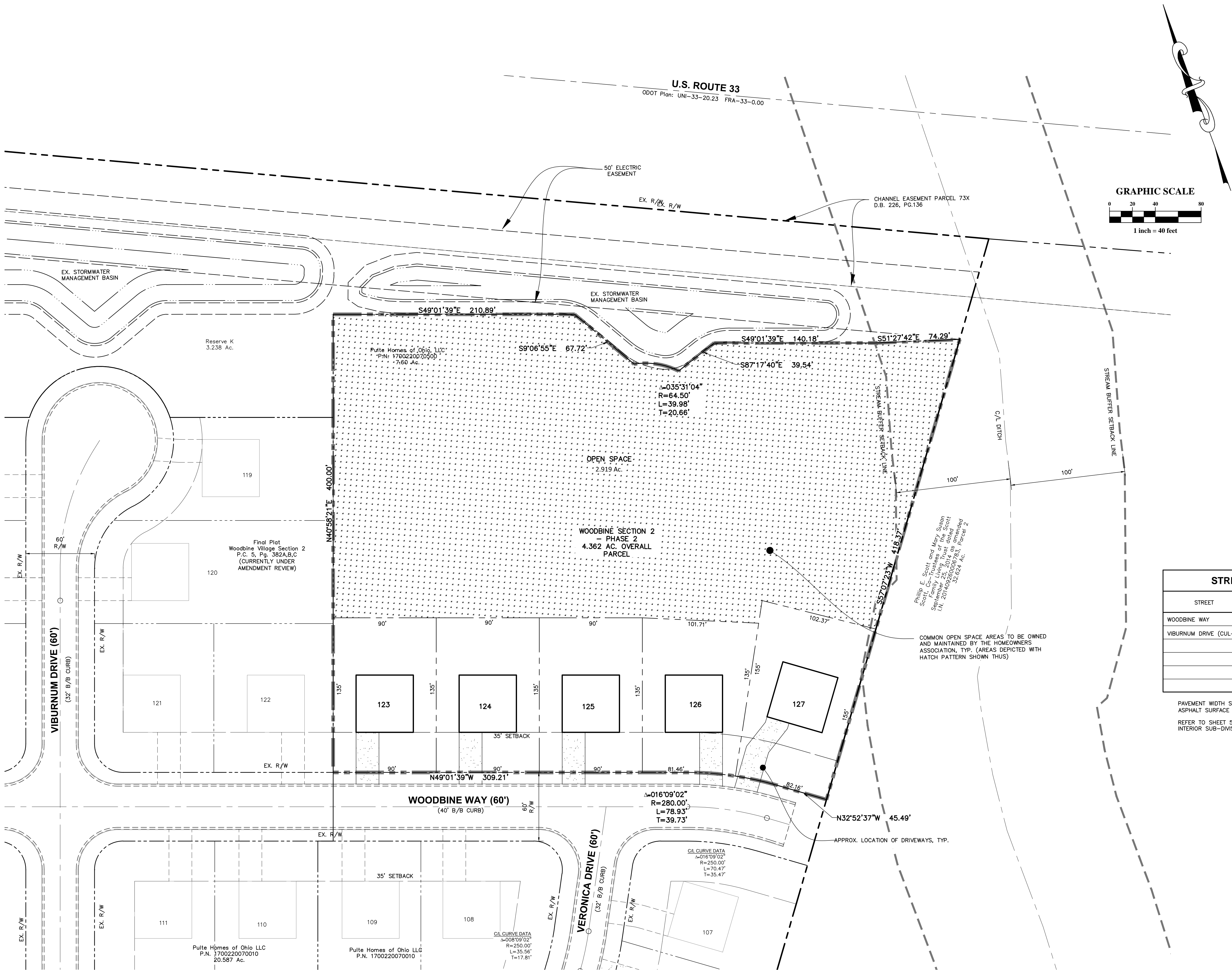
Project Number:

15-0001-722

Drawing Number:

2 / 5

Z:_3-0001-722.DWG PRODUCTION DRAWINGS\PREL\2-2 08-18-16\12-0001-543 PLAT-PRELU-SHT3.dwg PREL\AT SHT1 Aug 18, 2016 - 12:27:08pm detech



STREET DESIGN SUMMARY				
STREET	R/W WIDTH	PAVEMENT WIDTH	SIDEWALK	BLDG. SETBACK
WOODBINE WAY	60'	36'	NONE	35'
VIBURNUM DRIVE (CUL-DE-SAC)	60'	28'	NONE	25'

PAVEMENT WIDTH SHOWN IS AS MEASURED FROM EDGE TO EDGE OF ASPHALT SURFACE (FACE OF GUTTER)

REFER TO SHEET 5 OF 5 FOR TYPICAL PAVEMENT SECTIONS OF THE INTERIOR SUB-DIVISION STREET.

PLAN PREPARED BY:

CONTACT: TOM WARNER, P.E.
422 Beecher Road
Gahanna, Ohio 43230
ph 614.428.7750
fax 614.428.7759

ADVANCED
CIVIL DESIGN
ENGINEERS SURVEYORS

PLAN PREPARED FOR:

WOODBINE
VILLAGE 2

JEROME TWP./UNION COUNTY, OHIO

PRELIMINARY PLAT

FOR

WOODBINE VILLAGE - SECTION 2, PHASE 2

LAYOUT AND DIMENSION PLAN

Issue Dates:

--	--	--	--	--	--

Date: 08/17/2016

Scale: AS NOTED

Drawn By:

Checked By:

DAS

JDW

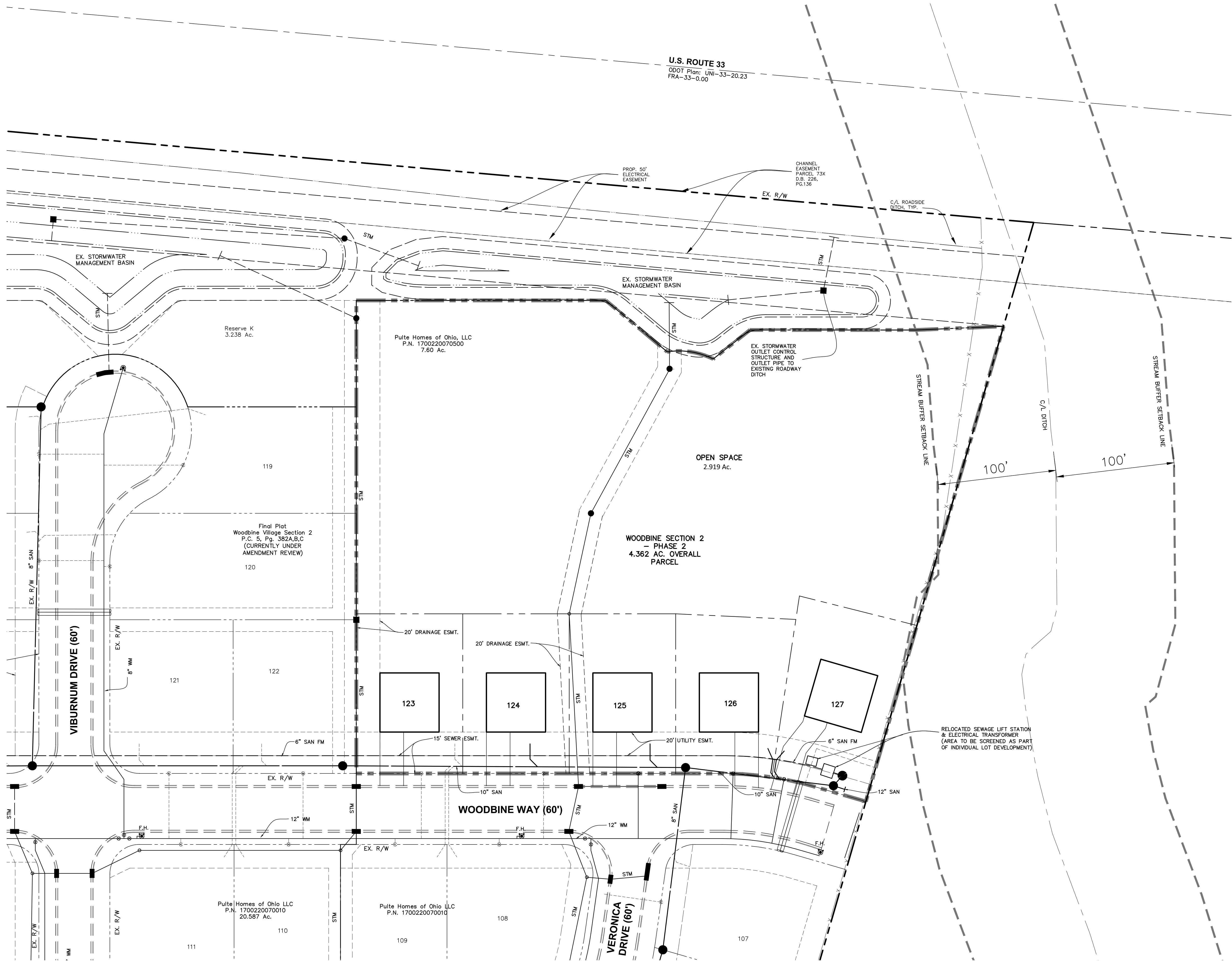
Project Number:

15-0001-722

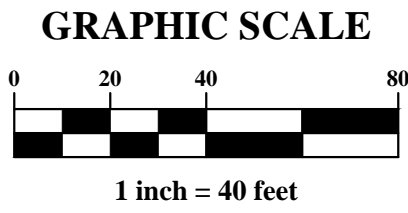
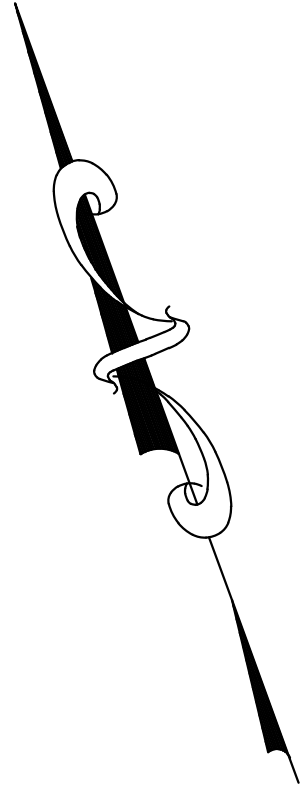
Drawing Number:

3 / 5

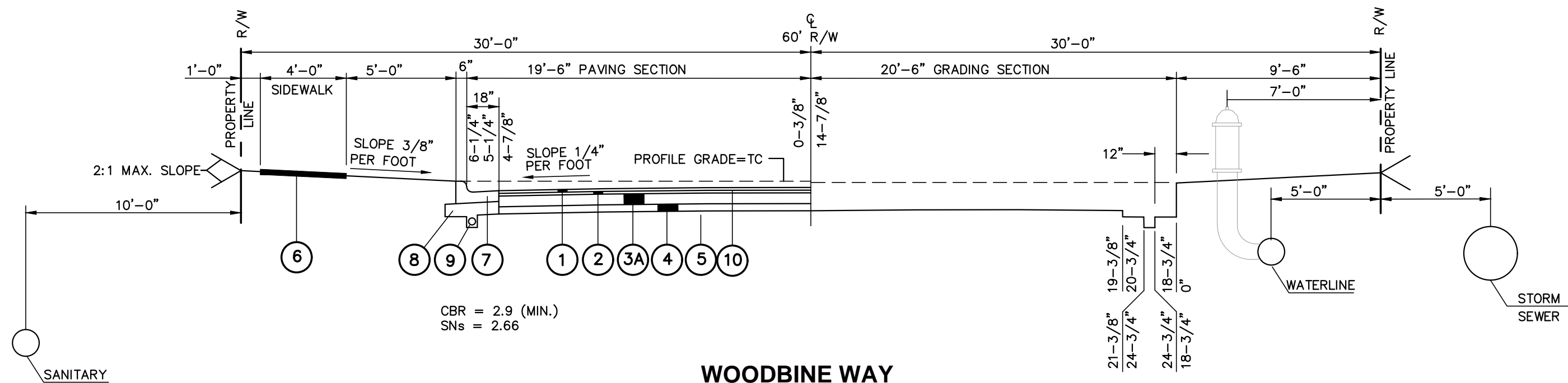
Z:_3-0001-722\DWG\PRODUCTION DRAWINGS\PREL\2-2_08-18-16\12-0001-543 PLAT-PREL\STA.dwg PREL\AT SH11 Aug 18, 2016 - 12:28:11pm dtdrck



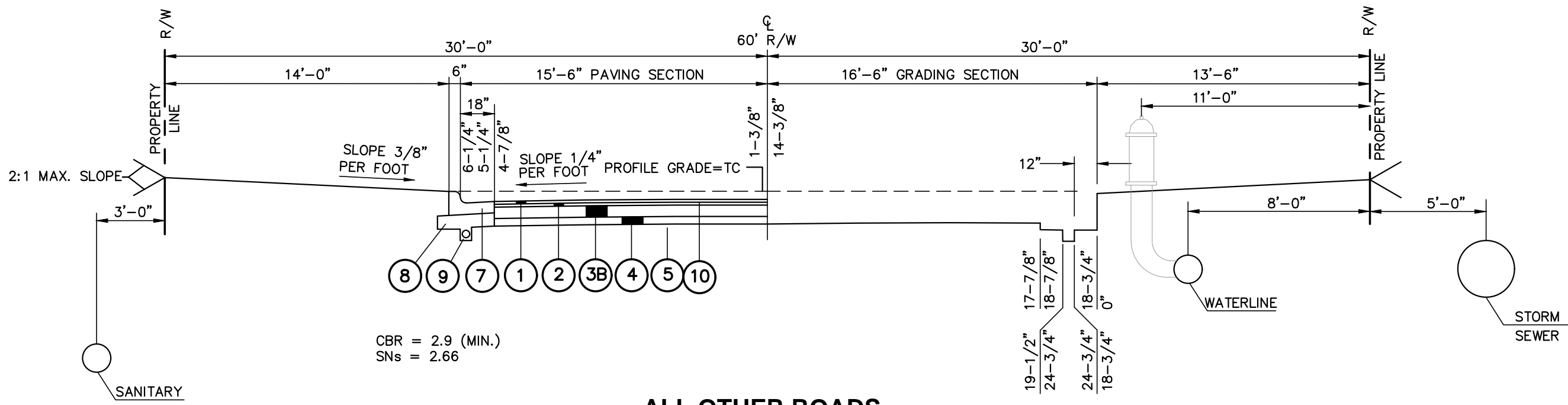
UTILITY INFRASTRUCTURE NOTE
THE EXTENT OF UTILITY INFRASTRUCTURE ITEMS DEPICTED ON THIS PLAN (STORM, SANITARY WATER, ETC.) HAS BEEN CONSTRUCTED OR IS IN PROCESS OF BEING CONSTRUCTED AS PART OF THE WOODBINE SECTION 1, PHASE 1 PLANS.



PLAN PREPARED BY:		CONTACT: TOM WARNER, P.E. 422 Beecher Road Gahanna, Ohio 43230 ph 614.428.7750 fax 614.428.7759	
PLAN PREPARED FOR:		WOODBINE VILLAGE 2	
JEROME TWP./UNION COUNTY, OHIO		PRELIMINARY PLAT	
		FOR	
		WOODBINE VILLAGE - SECTION 2, PHASE 2	
		UTILITY PLAN	
Issue Dates:		Date: 08/17/2016	Scale: AS NOTED
Drawn By:	DAS	Checked By:	JDW
Project Number:		15-0001-722	
Drawing Number:		4 / 5	



WOODBINE WAY
TYPICAL 40' SECTION (60' R.O.W.)
WITH CONCRETE COMBINED CURB & GUTTER
RESIDENTIAL LOCAL - 30 MPH DESIGN SPEED - LEVEL TERRAIN
200 < ADT ≤ 1500



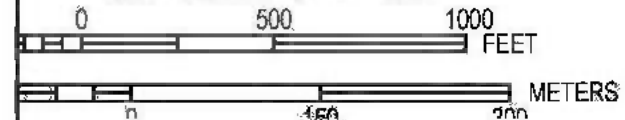
ALL OTHER ROADS
TYPICAL 32' SECTION (60' R.O.W.)
WITH CONCRETE COMBINED CURB & GUTTER
RESIDENTIAL LOCAL - 30 MPH DESIGN SPEED - LEVEL TERRAIN
200 < ADT ≤ 1500

- | | |
|---|---|
| ① 1-1/2" HOT-MIXED, HOT-LAID ASPHALT CONCRETE, ITEM 448
TYPE 1 SURFACE COURSE | ⑤ SUBGRADE PREPARATION PER O.D.O.T., ITEM 203 |
| ② 1-1/2" HOT-MIXED, HOT-LAID ASPHALT CONCRETE, ITEM 448
TYPE 1 INTERMEDIATE COURSE | ⑥ CONCRETE SIDEWALK, ITEM 608 |
| ③A 7 1/2" BITUMINOUS AGGREGATE BASE ITEM 301 | ⑦ COMBINATION CONCRETE CURB AND GUTTER, PER DETAIL THIS SHEET |
| ③B 6" BITUMINOUS AGGREGATE BASE ITEM 301 | ⑧ NO. 8 OR NO. 57 AGGREGATE |
| ④ 4" AGGREGATE BASE, ITEM 304 | ⑨ 4" UNDERDRAIN, ITEM 605 |
| | ⑩ TACK COAT, ITEM 407 |

ROADWAY TYPICAL SECTIONS ARE SHOWN FOR REFERENCE ONLY. THE WOODBINE SECTION 1, PHASE 1 STREET IMPROVEMENT PLAN IS CURRENTLY BEING CONSTRUCTED AND WILL PROVIDE THE ENTIRE PUBLIC ROADWAY SCOPE OF WORK IN ADDITION TO THE UTILITY INFRASTRUCTURE REQUIRED FOR SECTION 2, PHASE 2.



MAP SCALE 1" = 500'



NFIP

NATIONAL FLOOD INSURANCE PROGRAM

PANEL 0388D

FIRM

FLOOD INSURANCE RATE MAP

UNION COUNTY,
OHIO
AND INCORPORATED AREAS

PANEL 388 OF 500

(SEE MAP INDEX FOR FIRM PANEL LAYOUT)

CONTAINS:

COMMUNITY
UNION COUNTY

NUMBER PANEL SUFFIX
390806 0388 D

Notice to User: The Map Number shown below should be used when placing map orders. The Community Number shown above should be used on insurance applications for the subject community.



MAP NUMBER
39159C0388D

EFFECTIVE DATE
DECEMBER 16, 2008

Federal Emergency Management Agency

This is an official copy of a portion of the above referenced flood map. It was extracted using F-MIT On-Line. This map does not reflect changes or amendments which may have been made subsequent to the date on the title block. For the latest product information about National Flood Insurance Program flood maps check the FEMA Flood Map Store at www.msc.fema.gov

TRANSMITTAL LETTER

Date: August 18, 2016
Re: Woodbine Village Section 2 – Phase 2
Attn: Mr. Dave Gulden, AICP

Logan-Union-Champaign Regional Planning Commission
9676 E. Foundry Street
P.O. Box 219
East Liberty, Ohio 43319

Please find attached:

Reference No.	Copies	Number of Sheets	Notes
15-0001-722	14	5	Preliminary Plat
	1	2	Application for Preliminary Plat Approval
	1	2	Preliminary Plat Review Checklist
	1	-	Record Deeds
	1	1	FIRM Map 39159C0388D
	1	1	Application Fee - \$650
	1	1	CD w/ PDFs of Submittal Items

Mr. Gulden,

We have prepared a preliminary plat for the above referenced project located near the southeast corner of Brock Road and Industrial Parkway in Jerome Township, Ohio. The Section 2, Phase 2 improvements include the development of 5 new residential lots on 4.36 acres of property. Please note that the original plat for Woodbine Village Section 2 is in the process of being amended through coordination with the County engineer's office.

Should you have any questions or require any additional information, please do not hesitate to call.

Sincerely,



David A. Storck
Project Manager
dstorck@advancedcivildesign.com
tel: 614-944-5080



County Engineer
Environmental Engineer
Building Department
233 W. Sixth Street
Marysville, Ohio 43040
P 937. 645. 3018
F 937. 645. 3161
www.co.union.oh.us/engineer

Marysville Operations Facility
16400 County Home Road
Marysville, Ohio 43040
P 937. 645. 3017
F 937. 645. 3111

Richwood Outpost
190 Beatty Avenue
Richwood, Ohio 43344

September 1, 2016

Public Service with integrity

Bradley Bodenmiller
LUC Regional Planning Commission
Box 219
East Liberty, Ohio 43319

Re: Amended Preliminary Plat Review
Woodbine Village – Section 2, Phase 2

Bradley,

We have completed our review of the above preliminary plat, received by our office on August 22, 2016. The construction drawings for the entire section of this development had been approved by our office. As you may recall, the original final plat for Section 2 was denied at the LUC level due to the plat not conforming to Township requirements. This has resulted in a reconfiguration of lots along Woodbine Way that does not match up with the approved construction drawings.

As a condition of our approval of the revised Section 2 preliminary plat, we asked the developer to submit revised engineering drawings showing the lot layout portrayed in this preliminary plat, including any utility adjustments. We have not received these revised drawings to this point, and recommend approval of the preliminary plat under the conditions that the developer provide these drawings prior to the final platting phase. In addition, we have the following comments:

1. The utility infrastructure note on sheet 4 should reference Section 2.
2. We will require an additional drainage easement along the reserve area abutting the existing stormwater basin for access and maintenance. The width of this additional easement should be no less than 15'.
3. It is recommended that a buildable lot is not placed directly behind the relocated pumpstation along Woodbine Way. In addition to the obvious concerns regarding potential odor and unsightliness, it is planned at some point that the pump station will be decommissioned after the proposed lot has been constructed and inhabited. This will result in major construction work in this lot owners front yard. We recommend revising the lot layout and creating a reserve area in the immediate vicinity of the pump station.

Should you have any questions or concerns, feel free to contact me at (937) 645-3165.

Sincerely,

Bill Narducci, P.E.
Engineering Manager
Union County Engineer

Cc: Luke Sutton, Union County Engineer's Office (via email)
Jeremy Burrey, Union SWCD (via email)

Jeff Stauch, PE/PS
County Engineer | Environmental Engineer

Mary A. Sampsel, PE
Assistant County Engineer | Chief Building Official

Brad Bodenmiller

From: Jeremy Burrey <jburrey.uswcd@gmail.com>
Sent: Thursday, September 1, 2016 1:58 PM
To: Brad Bodenmiller
Subject: Re: Woodbine Village Section 2 Phase 2 Amended Preliminary Plat

Follow Up Flag: Follow up.
Flag Status: Completed

Hi Brad,

I have some requests on the Woodbine Phase 2. We have been running into issues with the easements being too small to access with our maintenance equipment due to utilities and other landscaping etc. being placed in them. At this point I would request the 20 ft. easement between lots 124 and 125 be increased to 25 ft. for the easement. I would also like for the easement between 122 and 123 to be 25 Ft. as well. Thank you and let me know if you have any questions. have a good day.

On Tue, Aug 30, 2016 at 9:05 AM, Brad Bodenmiller <bradbodenmiller@lucplanning.com> wrote:

All,

This email is a reminder for reviewing agencies and a notice of meeting change for reviewing agencies and applicants/owners.

Reminder

Reviewing agencies, please have any comments regarding **Woodbine Village Section 2 Phase 2 – Amended Preliminary Plat** by end of the day this Thursday, September 1.

Meeting change:

The Zoning & Subdivision Committee meeting was rescheduled for **Tuesday, September 6, 2016, at 1:30 PM.**

The Executive Committee meeting will still be **Thursday, September 8, 2016, at 1:15 PM.**

Bradley J. Bodenmiller

Planner II | LUC Regional Planning Commission

P.O. Box 219 | 9676 E. Foundry | East Liberty, Ohio 43319

P: [\(937\) 666-3431](tel:9376663431) | F: [\(937\) 666-6203](tel:9376666203)

www.lucplanning.com | [Find us on Facebook!](#)

--
Jeremy Burrey
Drainage Maintenance Supervisor
Union Soil and Water Conservation District
18000 SR 4, Suite B
Marysville, Ohio 43040
Phone: [937/642-5871](tel:9376425871) Ext. 104
E-Mail: jburrey.uswcd@gmail.com



Engineering, Planning and Zoning
City Hall, 209 South Main Street
Marysville, Ohio 43040-1641
(937) 645-7350
FAX (937) 645-7351
www.marysvilleohio.org

September 1, 2016

Bradley J. Bodenmiller
LUC Regional Planning Commission
9676 East Foundry
East Liberty, OH 43319

**Subject: Woodbine Village Subdivision – Section 2
Amended Preliminary Plat – Comment Letter #1**

The City of Marysville has reviewed the proposed water and wastewater systems for Woodbine Village, Section 2, Phase 2 and recommends approving the Preliminary Plat upon addressing the following comments as part of the Final Plat.

General:

1. The existing utilities and easements shall be depicted as such (i.e. shaded and / or labeled) within this preliminary plat.
2. As a reminder, this development's pump station and associated force main is to be privately maintained by the Developer / Homeowner's Association.
Note: As a reminder, the following items remain to be completed on the original private pump station relocation:
 - a. Electric shall be supplied to all necessary items via generator(s) until power was installed to the site – particularly the bioxide tank
 - b. Permanent signage shall be posted at the site.

Please contact us if you need additional clarification or wish to discuss these comments further.

Sincerely,

Kyle Hoyng, P.E.
Utility Engineer

cc. Jeremy Hoyt, P.E. (City of Marysville)
Mike Andrako, P.E. (City of Marysville)
Scott Sheppeard (City of Marysville)
Rich Felton (City of Marysville)



Jerome Township
Union County, Ohio

9777 Industrial Parkway
Plain City, Ohio 43064
Office (614) 873-4480
Fax (614) 873-8664

Jerome Township Zoning Office

August 31, 2016

Bradley J. Bodenmiller
LUC Regional Planning Commission
9676 E. Foundry
East Liberty, Ohio 43319

RE.: Woodbine Village – Section 2, Phase 2 Preliminary Plat

Dear Brad,

The zoning office has reviewed the Preliminary Plat for Woodbine Village Section 2, Phase 2 as forwarded by LUC on August 22, 2016. The plat as submitted appears to be in compliance with the Development approved by the Zoning Commission and Trustees and on file with the Zoning Office. The 5 lots as added bring the total lot count for the development to 128 which matches what was approved by the township and as such the Zoning office has no issues to report with the Plat as filed. The applicant should be reminded that there are still landscaping and screening requirements along US 33 and throughout the development to be fulfilled as the development progresses. However, those are township items and not a requirement for plat approval. Please feel free to move forward with the approval of the plat, pending of course the resolution of any remaining issues identified by the other reviewing agencies.

As always, my review is limited to the zoning related items only and the township defers to the expertise of the Union County Engineers office in regards to all traffic and engineering related items. Please feel free to give me a call if you have any additional questions regarding this letter.

Respectfully,

Gary Smith
Jerome Township Zoning Officer

Brad Bodenmiller

From: Andrew.Hurst@dot.ohio.gov
Sent: Thursday, September 1, 2016 3:06 PM
To: Brad Bodenmiller
Subject: RE: Mitchell Highlands Preliminary Plat

Follow Up Flag: Follow up
Flag Status: Flagged

We have no comments on any of these plats.

From: Brad Bodenmiller [mailto:bradbodenmiller@lucplanning.com]
Sent: Tuesday, August 30, 2016 9:06 AM
To: bnarducci@co.union.oh.us; Letitia Rayl <lrail@co.union.oh.us>; Aaron Smith (asmith.uswcd@gmail.com) <asmith.uswcd@gmail.com>; Jim Cogar (jim.cogar@uchd.net) <jim.cogar@uchd.net>; Jeremy Hoyt <jhoyt@marysvilleohio.org>; jerometownship@aol.com; jeromezclerk@aol.com; Gary Smith (jeromeinspect@aol.com) <jeromeinspect@aol.com>; Slack, Thomas <Thomas.Slack@dot.ohio.gov>; Kevin Gregory <k.gregory@ure.com>; Ronald Rockenbaugh <r.rockenbaugh@ure.com>
Cc: Luke Sutton <lsutton@co.union.oh.us>; Jeremy Burrey <jburrey.uswcd@gmail.com>; Kyle Hoyng <khoyng@marysvilleohio.org>; Hurst, Andrew <Andrew.Hurst@dot.ohio.gov>; Dave Gulden <davegulden@lucplanning.com>; Reeves, Michael <mreeves@cecinc.com>; Corey Theuerkauf <CTheuerkauf@rockfordhomes.net>
Subject: Mitchell Highlands Preliminary Plat

All,

This email is a reminder for reviewing agencies and a notice of meeting change for reviewing agencies and applicants/owners.

Reminder:

Reviewing agencies, please have any comments regarding **Mitchell Highlands – Preliminary Plat** by end of the day this Thursday, September 1.

Meeting change:

The Zoning & Subdivision Committee meeting was rescheduled for **Tuesday, September 6, 2016, at 1:30 PM.**

The Executive Committee meeting will still be held **Thursday, September 8, 2016, at 1:15 PM.**

Bradley J. Bodenmiller

Planner II | LUC Regional Planning Commission


P.O. Box 219 | 9676 E. Foundry | East Liberty, Ohio 43319

P: (937) 666-3431 | F: (937) 666-6203

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15461 US Route 36 • PO Box 393 • Marysville, OH 43040-0393
(937) 642-1826 • (800) 642-1826 • Fax (937) 644-4239
www.ure.com

Your Touchstone Energy® Cooperative 

September 1, 2016

Bradley Bodenmiller
LUC Regional Planning Commission
9676 E. Foundry St.
East Liberty, OH 43319

RE: UREC comments for Woodbine Village Section 2 Phase 2 – Preliminary Plat

Brad,

Noted comments per paper drawings received 08/22/16. Drawing set of 5 sheets issued Preliminary Plat for Woodbine Village Section 2 Phase 2, Dated August 17, 2016:

- 1) Sheet 1 of 5 – Title Sheet
 - a) Number of Lots: 5
 - b) Side Setback: 10 FT per side
 - c) Rear Setback: 25 FT
- 2) Sheet 2 of 5 – Existing Conditions Site Plan
 - d) No comments.
- 3) Sheet 3 of 5 – Layout and Dimension Plat
 - e) Lot numbers 123 – 127
 - f) Question the lot numbers surrounding this section compared to lot numbers assigned under recorded Final Plat for Woodbine Village Section 2 dated 03/25/2016.
 - g) Front Setback: 35 FT
- 4) Sheet 4 of 5 – Utility Plan
 - h) URE has existing primary underground 3 phase circuit installed in front lots. Utilizing 20 FT utility easement that is closest to house designations, ending at 35 FT setback location.
 - i) URE electric services is from rear lot.
 - j) URE easement requirements are 20 feet for underground primary and secondary facilities. Actual location of electrical facilities on lots can be located within a 10 feet easement if adjacent property (Open Space) has additional easements or right of way for ingress and egress totaling a minimum of 20 feet. Also 20 FT easement on North West and South East side of lot 127.
 - k) URE electrical facilities to cross rear lots 123, 124, 125, 126 and 127 with additional electrical facilities on the North West and South East side of lot 127 to existing primary underground 3 phase circuit.
 - l) All easement areas must be continuous for electric facilities.

- m) All easement area must be clear of plant based materials.
 - n) Typically phone and or cable or fiber will go joint use with URE trenching.
 - o) Include road crossing conduits at the end of Woodbine Way for future expansion of electrical facilities. (between lots 127 and 107 as noted on drawing)
- 5) Sheet 5 of 5 – Typical Roadway Sections
- p) Include other utility location such as electric, phone cable etc.
 - q) Reference URE Road or Street Crossing drawing. Attached to email.
 - r) Consider clarifying easement area between utilities.

Still need to work with developer to complete UREC electrical facility layout.

Regards,

Ron Rockenbaugh
Manager of Engineering Services
Union Rural Electric Cooperative, Inc.
PO Box 393
15461 US Route 36
Marysville, Ohio 43040
Direct: (937) 645-9241

THE PARTY IN CHARGE OF THE TRENCHING ALSO HAS THE FOLLOWING RESPONSIBILITIES IN ORDER TO MAINTAIN A SAFE AND EFFECTIVE UNDERGROUND CABLE INSTALLATION:

1.) SCHEDULING OF URE TRENCH / CONDUIT INSPECTION MUST BE AT LEAST 2 DAYS IN ADVANCE. FAILURE TO PROPERLY COORDINATE THIS WORK WITH URE MAY RESULT IN ADDITIONAL TRIP CHARGE(S) AND/OR ADDITIONAL EXCAVATION COSTS TO THE CUSTOMER. URE SHALL DETERMINE THE ROUTING OF THE TRENCH.

2.) NOTIFY OHIO UTILITIES PROTECTION SERVICE (OUPS) 800-362-3764 AT LEAST TWO WORKING DAYS PRIOR TO TRENCHING. THIS ALLOWS TIME TO LOCATE EXISTING UNDERGROUND FACILITIES.

3.) ENTIRE TRENCH ROUTE MUST BE AT LEAST 36 INCHES MINIMUM DEPTH.

4.) CLEARING OF ALL DEBRIS AND STONE FROM THE OPEN TRENCH.

5.) REPAIRING OR RETRENCHING CAVE-INS ETC. AS REQUIRED BY URE.

6.) IF DITCH IS NOT ADEQUATE WHEN A LINE CREW ARRIVES, A TRIP CHARGE ACCORDING TO THE COOPERATIVE'S TERMS AND CONDITIONS FOR SUPPLYING ELECTRIC SERVICE WILL BE ASSESSED.

7.) THE PROPERTY OWNER/EXCAVATOR HAS FULL RESPONSIBILITY FOR REPAIRING CUT/DAMAGED DRAIN TILE OR ANY UNDERGROUND FACILITIES SUCH AS WATER LINES, LEACH BEDS, ELECTRICAL LINES, ETC.

8.) HAND DIG AREAS WHICH ARE WITHIN 2' OF URE OWNED EQUIPMENT.

9.) CALL (837) 842-1825 OR (800) 842-1826 FOR ADDITIONAL INFORMATION AS NECESSARY.

10.) CONDUIT TO HAVE A MINIMUM PITCH OF 1 INCH PER 10 FEET.

11.) INSTALL CONDUIT MARKERS AT ENDS.

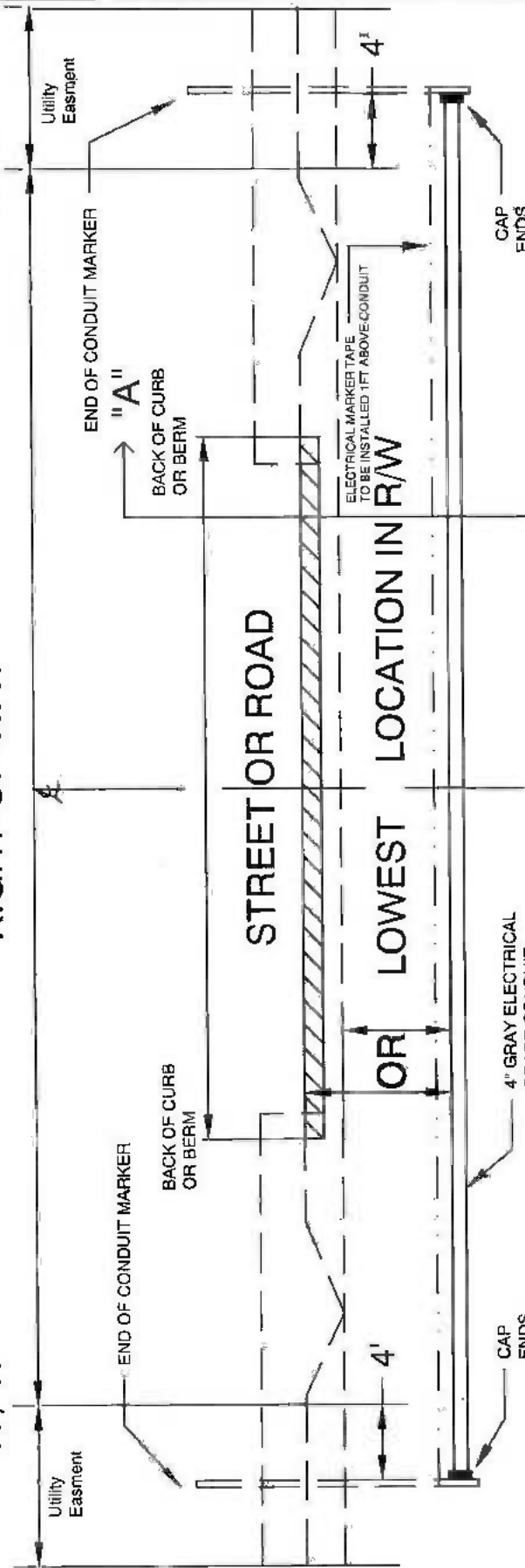
12.) CAP CONDUIT ENDS.

13.) BACKFILL PER GOVERNMENT AUTHORITY OR COMPACTED GRANULAR BACKFILL TO BE MACHINE TAMPED WITH EVERY 6 INCHES OF RISE USING ODOT 304 CRUSHED AGGREGATE.

RIGHT-OF-WAY

R / W

R / W



4" GRAY ELECTRICAL GRADE CONDUIT SCHEDULE 40 OR 80 (NUMBER AND SCHEDULE OF CONDUITS DETERMINED BY URE)

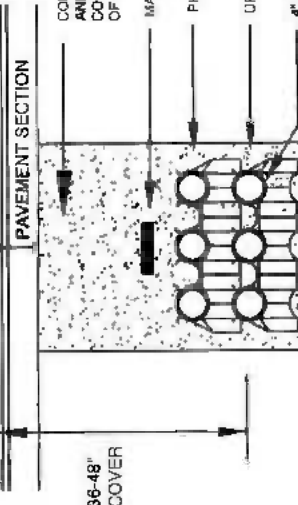
COMPACTED GRANULAR BACKFILL REQUIRED FOR ALL TRENCHES AND PIPE SEPARATION ON ALL MULTI-CONDUIT INSTALLATIONS. CONTROLLED DENSITY FILL ON ALL CONDUIT WITH LESS THAN 2' OF COVER FROM STREET SUBBASE

MARKER TAPE

PHONE & CABLE CONDUITS

URE CONDUITS

4" SCH. 40 OR 80 GRAY ELECTRICAL GRADE CONDUIT (NUMBER AND SCHEDULE OF CONDUITS DETERMINED BY URE)



UTILITY CONDUIT DETAIL

NOT TO SCALE
SECTION "A" - "A"

SECTION "A" - "A"



ROAD OR STREET CROSSING

TYPICAL

10/1/2014



Logan-Union-Champaign regional planning commission

Staff Report – Mitchell Highlands

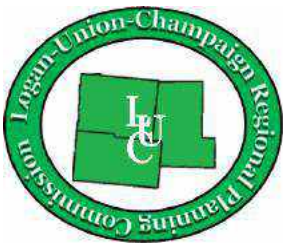
Applicant:	<p>Rockford Homes c/o Corey Theuerkauf 999 Polaris Parkway Columbus, OH 43240 ctheuerkauf@rockfordhomes.net</p> <p>Civil & Environmental Consultants Inc. c/o Mike Reeves 250 Old Wilson Bridge Road, Suite 250 Worthington, OH 43085 mreeves@cecinc.com</p>
Request:	Approval of the Mitchell Highlands Preliminary Plat.
Location:	Located northwest of the Mitchell-Dewitt Road and Industrial Parkway intersection in Jerome Township, Union County.

Staff Analysis:	<p>This Preliminary Plat involves 100.91 acres of land and proposes 164 single-family residential lots.</p> <p>Acreages (08-30 applicant email):</p> <ul style="list-style-type: none">○ 12.61 acres in right-of-way○ 44.59 acres in single-family residential lots○ 43.71 acres in open space <p>Proposed utilities:</p> <ul style="list-style-type: none">○ City of Marysville public water service○ City of Marysville public sanitary waste disposal <p>• Union County Engineer's Office</p> <ul style="list-style-type: none">○ The Engineer's Office submitted comments in a letter dated 09-01-16. The Engineer's Office recommended approval with modifications. Items listed below should be addressed in the Final Construction Drawings: <ol style="list-style-type: none">1. All log jams, dead, diseased (including all Ash) and dying trees shall be removed from streams that will become part of the Union County Ditch Maintenance Program. This work shall be completed as early as permitting allows and prior to home construction within the development for ease of access.
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For Consideration by LUC Regional Planning Commission Executive Committee
09-08-2016



	<ol style="list-style-type: none">2. Our office will require dedication of 30' minimum of right of way on Mitchell-Dewitt Road, along the frontage of the development. Current right of way is 25' from the centerline.3. The submitted traffic impact study is under review.4. We are currently working with the City of Marysville and Union County Health Department in providing access to the proposed sewer system to the existing residences along Industrial Parkway. The plat shows proposed laterals to some of those properties. Some means of access to the sewer system for the remainder of those properties will be required.5. All drainage easements will be reviewed in more detail during the review of the construction drawings.6. The landscaping plan provided will be reviewed in more detail during the review of the construction drawings.7. Detail all flood routing swales, including 100 year water surface elevation, ensuring at least 1' of freeboard between the 100 year water surface and the limits of the drainage easement.8. The stormwater management report will be reviewed by our office during the review of the construction drawings.9. A Ditch Petition will need to be prepared and executed between developer and County prior to approval of the construction drawings.10. Provide detailed construction drawings to private utility providers. <ul style="list-style-type: none">• Union County Soil & Water Conservation District<ul style="list-style-type: none">○ No comments received as of 09-01-16.• Union County Health Department<ul style="list-style-type: none">○ No comments received as of 09-01-16. Standard comments from the Health Department are below:<ol style="list-style-type: none">1. "All efforts should be made to provide a point of connection (via easements and/or services lines) to both water and sewer to any adjacent home, business, or any other facility that is serviced by a
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	<p>private water system (PWS) and or sewage treatment system (STS)."</p> <ol style="list-style-type: none">2. "Any home, business, or other structure that is currently being serviced by a private STS and ends up being situated within 200' of a sanitary sewer easement, shall be brought to the attention of the Union County Health Department."3. "If at any time during development of the subdivision a PWS (well, cistern, etc.) or STS is found, our office shall be immediately contacted for inspection. Proper permitting must be obtained for sealing and or abandonment of a PWS and STS." <p>• City of Marysville</p> <ul style="list-style-type: none">○ The City of Marysville submitted comments in a letter dated 09-01-16. The City recommended approval with modifications. Comments from the City are below:<ul style="list-style-type: none">✓ Please confirm the name of this development (Highlands or Highland) as there are inconsistencies between the Preliminary Plat and landscaping plan.✓ Please define and label all utility easements.✓ Please include language allowing sanitary sewer / lateral installation and maintenance (performed by both public and private entities) within the proposed Reserve "G", Reserve "E", and Reserve "C".✓ Provide a means of access (i.e. wider easement with more stable base) to the proposed sewer between lots 136 and 137, lots 143 and 144, and lots 158 and 159.✓ Per previous correspondence, provide a means (i.e. easement, lateral sewer, etc.) to obtain sanitary service for all existing properties adjacent to this development.<ul style="list-style-type: none">▪ The current sewer extension between lots 136 and 137 does not appear to provide adequate space for the Madry and McDannald properties to connect.▪ For future development purposes, provide a public sewer between lots 25 and 26 to allow
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	<p>the Adler/Cotter property to obtain sewer service.</p> <ul style="list-style-type: none">✓ Please address the following comments in the final construction plans:<ul style="list-style-type: none">▪ General: Extend the utility easements on both sides of the road to the property line at the western limit of Highlands Avenue.▪ Sanitary Sewer: i) Maximum sanitary sewer manhole spacing is 400 feet. It appears several manholes can be eliminated by complying with out available spacing. ii) Provide the sanitary sewer vertical design along the western portion of Highlands Avenue to ensure gravity flow.▪ Water: i) Provide valves on each run of all tees and crosses. ii) Provide a valve prior to all dead end hydrants. <p>• Jerome Township</p> <ul style="list-style-type: none">○ Jerome Township submitted comments in a letter dated 08-31-16. “Based on that [Preliminary Plat] review the plan, layout, and lots as shown appear to meet the requirements of the zoning as approved by the township....It is our recommendation though that the applicant secure approval of the Final Development Plan from the township prior to submitting for Final Plat once it is clear that the engineering works.” <p>• ODOT District 6</p> <ul style="list-style-type: none">○ Per an email dated 09-01-16, ODOT had no comments. <p>• Union Rural Electric</p> <ul style="list-style-type: none">○ No comments received as of 09-01-16. <p>• LUC Regional Planning Commission</p> <ol style="list-style-type: none">1. Sheet 000, 201, 301: Note the adjacent subdivision, Mitchell Crossing, on Plat (§313, 7.).2. Sheet 200, 201: Some lot and reserve dimensions are missing. Add those dimensions—see lots 39, 53, 54, 95, 104, and the reserves in general (§313, 15.).
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Logan-Union-Champaign regional planning commission

Staff Report – Mitchell Highlands

	<ol style="list-style-type: none">3. Temporary easements are required on temporary turnarounds that extend beyond the normal right-of-way limits (§408, 7.).4. Label easements and widths. Easements for water and sewer must be a minimum of 20' and 10' for other utilities (§313, 12.; §414).5. A letter from Jerome Township certifying that the Final Plat conforms with the Township's zoning is required before any approval of the Final Plat may be granted (§401; §413, 2.).6. All bonds, surety, letters of credit, etc. shall be approved by the County Commissioners before any approval of the Final Plat may be granted (§326).
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Staff Recommendations:	Staff recommends APPROVAL of the Mitchell Highlands Preliminary Plat with the condition that all comments/modifications from LUC and reviewing agencies shall be incorporated into the Construction Drawings and Final Plat. The developer shall ensure that prior to Final Plat submittal, all requirements and items outlined in the Union County Subdivision Regulations are incorporated in the Final Plat prior to submittal.
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Z&S Committee Recommendations:	
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Logan-Union-Champaign
regional planning commission

Director: Dave Gulden, AICP

Application for Preliminary Plat Approval

Date: 8/10/2016

Name of Subdivision: Mitchell Highlands

Location: West side of Industrial Parkway, North of Mitchell-Dewitt Road

Township: Jerome

Military Survey: NO. 5134

Complete Parcel(s) Identification Number (PIN): 8/10/2016

Have **ALL** Sketch Plan review letters been obtained? X (Engineer, SWCD, Board of Health)

Name of Applicant: Rockford Homes

Address: 999 Polaris Parkway

City: Columbus

State: Ohio Zip: 43240

Phone: (614) 785-0015

Fax: (614) 785-9181

Email: info@rockfordhomes.net

Name of Owner of property to be subdivided: Donald Rose, Albert Schoby, Brian Barnhill

Address: 9251-9259 Industrial Parkway

City: Plain

State: Ohio Zip: 43064

Phone: _____

Fax: _____

Email: _____

Name of Applicant's Surveyor or Engineer: Civil & Environmental Consultant, Inc.

Address: 250 Old Wilson Bridge Road, Suite 250

City: Worthington

State: Ohio Zip: 43085

Phone: (614) 540-6633

Fax: (614) 540-6638

Email: mreeves@cecinc.com

Proposed Acreage to be Subdivided: 100.91

Current Zoning Classification: PUD

Proposed Zoning Changes: PUD

Proposed Land Use: Single Family (Detached units and open space)

Development Characteristics

Number of proposed lots: 164

Typical lot width (feet): 70

Number of proposed units: 164

Typical lot area (sq. ft.): 11,874

Single Family Units: 164

Multi-Family Units: _____

Acreage to be devoted to recreation, parks or open space: 43.71

9676 E. Foundry St, PO Box 219

East Liberty, Ohio 43319

• Phone: 937-666-3431 • Fax: 937-666-6203

• Email: luc-rpc@lucplanning.com • Web: www.lucplanning.com



Logan-Union-Champaign regional planning commission

Director: Dave Gulden, AICP

Recreation facilities to be provided: _____

Do you propose deed restrictions? (If yes, attach a copy): Yes _____ No X

1. Proposed method of Supplying Water Service: City of Marysville public water

2. Proposed method of Sanitary Waste Disposal: City of Marysville public sanitary sewer
(If on-site disposal systems are proposed, please attach letter certifying the County Board of Health approval)

3. Requests for Variances from Subdivision Regs: _____
(If yes, please explain variances and reason for variances)

List all proposed improvements and utilities and state your intention to install or provide a guarantee prior to final plat approval:

Improvement	Installation	Guarantee
a. Streets	X	
b. Sanitary Sewer	X	
c. Storm Sewer	X	
d. Waterline	X	
e. _____		

Date filed: _____ **For Official Use**
Filing Fee: _____

Date of Meeting of Planning Commission: _____

Action by Planning Commission: _____

If rejected, reason(s) for: _____

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East Liberty, Ohio 43319

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Logan-Union-Champaign regional planning commission

Director: Dave Gulden, AICP

Preliminary Plat Review Checklist

#	Required Item Description	Have	Need
1	Drawn at a scale not less than 1:100 and shall be on one or more sheets 24" X 36"	X	
2	Proposed name of the subdivision, which shall not duplicate or closely approximate the name of any other subdivision in the county.	X	
3	Location by section, range, and township or Virginia Military Survey (VMS).	X	
4	Names, addresses and telephone numbers of the owner, subdivider, and professional surveyor or professional engineer who prepared the plat; and the name, address and telephone number of the professional surveyor who performed the boundary survey.	X	
5	Date of survey.	X	
6	Scale of the plat, north point, and date.	X	
7	Boundaries of the subdivision and its acreage.	X	
8	Names of adjacent subdivisions, owners of record of adjoining parcels of unsubdivided land, and the location of their boundary lines.	X	
9	Locations, widths, and names of existing streets, railroad rights-of-way, easements, parks, permanent buildings, and corporation and township lines; location of wooded areas and other significant natural features; soil types and soil type limits; limits of Flood Hazard zones.	X	
10	Zoning classification of the tract and adjoining properties.	X	
11	Existing contours (USGS datum) at an interval of not greater than two feet if the slope of the ground is fifteen percent or less; and not greater than five feet where the slope is more than fifteen percent.	X	
12	Existing sewers, water and gas mains, culverts and other underground structures, and electric and telephone poles and lines and other above ground structures within and adjacent to the tract.	X	
13	Layout, names and widths of proposed streets and easements.	X	
14	Building setback lines with dimensions.	X	
15	Layout and dimensions of all proposed water and sewer lines, showing their connections with the existing systems, and all proposed easements for utility, water and sewer lines.	X	
16	Layout, numbers and approximate dimensions of each lot. When lots are located on a curve or when side lot lines are not at ninety degree angles, the width at the building line shall be shown, if it is less than the frontage width. Location of access from lots to the proposed streets shall be shown.	X	
17	Parcels of land to be reserved for public use or to be reserved by covenant for residents of the subdivision.	X	

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18	The limits of all Flood Hazard Areas (zone A, AE, B, and X) as determined by the Federal Emergency Management Agency (show the FEMA map number and date). The Base Flood Elevation shall be determined and shown. Minimum first floor elevations shall be shown for all lots located within Flood Hazard Areas.	X	
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Supplementary Information

19	Statement of proposed use of lots, giving the type and number of dwelling units; and type of business or industry if use is not residential.	N/A	N/A
20	Description of proposed covenants and restrictions.	X	
21	Description of proposed zoning changes.	N/A	N/A
22	Typical sections and tentative profiles of streets and other related improvements as required in Article 5. Calculations as required to justify horizontal and vertical curves, pipe sizes, etc. The County Engineer shall have approved the layout and design of the lots, streets and other improvements prior to the Preliminary Plat approval.	X	
23	A preliminary drainage plan which shall identify adequate drainage outlets and shall contain adequate measures for control of erosion and siltation and for surface water management in accordance with Article 5 and the Technical Design Standards. The County Soil and Water Conservation District shall have approved the preliminary drainage plan prior to Preliminary Plat approval.	X	
24	If the subdivider proposes individual household sewage systems, the County Board of Health or the OEPA shall have approved the use of individual household sewage systems prior to the Preliminary Plat approval.	N/A	N/A
25	If the subdivider proposes individual household wells, the subdivider shall supply evidence acceptable to the County Board of Health of the availability of satisfactory water. The County Board of Health or the OEPA shall have approved the use of individual household wells prior to the Preliminary Plat approval.	N/A	N/A
26	Letters from utility companies, as required, indicates approval of easement locations and widths prior to the Preliminary Plat approval.	X	
27	A vicinity map at scale of generally not more than six thousand feet to an inch shall be shown on, or shall accompany, the Preliminary Plat. This map shall show all existing subdivisions, roads, and tract lines, together with the names of the owners of land immediately adjoining the proposed subdivision and between it and the nearest existing thoroughfares. It shall also show the most advantageous connections between the roads in the proposed subdivision and those of the neighboring areas.	X	
28	Preliminary Plat Fees: Payment/Check made out to LUC Regional Planning Commission, based on the current fee schedule.	X	

Noted
on app.
3/1/13

9676 E. Foundry St, PO Box 219
East Liberty, Ohio 43319

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• Email: luc-rpc@lucplanning.com • Web: www.lucplanning.com

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SCALE IN FEET
0 200 400

PRELIMINARY PLAT MITCHELL HIGHLANDS 2016

VIRGINIA MILITARY SURVEY NO. 5134
JEROME TOWNSHIP, COUNTY OF UNION, STATE OF OHIO

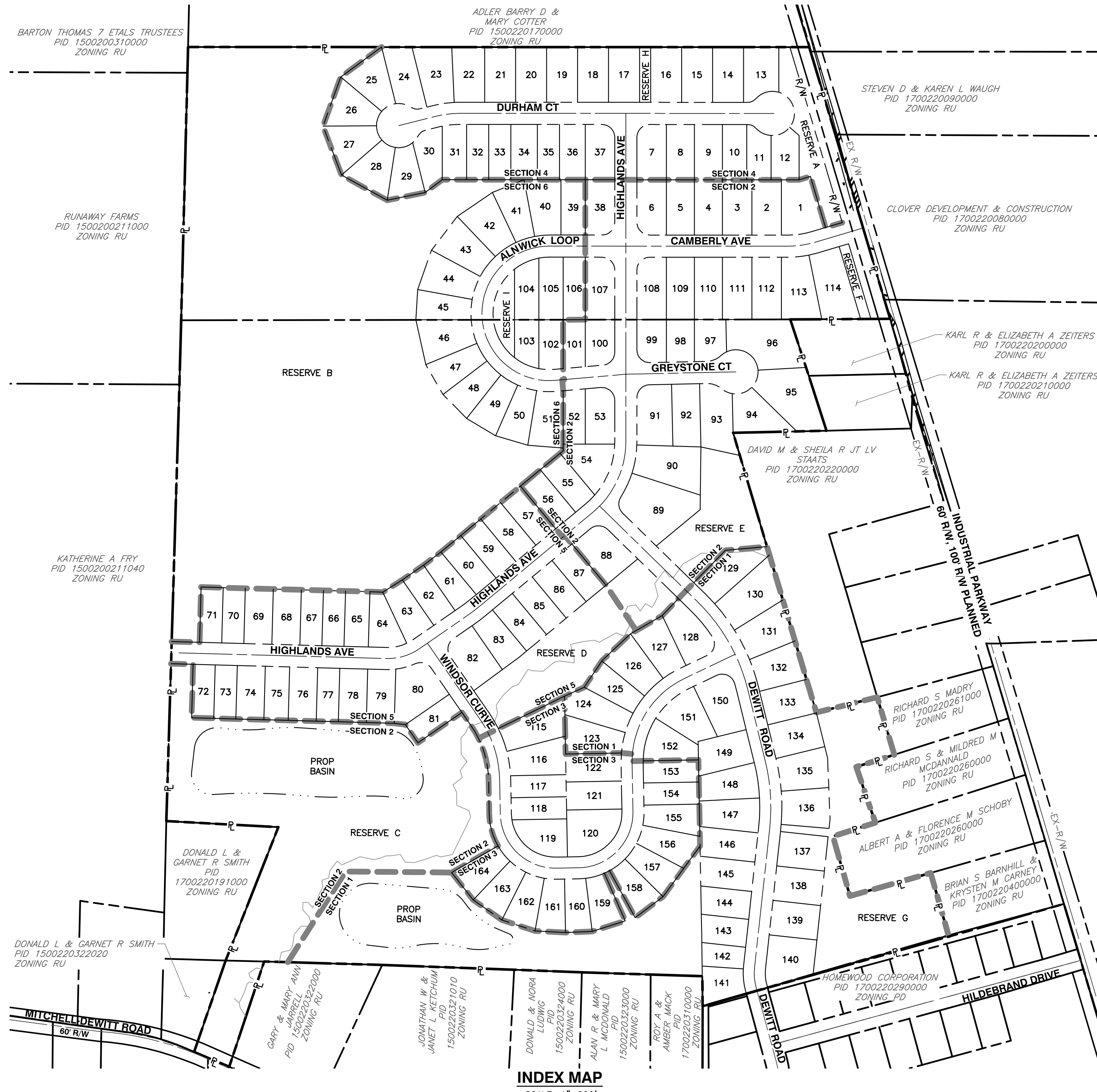
DRAWING INDEX		
DRAWING NO.	DESCRIPTION	SHEET TITLE
1	C000	COVER SHEET
2	C100	EXISTING CONDITIONS
3	C200	SITE PLAN
4	C201	SITE PLAN
5	C300	UTILITY PLAN
6	C301	UTILITY PLAN
7	C400	PRE-DEVELOPED TRIBUTARY AREA
8	C401	POST-DEVELOPED TRIBUTARY AREA
9	C600	STREET PROFILES
10	C601	STREET PROFILES
11	C602	STREET PROFILES
12	C603	STREET PROFILES

GENERAL SUMMARY

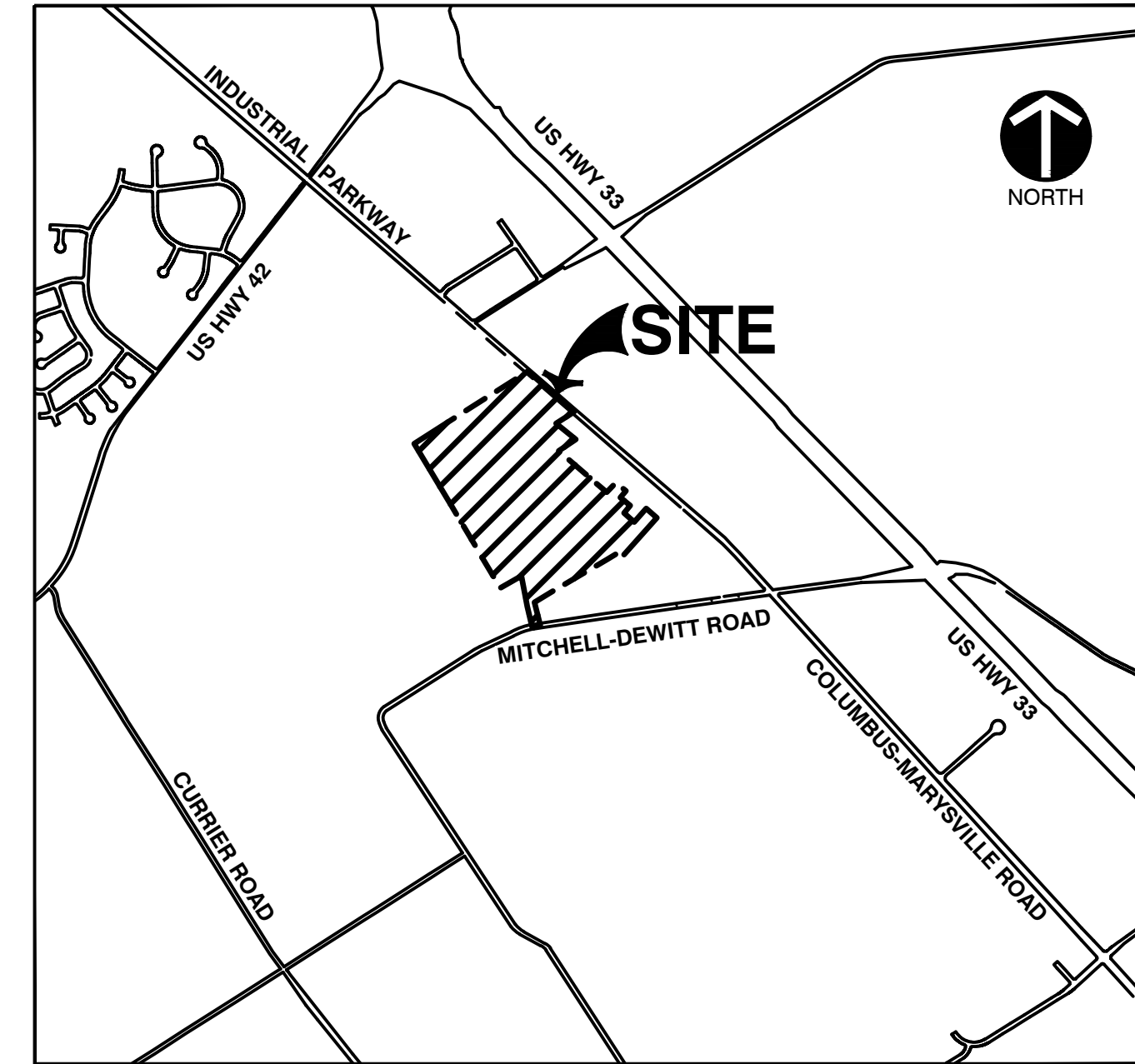
TOTAL ACREAGE	100.91± AC.
RIGHT-OF-WAY INDUSTRIAL PARKWAY (INCLUDES FUTURE)	0.88 AC.
NET ACREAGE	100.03± AC.
NUMBER OF LOTS	164
GROSS DENSITY	1.63 DU/AC.
NET DENSITY	1.64 DU/AC.
OPEN SPACE	43.30 AC. (42.9%)
EXISTING ZONING	PUD
EXISTING USE	RESIDENTIAL, AGRICULTURE AND WOODLANDS
PROPOSED ZONING	PUD
PROPOSED DEVELOPMENT USE	SINGLE FAMILY (DETACHED UNITS & OPEN SPACE)
MINIMUM FRONTAGE	60' (MEASURED AT THE BUILDING SETBACK LINE)
FRONT YARD SETBACK	25' (FROM EDGE OF R/W)
SIDE YARD SETBACK	5' EACH SIDE THE FOLLOWING LOTS SHALL HAVE 10' EACH SIDE: 13-24, 92-94 AND 127-138
REAR YARD SETBACK	30'
AVERAGE LOT SIZE	11,874 SF (0.27 AC)
TREE PRESERVATION ACREAGE	4.7 AC
TREES TO REMAIN	34.6 AC (74.4%)
TREES TO REMAIN (PREVIOUS PLAN)	25.6 AC (55.0%)

REFERENCE

- EXISTING TOPOGRAPHIC IS BASED ON FEILD RUN SURVEY PERFORMED BY CIVIL & ENVIRONMENTAL CONSULTANTS, INC ON 7/26/16.
- SOILS INFORMATION IS PER USDA WEB SOIL SURVEY ACCESSED 6/28/16.
- PARCEL INFORMATION PROVIDED BY UNION COUNTY AUDITOR, ACCESSED 5/28/2015



INDEX MAP
SCALE: 1"=200'



VICINITY MAP
1"=2000'

NOTES

- OPEN SPACE TO BE OWNED AND MAINTAINED BY HOMEOWNER'S ASSOCIATION.
- CONSERVATION EASEMENT TO BE PROVIDED FOR STREAM BUFFER AREA.
- OPEN SPACE PROVIDED FOR PASSIVE USE BY RESIDENTS, PRESERVATION OF NATURAL VEGETATION AND/OR STORMWATER MANAGEMENT AND LANDSCAPING.
- SANITARY SEWER AND WATER SERVICE TO BE PROVIDED BY THE CITY OF MARYSVILLE AND DESIGNED PER MARYSVILLE STANDARDS.
- STREETS AND STORMWATER MANAGEMENT SHALL MEET THE STANDARDS OF UNION COUNTY.
- RESERVES SHALL BE DEDICATED AS OPEN SPACE.
- PARKING SHALL NOT BE PERMITTED IN CUL-DE-SACS OR ON THE SIDE OF THE STREET THAT FIRE HYDRANTS ARE INSTALLED.
- ALL OF MITCHELL HIGHLANDS IS IN THE FLOOD HAZARD ZONE X (OUTSIDE 500-YEAR FLOODPLAIN) AS SHOWN ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAPS, MAP NUMBER 39159C0388D, EFFECTIVE DATE DECEMBER 16, 2008.
- LOTS SHALL BE GRADED SO AS TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS. THE GRADE AWAY FROM THE FOUNDATION WALLS SHALL FALL A MINIMUM OF 6 INCHES WITHIN THE FIRST 10 FEET.
- STORMWATER MANAGEMENT BASINS WILL BE PROVIDED WITH FINAL ENGINEERING PLANS TO HOLD THE POST-DEVELOPED RUNOFF RATES EQUAL TO THE CRITICAL STORM PRE-DEVELOPED RATES.
- FUTURE WALKING PATH THROUGH WOODED AREA TO BE PROVIDED BY ROCKFORD HOMES. LOCATION TO BE COORDINATED WITH HOMEOWNERS.
- BE ADVISED: A SUBSURFACE DRAINAGE SYSTEM MAY EXIST ON THIS SITE. THE CONTRACTOR SHALL MAINTAIN ALL EXISTING DRAIN PIPES OR TILES ENCOUNTERED IN THE FIELD AND IF DAMAGED, REPAIR OR REPLACE THEM IMMEDIATELY WITH THE SAME SIZE AND QUALITY OF MATERIALS AS FOUND. ALL DRAINAGE TILES ENCOUNTERED IN THE FIELD SHALL BE CONNECTED TO THE STORM SEWER SYSTEM AT A STRUCTURE.
- SEE LANDSCAPING PLANS FOR ADDITIONAL LANDSCAPING DETAILS.

OWNER
DONALD ROSE,
ALBERT SCHOBY,
BRAIN BARNHILL
9251-8259 INDUSTRIAL PARKWAY
PLAIN CITY, OHIO 43064

DEVELOPER
ROCKFORD HOMES
999 POLARIS PARKWAY
COLUMBUS, OHIO 43240
PHONE: (614) 785-0015
CONTACT: DON WICK

ENGINEER/SURVEYOR
CIVIL & ENVIRONMENTAL
CONSULTANTS, INC.
250 OLD WILSON BRIDGE ROAD, SUITE 250
WORTHINGTON, OHIO 43085
PHONE: (614) 540-6633
CONTACT: MIKE REEVES
EMAIL: mreeves@cecinc.com

PRELIMINARY PLAT
COVER SHEET

ROCKFORD HOMES
MITCHELL HIGHLANDS
JEROME TOWNSHIP
UNION COUNTY, OHIO

C&E
Civil & Environmental Consultants, Inc.
250 Old Wilson Bridge Road · Suite 250 · Worthington, OH 43085
614-540-6633 · 888-598-6808
www.cecinc.com

REVISION RECORD

NO.	DATE	DESCRIPTION
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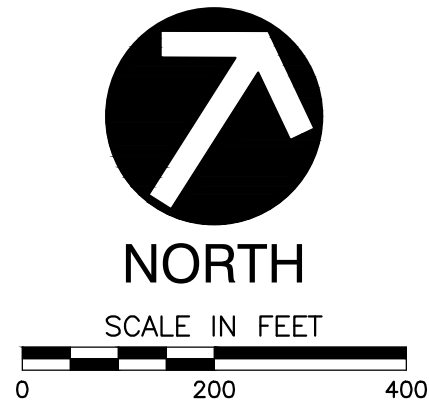
DRAWING NO.:

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SHEET 1 OF 12

*HAND SIGNATURE ON FILE

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LEGEND

- EXISTING PROPERTY BOUNDARY
- EXISTING PROPERTY LINE
- EXISTING RIGHT OF WAY
- EXISTING PAVEMENT
- SAN EXISTING SANITARY SEWER LINE
- ST EXISTING STORM SEWER LINE
- W EXISTING WATERLINE
- EXISTING MANHOLE
- EXISTING FIRE HYDRANT
- EXISTING TREE LINE
- EXISTING STREAM
- 970 EXISTING INDEX CONTOUR
- 971 EXISTING INTERMEDIATE CONTOUR
- SOIL TYPE BOUNDARY
- SOIL TYPE
- EXISTING WETLAND

SITE SOIL DATA

Ble1A1 - BLOUNT SILT LOAM, END MORaine, 0 TO 2 PERCENT SLOPES (D)
Ble1B1 - BLOUNT SILT LOAM, END MORaine, 2 TO 4 PERCENT SLOPES (D)
Big1B1 - BLOUNT SILT LOAM, GROUND MORaine, 2 TO 4 PERCENT SLOPES (D)
Gwd5C2 - GLYNWOOD CLAY LOAM, 6 TO 12 PERCENT SLOPES, ERODED (D)
Gwe1B2 - GLYNWOOD SILT LOAM, END MORaine, 2 TO 6 PERCENT SLOPES, ERODED (D)

REVISION RECORD

NO	DATE	DESCRIPTION

C&E
Civil & Environmental Consultants, Inc.
250 Old Wilson Bridge Road · Suite 250 · Worthington, OH 43085
614-540-6633 · 888-598-6808
www.ceinc.com

**ROCKFORD HOMES
MITCHELL HIGHLANDS
JEROME TOWNSHIP
UNION COUNTY, OHIO**

PRELIMINARY PLAT
EXISTING CONDITIONS

DATE:	AUGUST 2016	DRAWN BY:	NSS
DWG SCALE:	1"=200'	CHECKED BY:	MCR
PROJECT NO:	162-554	APPROVED BY:	CLL*

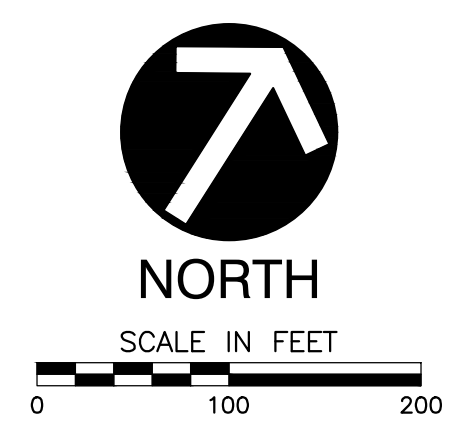
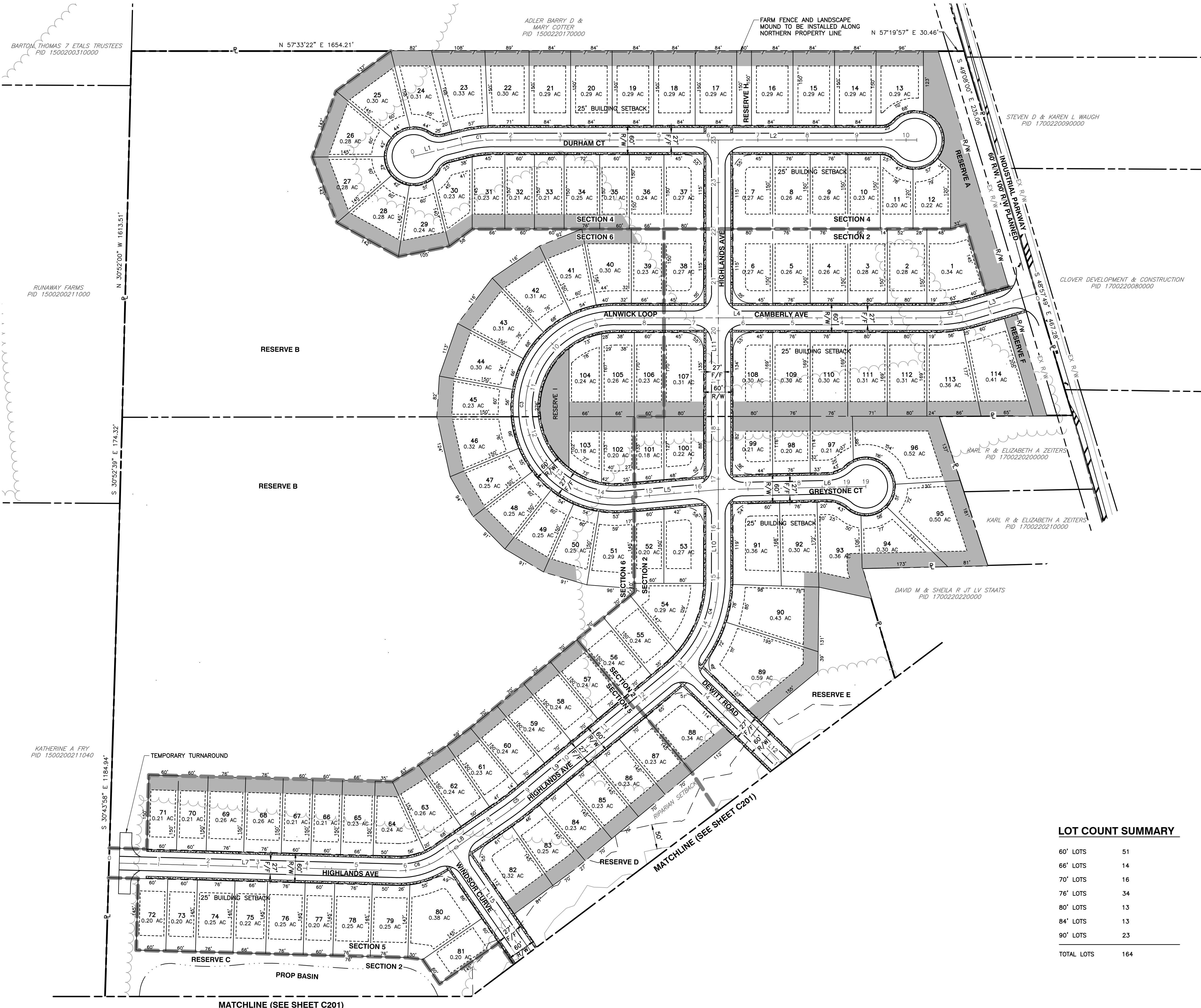
DRAWING NO.:

C100

SHEET 2 OF 12

*HAND SIGNATURE ON FILE

P:\2016\162-5541 - CADD\Drawings\162-5541 - Preliminary Plan\162-5541 - Site Plan\162-5541 - Preliminary Plan.dwg - 11/15/2016 11:58 AM



CENTERLINE TANGENT TABLE		
LINE	BEARING	DISTANCE
L1	N43°29'26"E	105.16'
L2	N57°33'08"E	401.69'
L3	N41°02'11"E	137.05'
L4	N57°33'08"E	440.87'
L5	S52°33'08"W	192.55'
L6	N56°19'28"E	298.81'
L7	N59°07'05"E	563.01'
L8	N22°51'05"E	129.03'
L9	N17°53'28"E	398.94'
L10	N32°26'52"W	178.52'
L11	S32°27'01"E	347.52'
L12	S78°07'06"E	371.63'
L13	S46°12'17"E	199.58'
L14	S26°13'59"E	379.43'
L15	S67°08'55"E	250.68'
L16	S33°28'58"E	91.65'
L18	N33°28'58"W	130.99'
L19	N32°02'48"E	151.91'

CENTERLINE CURVE TABLE					
CURVE #	RADIUS	DELTA	LENGTH	CHL	CHB
C1	250.00'	14°03'42"	61.36'	61.20'	N 50°31'17" E
C2	250.00'	16°30'57"	72.06'	71.81'	N 49°17'39" E
C3	182.50'	18°36'22"	59.121'	364.57'	N 34°38'35" W
C4	250.00'	50°20'20"	219.65'	212.65'	N 07°16'42" W
C5	500.00'	4°57'37"	43.29'	43.27'	N 20°22'17" E
C6	150.00'	36°15'59"	94.95'	93.37'	N 40°59'05" E
C7	300.00'	33°39'57"	176.27'	173.75'	S 50°18'56" E
C8	150.00'	90°00'00"	235.62'	212.13'	S 78°28'58" E
C9	150.00'	90°00'00"	235.62'	212.13'	N 11°31'02" E
C10	250.00'	65°31'41"	285.93'	270.59'	N 00°43'05" W
C11	500.00'	31°54'49"	278.50'	274.91'	S 62°09'42" E
C12	525.00'	19°58'18"	183.00'	182.07'	S 36°13'08" E
C13	150.00'	21°27'30"	56.18'	55.85'	S 36°57'44" E

LOT COUNT SUMMARY	
60' LOTS	51
66' LOTS	14
70' LOTS	16
76' LOTS	34
80' LOTS	13
84' LOTS	13
90' LOTS	23
TOTAL LOTS	164

LEGEND	
	EXISTING PROPERTY BOUNDARY
	EXISTING PROPERTY LINE
	EXISTING RIGHT OF WAY
	EXISTING TREE LINE
	EXISTING STREAM
	PROPOSED PROPERTY LINE
	PROPOSED CENTER LINE
	PROPOSED RIGHT OF WAY
	PROPOSED SETBACK
	PROPOSED TREE PRESERVATION OR MOUNDING AND SCREENING
	PROPOSED SIDEWALK

REVISION RECORD

NO.	DATE	DESCRIPTION

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614-540-6633 • 888-598-6808
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PRELIMINARY PLAT
SITE PLAN

DRAWING NO.: **C200**

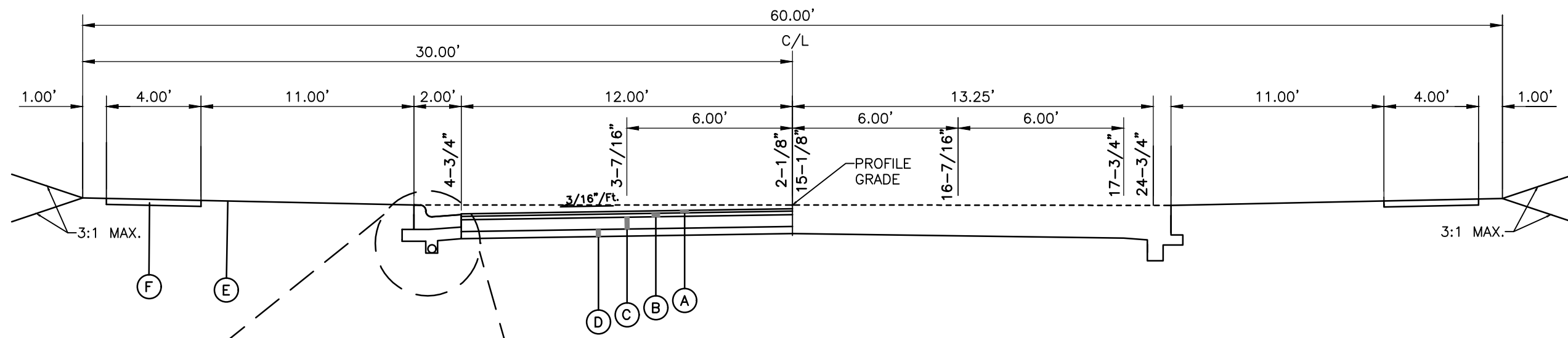
SHEET 3 OF 12

DATE: AUGUST 2016
DRAWN BY: NSS
DWG SCALE: 1"=100'
PROJECT NO: 162-5541
APPROVED BY: CLL*

DATE: 8/18/2016 11:58 AM
MCR
162-5541
CLL*

ROCKFORD HOMES
MITCHELL HIGHLANDS
JEROME TOWNSHIP
UNION COUNTY, OHIO

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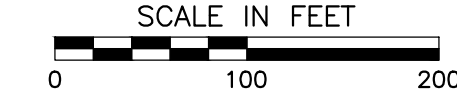


PAVEMENT LEGEND

- (A) 1 1/4" HOT MIXED, HOT LAID ASPHALT CONCRETE, SURFACE COURSE, ITEM 448
- (B) 1 3/4" HOT MIXED, HOT LAID ASPHALT CONCRETE, INTERMEDIATE COURSE, ITEM 448
- (C) 6" BITUMINOUS AGGREGATE BASE, ITEM 301
- (D) 4" AGGREGATE BASE, ITEM 304
- (E) SEEDING AND MULCHING
- (F) STANDARD SIDEWALK (4" THICK)



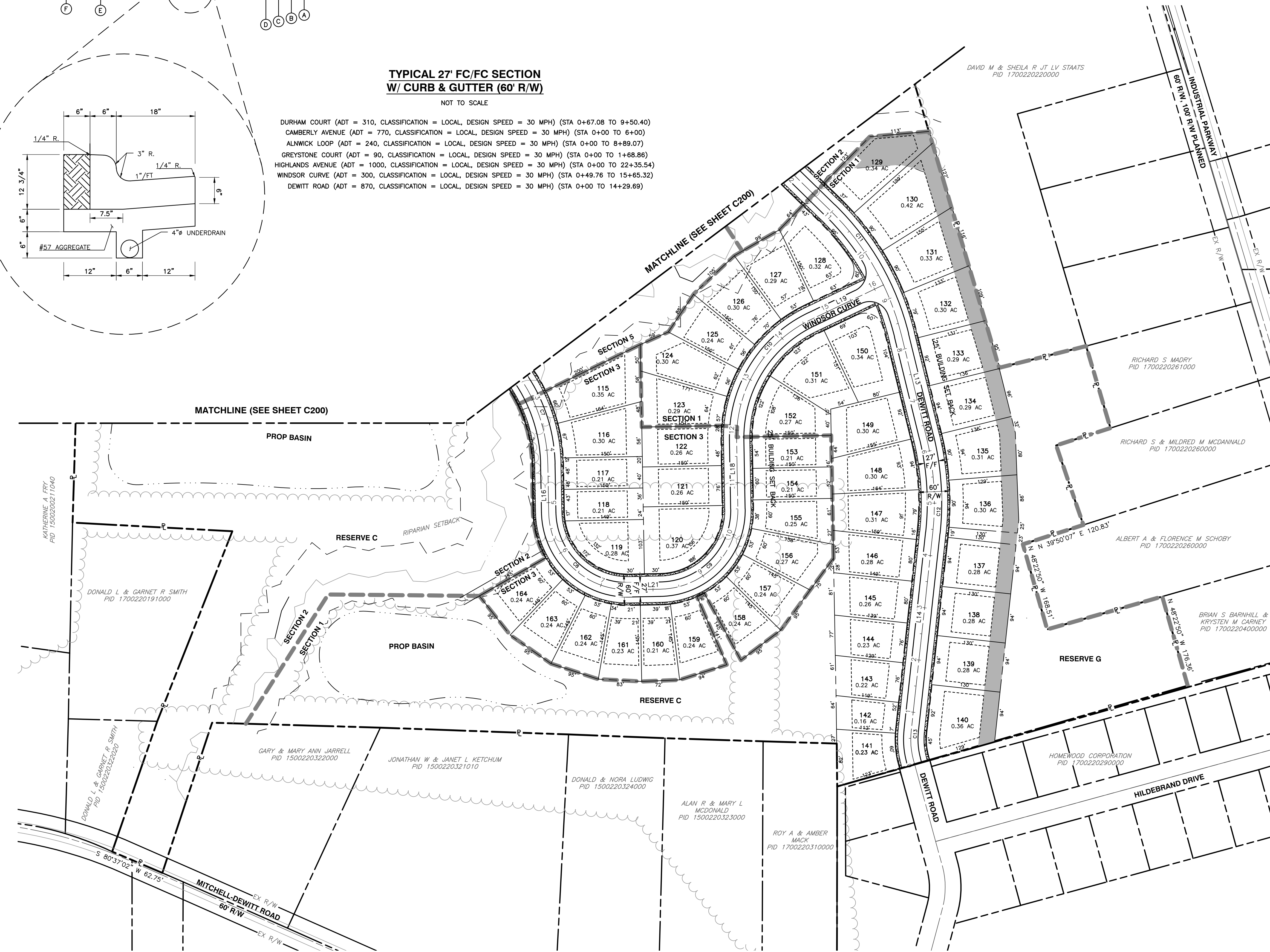
NORTH



TYPICAL 27' FC/FC SECTION W/ CURB & GUTTER (60' R/W)

NOT TO SCALE

DURHAM COURT (ADT = 310, CLASSIFICATION = LOCAL, DESIGN SPEED = 30 MPH) (STA 0+67.08 TO 9+50.40)
CAMBERLY AVENUE (ADT = 770, CLASSIFICATION = LOCAL, DESIGN SPEED = 30 MPH) (STA 0+00 TO 6+00)
ALNWICK LOOP (ADT = 240, CLASSIFICATION = LOCAL, DESIGN SPEED = 30 MPH) (STA 0+00 TO 8+89.07)
GREYSTONE COURT (ADT = 90, CLASSIFICATION = LOCAL, DESIGN SPEED = 30 MPH) (STA 0+00 TO 1+68.86)
HIGHLANDS AVENUE (ADT = 1000, CLASSIFICATION = LOCAL, DESIGN SPEED = 30 MPH) (STA 0+00 TO 22+35.54)
WINDSOR CURVE (ADT = 300, CLASSIFICATION = LOCAL, DESIGN SPEED = 30 MPH) (STA 0+49.76 TO 15+65.32)
DEWITT ROAD (ADT = 870, CLASSIFICATION = LOCAL, DESIGN SPEED = 30 MPH) (STA 0+00 TO 14+29.69)



CENTERLINE TANGENT TABLE

LINE	BEARING	DISTANCE
L1	N43°29'26"E	105.16'
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C9	150.00'	90°00'00"	235.62'	212.13'	N 11°31'02" E
C10	250.00'	65°31'41"	285.93'	270.59'	N 00°43'05" W
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C12	525.00'	19°58'18"	183.00'	182.07'	S 36°13'08" E
C13	150.00'	21°27'30"	56.18'	55.85'	S 36°57'44" E

LEGEND

	EXISTING PROPERTY BOUNDARY
	EXISTING PROPERTY LINE
	EXISTING RIGHT OF WAY
	EXISTING TREE LINE
	EXISTING STREAM
	PROPOSED PROPERTY LINE
	PROPOSED CENTER LINE
	PROPOSED RIGHT OF WAY
	PROPOSED SETBACK
	PROPOSED TREE PRESERVATION OR MOUNDING AND SCREENING
	PROPOSED SIDEWALK

REVISION RECORD

NO	DATE	DESCRIPTION



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**ROCKFORD HOMES
MITCHELL HIGHLANDS
JEROME TOWNSHIP
UNION COUNTY, OHIO**

PRELIMINARY PLAT SITE PLAN

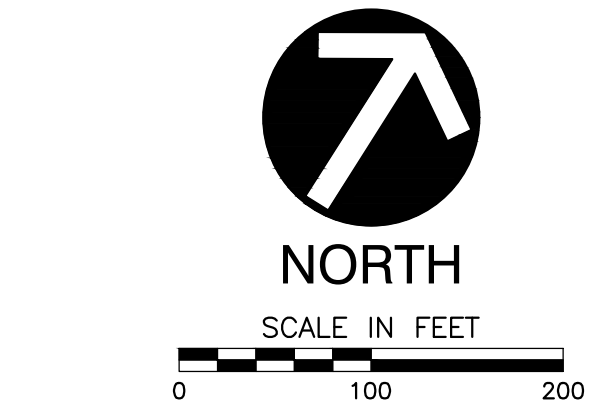
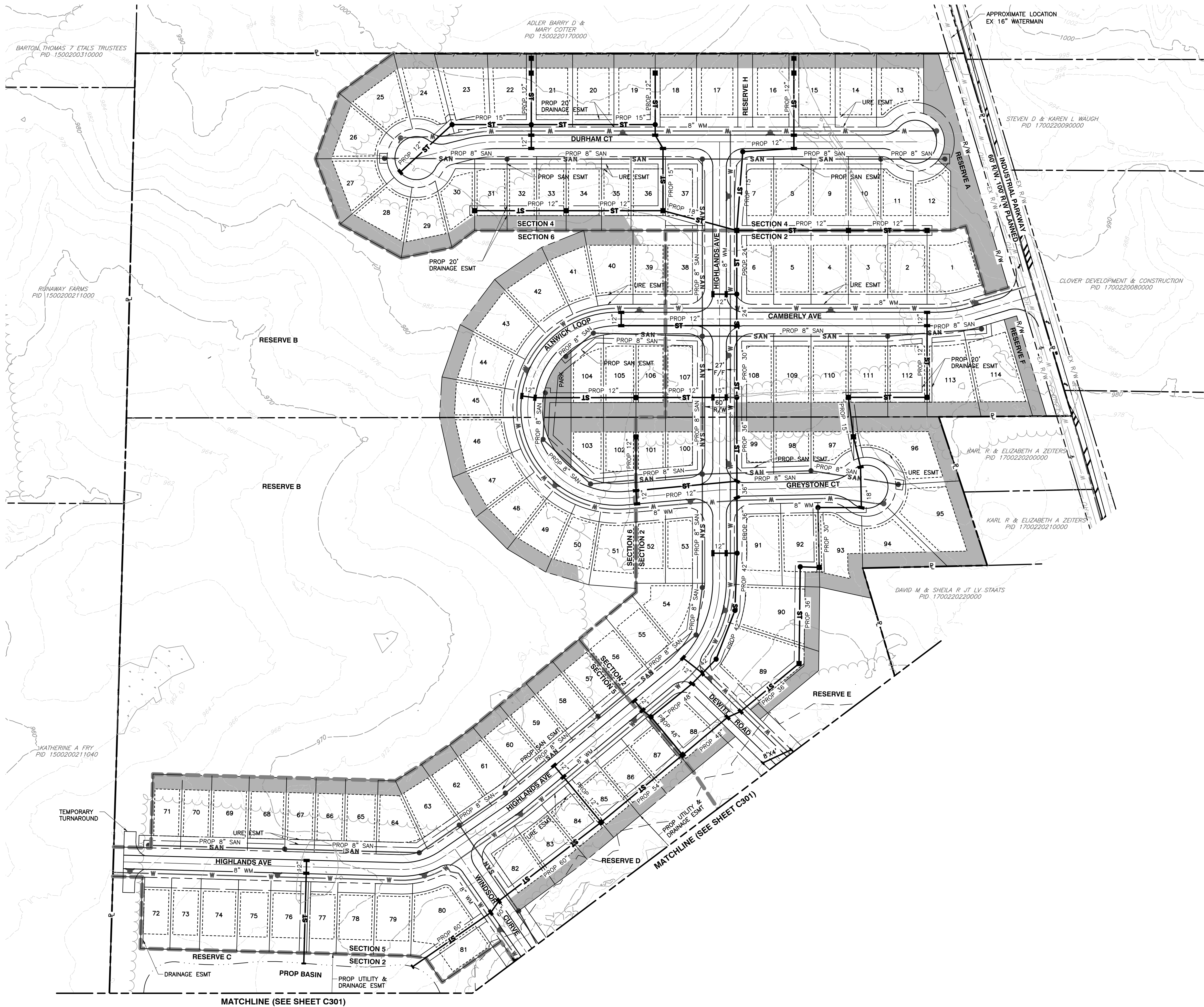
DRAWING NO.:

C201

SHEET 4 OF 12

HAND SIGNATURE ON FILE

A 12/16/182-554 - CADD/Design/Utility Preliminary Plan/162554-CDD-Opening & Utility Preliminary Plan/LS/08/10/2016 - nctm/renepj - LP 8/18/2016 11:57 AM



LEGEND

- EXISTING PROPERTY BOUNDARY
- EXISTING PROPERTY LINE
- EXISTING RIGHT-OF-WAY
- EXISTING PAVEMENT
- EXISTING TREE LINE
- EXISTING STREAM
- EXISTING SANITARY SEWER LINE
- EXISTING STORM SEWER LINE
- EXISTING WATERLINE
- EXISTING MANHOLE
- EXISTING FIRE HYDRANT
- EXISTING INDEX CONTOUR
- EXISTING INTERMEDIATE CONTOUR
- PROPOSED PROPERTY LINE
- PROPOSED CENTER LINE
- PROPOSED RIGHT-OF-WAY
- PROPOSED SETBACK
- PROPOSED EASEMENT
- PROPOSED EDGE OF PAVEMENT
- PROPOSED WATERLINE
- PROPOSED SANITARY SEWER
- PROPOSED SANITARY MANHOLE
- PROPOSED FIRE HYDRANT
- PROPOSED WATERVALVE
- PROPOSED STORM SEWER
- PROPOSED CATCH BASIN
- PROPOSED CURB INLET
- PROPOSED STORM MANHOLE
- PROPOSED ENDWALL
- EXISTING WETLAND
- PROPOSED TREE PRESERVATION OR MOUNDING AND SCREENING

NOTE

UTILITY EASEMENT FOR URE ELECTRIC FACILITIES HAS POSSIBLE JOINT USE FOR PHONE, CABLE OR OTHER PRIVATE COMMUNICATION ENTITIES (FIBER). STREET CROSSINGS AND ADJACENT PROPERTY PATHS TO BE DETERMINED WHEN FACILITIES LAYOUT IS COMPLETE.

REVISION RECORD	
NO	DATE

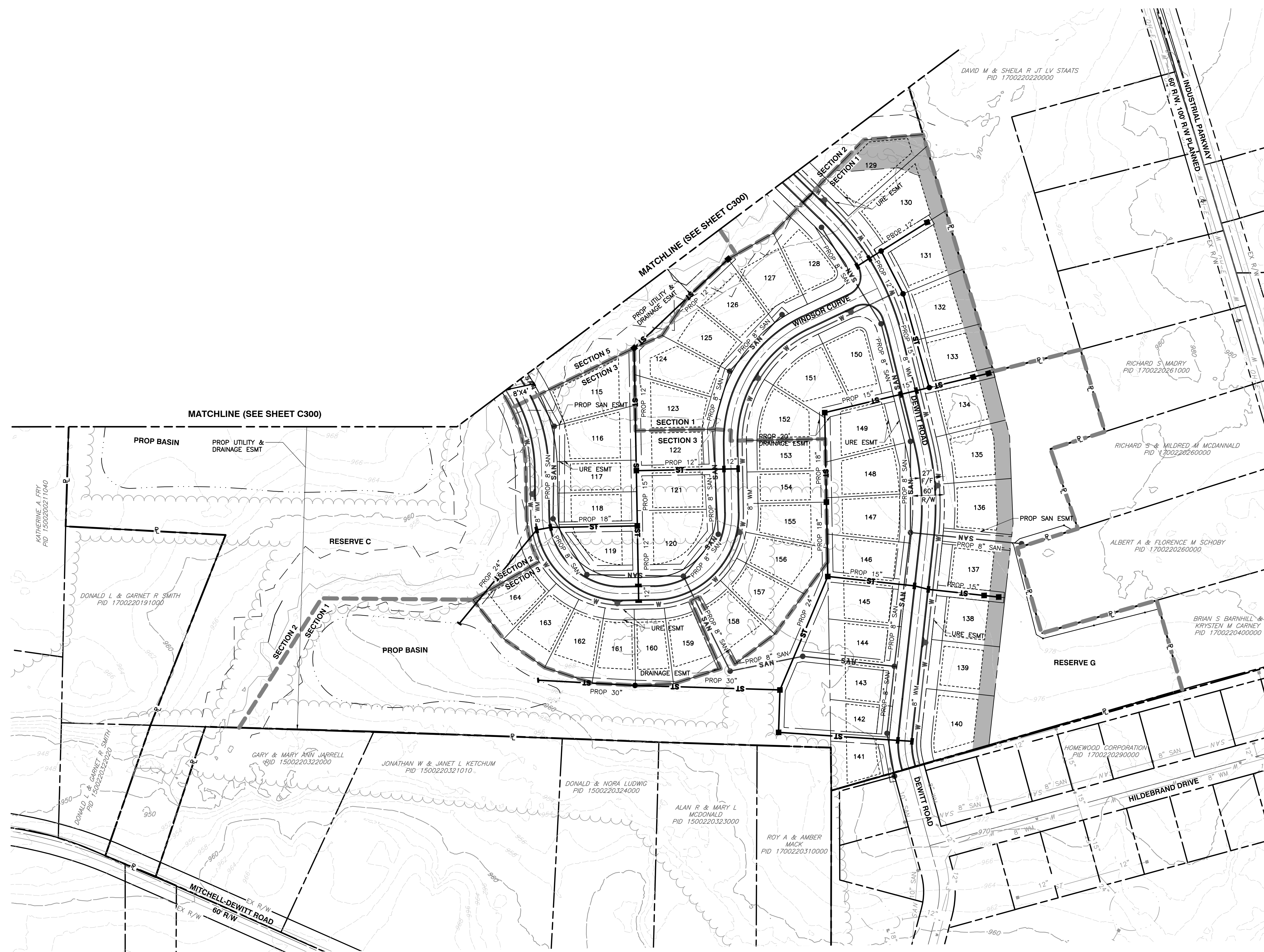


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JEROME TOWNSHIP
UNION COUNTY, OHIO**

**PRELIMINARY PLAT
UTILITY PLAN**

DRAWING NO.:	C300		
DATE:	AUGUST 2016	DRAWN BY:	NSS
DWG SCALE:	1"=100'	CHECKED BY:	MCR
PROJECT NO.:	182-554	APPROVED BY:	CLL



LEGEND

- | | |
|--|---|
| | EXISTING PROPERTY BOUNDARY |
| | EXISTING PROPERTY LINE |
| | EXISTING RIGHT-OF-WAY |
| | EXISTING PAVEMENT |
| | EXISTING TREE LINE |
| | EXISTING STREAM |
| | EXISTING SANITARY SEWER LINE |
| | EXISTING STORM SEWER LINE |
| | EXISTING WATERLINE |
| | EXISTING MANHOLE |
| | EXISTING FIRE HYDRANT |
| | EXISTING INDEX CONTOUR |
| | EXISTING INTERMEDIATE CONTOUR |
| | PROPOSED PROPERTY LINE |
| | PROPOSED CENTER LINE |
| | PROPOSED RIGHT-OF-WAY |
| | PROPOSED SETBACK |
| | PROPOSED EASEMENT |
| | PROPOSED EDGE OF PAVEMENT |
| | PROPOSED WATERLINE |
| | PROPOSED SANITARY SEWER |
| | PROPOSED SANITARY MANHOLE |
| | PROPOSED FIRE HYDRANT |
| | PROPOSED WATERVALVE |
| | PROPOSED STORM SEWER |
| | PROPOSED CATCH BASIN |
| | PROPOSED CURB INLET |
| | PROPOSED STORM MANHOLE |
| | PROPOSED ENDWALL |
| | EXISTING WETLAND |
| | PROPOSED TREE PRESERVATION
OR MOUNDING AND SCREENING |

NOTE

UTILITY EASEMENT FOR URE ELECTRIC FACILITIES HAS POSSIBLE JOINT USE FOR PHONE, CABLE OR OTHER PRIVATE COMMUNICATION ENTITIES (FIBER). STREET CROSSINGS AND ADJACENT PROPERTY PATHS TO BE DETERMINED WHEN FACILITIES LAYOUT IS COMPLETE.

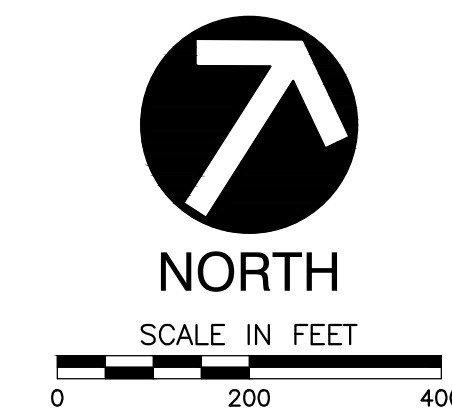
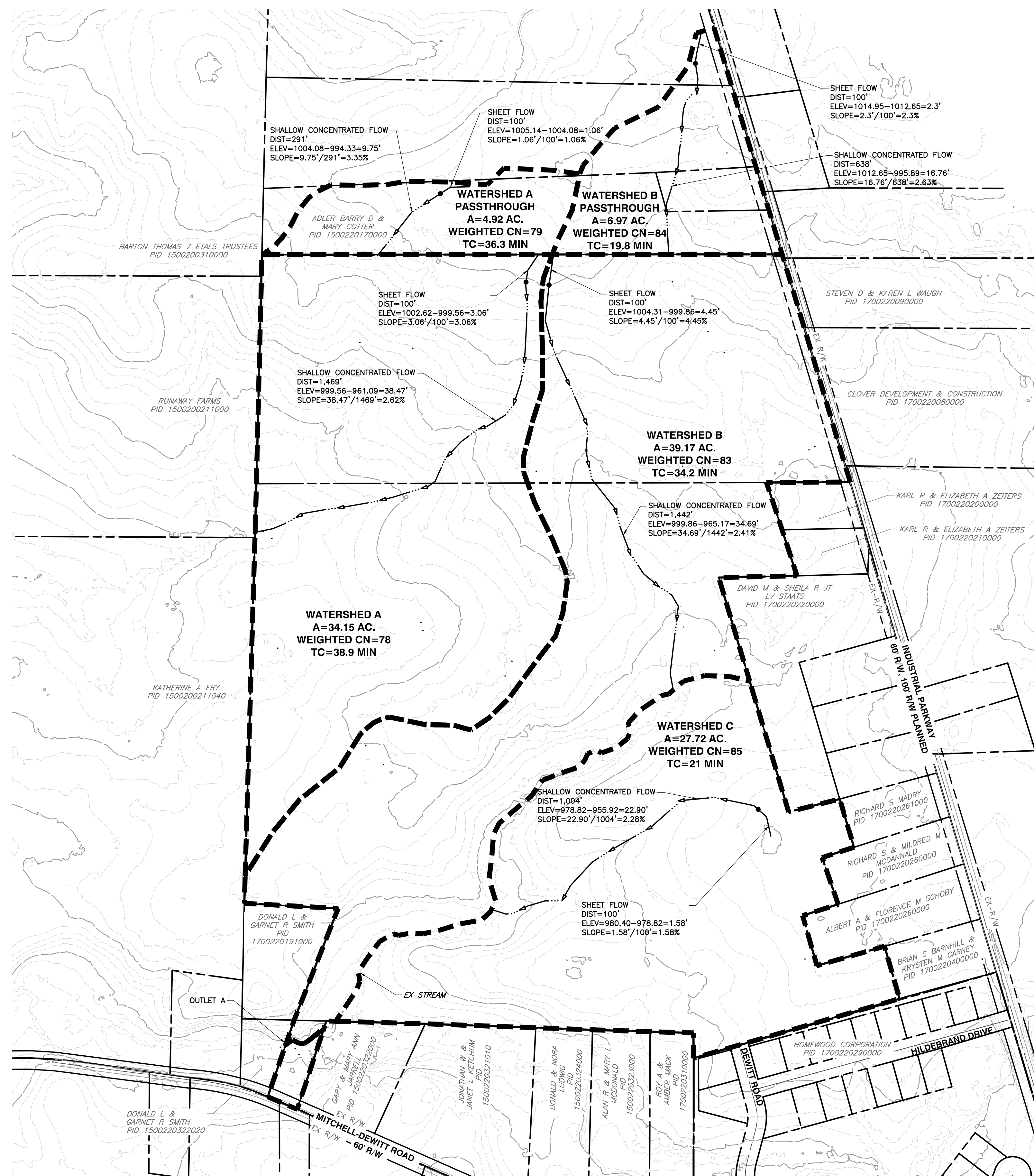
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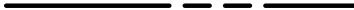







**ROCKFORD HOMES
MITCHELL HIGHLANDS
JEROME TOWNSHIP
UNION COUNTY, OHIO**

DATE:	AUGUST 2016	DRAWN BY:	NSS
DWG SCALE:	1" = 100'	CHECKED BY:	MCR
PROJECT NO:	162-554		
APPROVED BY:			CL 1 *

DRAWING NO.:
C301



LEGEND

	EXISTING PROPERTY BOUNDARY
	EXISTING PROPERTY LINE
	EXISTING RIGHT OF WAY
	EXISTING PAVEMENT
	EXISTING TREE LINE
	EXISTING STREAM
	EXISTING INDEX CONTOUR
	EXISTING INTERMEDIATE CONTOUR
	EXISTING FLOWLINE
	FLOW CHANGE INDICATOR
	EXISTING WATERSHED BOUNDARY

PRE-DEVELOPED WATERSHED ANALYSIS

WATERSHED A

WATERSHED A IS 73.32 ACRES ON THE NORTHWEST SIDE OF THE SITE AND IS COMPRISED OF ROW CROPS WITH TYPE D SOILS AND WOODS WITH TYPE D SOILS. THE WATERSHED OUTLETS TO THE EXISTING OFFSITE STREAM.

WATERSHED B

WATERSHED B
WATERSHED B IS 39.17 ACRES IN THE NORTHEAST SIDE OF THE SITE AND IS COMPRISED OF ROW CROPS WITH TYPE D SOILS AND WOODS WITH TYPE D SOILS. THE WATERSHED OUTLETS TO THE EXISTING ONSITE STREAM.

WATERSHED C

WATERSHED C IS 27.72 ACRES IN THE SOUTHEAST SIDE OF THE SITE AND IS COMPRISED OF ROW CROPS WITH TYPE D SOILS. THE WATERSHED OUTLETS TO THE EXISTING ONSITE STREAM.

SITE SOIL DATA

Ble1A1	- BLOUNT SILT LOAM, END MORaine, 0 TO 2 PERCENT SLOPES (D)
Ble1B1	- BLOUNT SILT LOAM, END MORaine, 2 TO 4 PERCENT SLOPES (D)
Ble1B1	- BLOUNT SILT LOAM, GROUND MORaine, 2 TO 4 PERCENT SLOPES (D)
Gwd5C2	- GLYNWOOD CLAY LOAM, 6 TO 12 PERCENT SLOPES, ERODED (D)
Gwe1B2	- GLYNWOOD SILT LOAM, END MORaine, 2 TO 6 PERCENT SLOPES, ERODED (D)

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UNION COUNTY, OHIO**

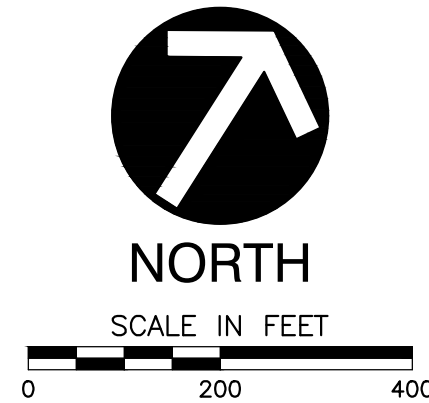
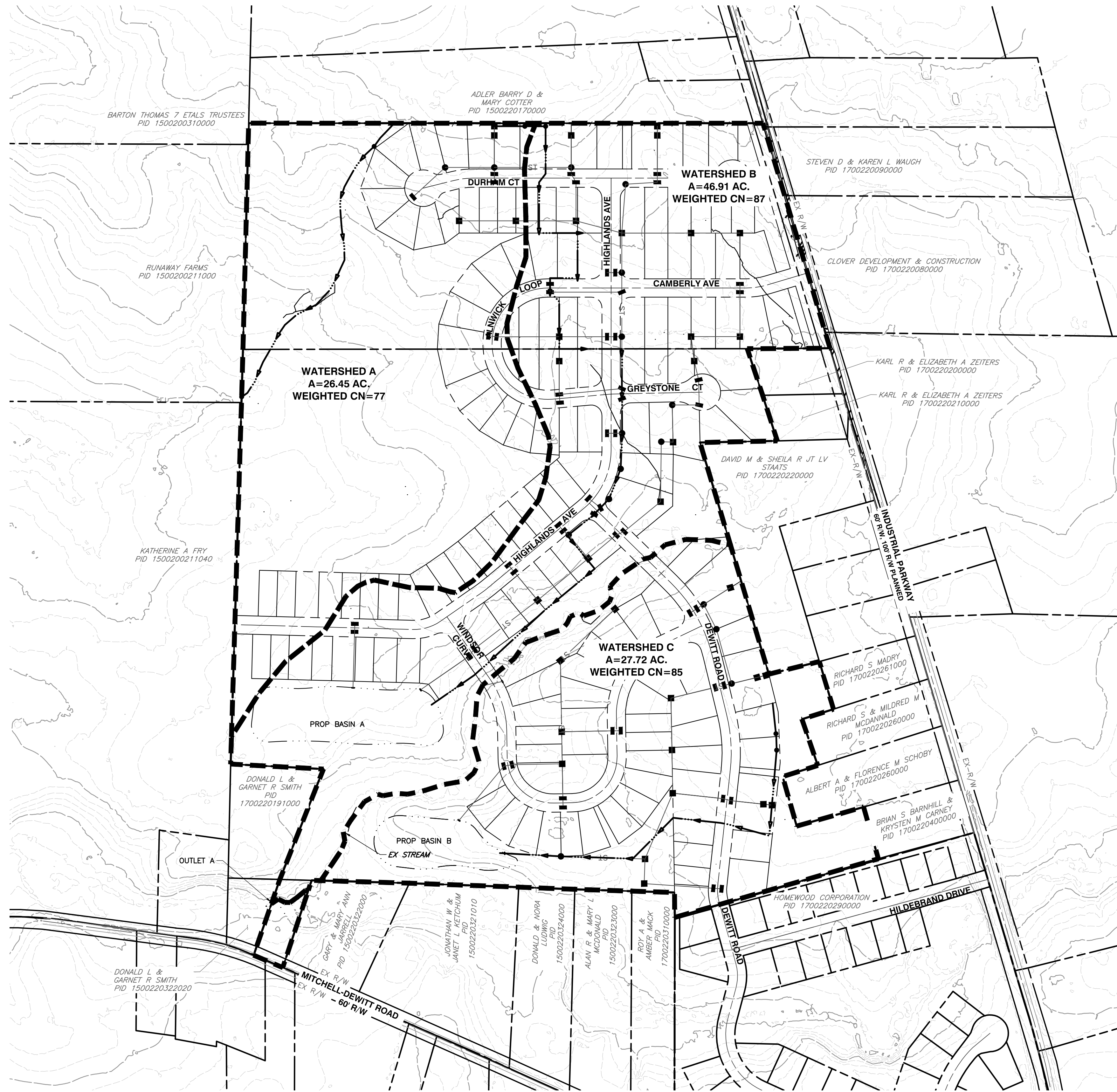
PRELIMINARY PLAT
PRE-DEVELOPED TRIBUTARY AREA

DATE:	AUGUST 2016	DRAWN BY:	NSS
DWG SCALE:	1"=200'	CHECKED BY:	MCR
PROJECT NO:	162-554		
APPROVED BY:	CL-1		

DRAWING NO.:

C400

A 12/16/18 182-554 - CAD/DWG (DWG) - Preliminary Plat 162554 - CIVIL - Post-Developed Tributary Area Map (dwg) - PRELIMINARY PLAT - 12/16/2018 11:58 AM



LEGEND

- EXISTING PROPERTY BOUNDARY
- EXISTING PROPERTY LINE
- EXISTING RIGHT OF WAY
- EXISTING PAVEMENT
- EXISTING TREE LINE
- EXISTING STREAM
- EXISTING INDEX CONTOUR
- EXISTING INTERMEDIATE CONTOUR
- EXISTING FLOWLINE
- FLOW CHANGE INDICATOR
- EXISTING WATERSHED BOUNDARY
- PROPOSED PROPERTY LINE
- PROPOSED CENTERLINE OF ROAD
- PROPOSED EDGE OF PAVEMENT
- PROPOSED RIGHT-OF-WAY
- PROPOSED STORM SEWER
- PROPOSED CATCH BASIN
- PROPOSED CURB INLET
- PROPOSED STORM MANHOLE
- PROPOSED ENDWALL

SITE SOIL DATA

- Ble1A1 - BLOUNT SILT LOAM, END MORaine, 0 TO 2 PERCENT SLOPES (D)
- Ble1B1 - BLOUNT SILT LOAM, END MORaine, 2 TO 4 PERCENT SLOPES (D)
- Ble1B1 - BLOUNT SILT LOAM, GROUND MORaine, 2 TO 4 PERCENT SLOPES (D)
- Gwe5C2 - GLYNWOOD CLAY LOAM, 6 TO 12 PERCENT SLOPES, ERODED (D)
- Gwe1B2 - GLYNWOOD SILT LOAM, END MORaine, 2 TO 6 PERCENT SLOPES, ERODED (D)

REVISION RECORD

NO	DATE	DESCRIPTION

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ROCKFORD HOMES
MITCHELL HIGHLANDS
JEROME TOWNSHIP
UNION COUNTY, OHIO

PRELIMINARY PLAT
POST-DEVELOPED TRIBUTARY AREA

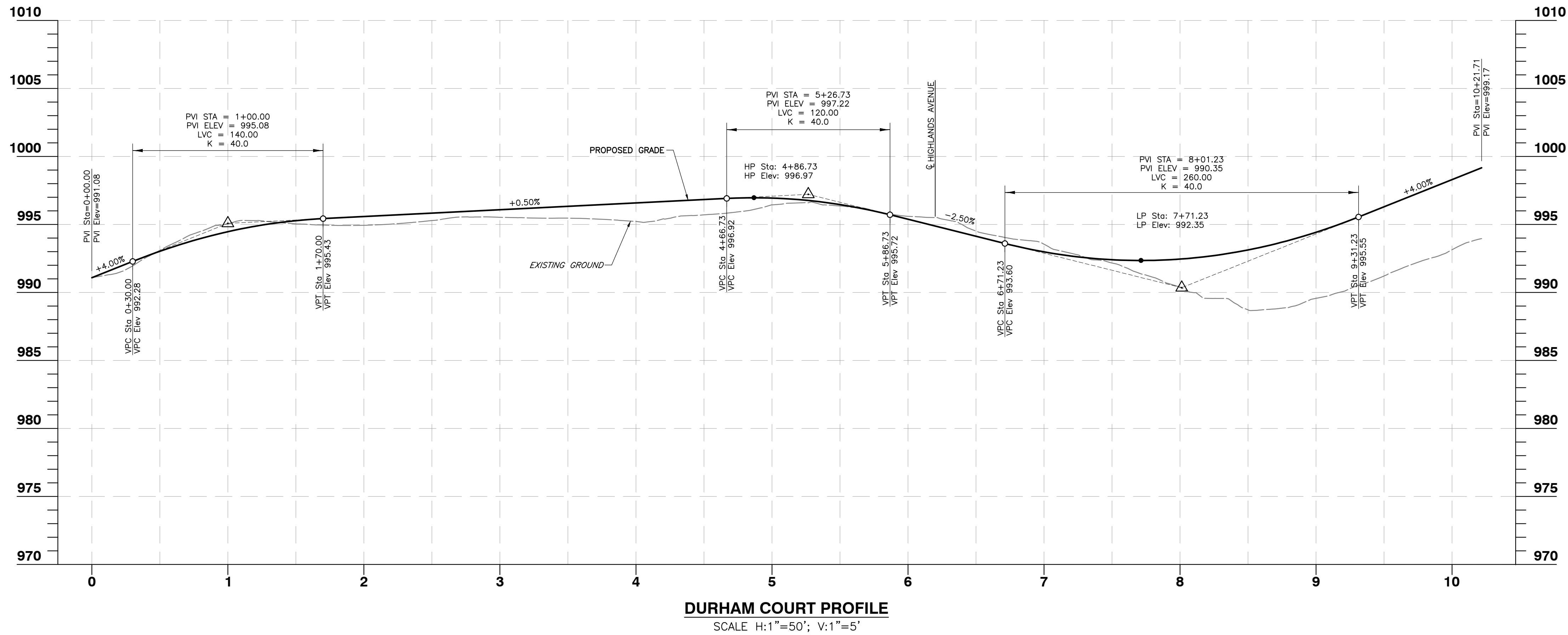
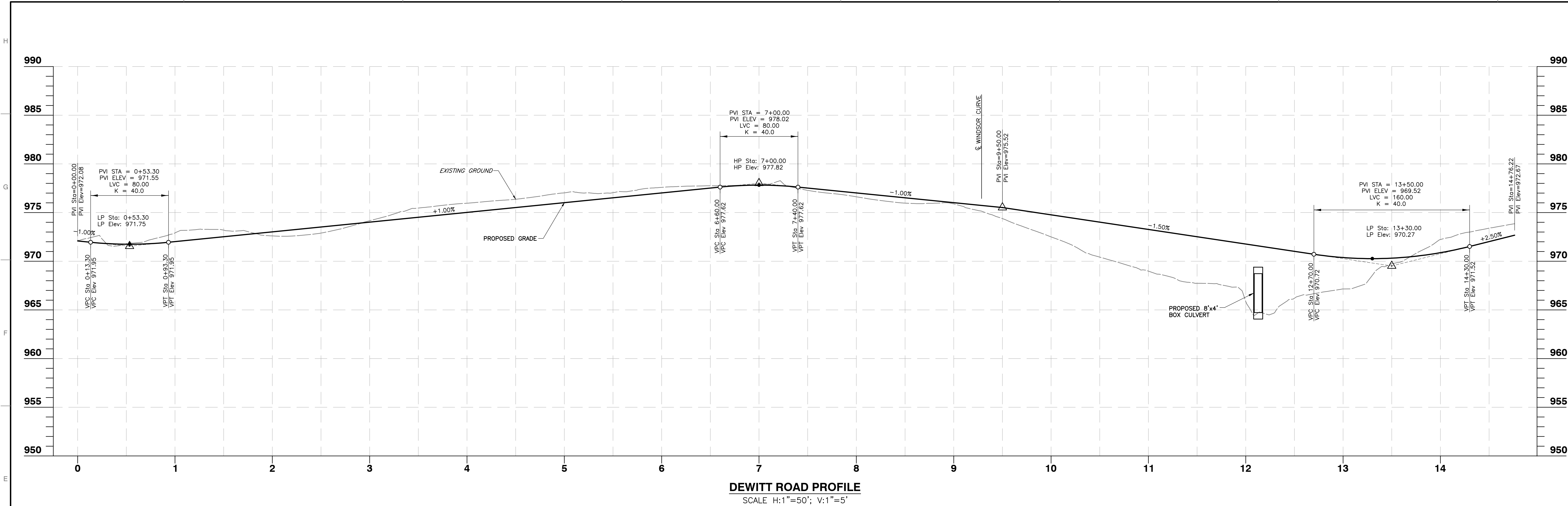
DRAWING NO.:

C401

SHEET 8 OF 12

*HAND SIGNATURE ON FILE

A: 12/16/16 162-554 - CADD/Design/001 - Preliminary Plan/162554-001-Street Profiles and STREET PROFILES/LS/08/18/2016 - notes/engr - LP 8/18/2016 11:58 AM



REVISION RECORD

NO	DATE	DESCRIPTION

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PRELIMINARY PLAT
STREET PROFILES

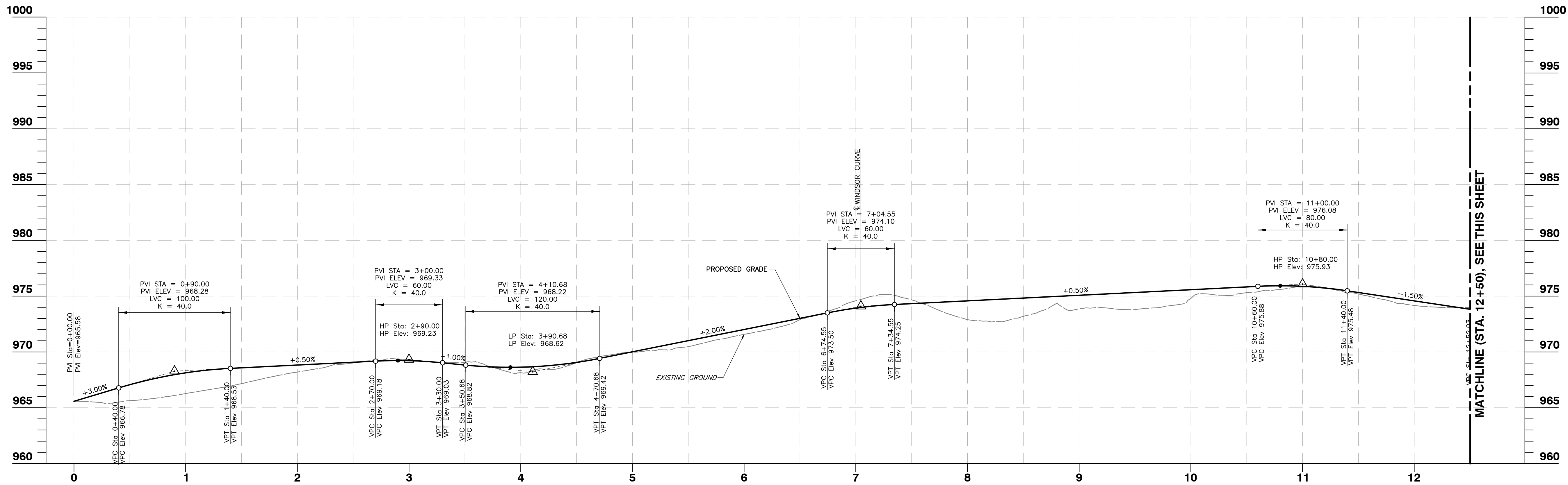
DATE: AUGUST 2016
DRAWN BY: NSS
MCR
PROJECT NO: 162-554
CHECKED BY: AS NOTED
APPROVED BY: CLT

DRAWING NO: C600

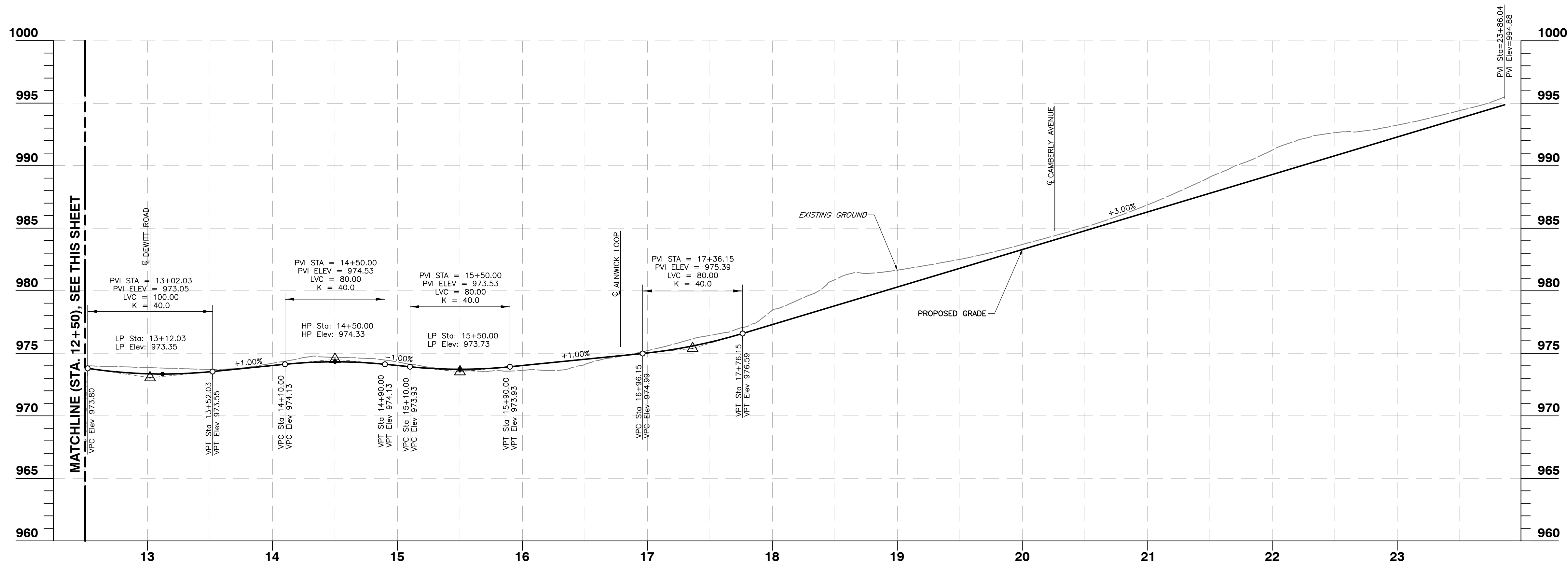
SHEET 9 OF 12

*HAND SIGNATURE ON FILE

P:\2016\162-5541-CADD\Draw\DOT-Preliminary\Plot\1625541-DOT-Street_Preliminary.dwg (L:\2016\162-5541 - nelson\temp) - LP: 8/18/2016 11:59 AM



HIGHLANDS AVENUE PROFILE
SCALE H:1"=50'; V:1"=5'



HIGHLANDS AVENUE PROFILE
SCALE H:1"=50'; V:1"=5'

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MITCHELL HIGHLANDS
JEROME TOWNSHIP
UNION COUNTY, OHIO

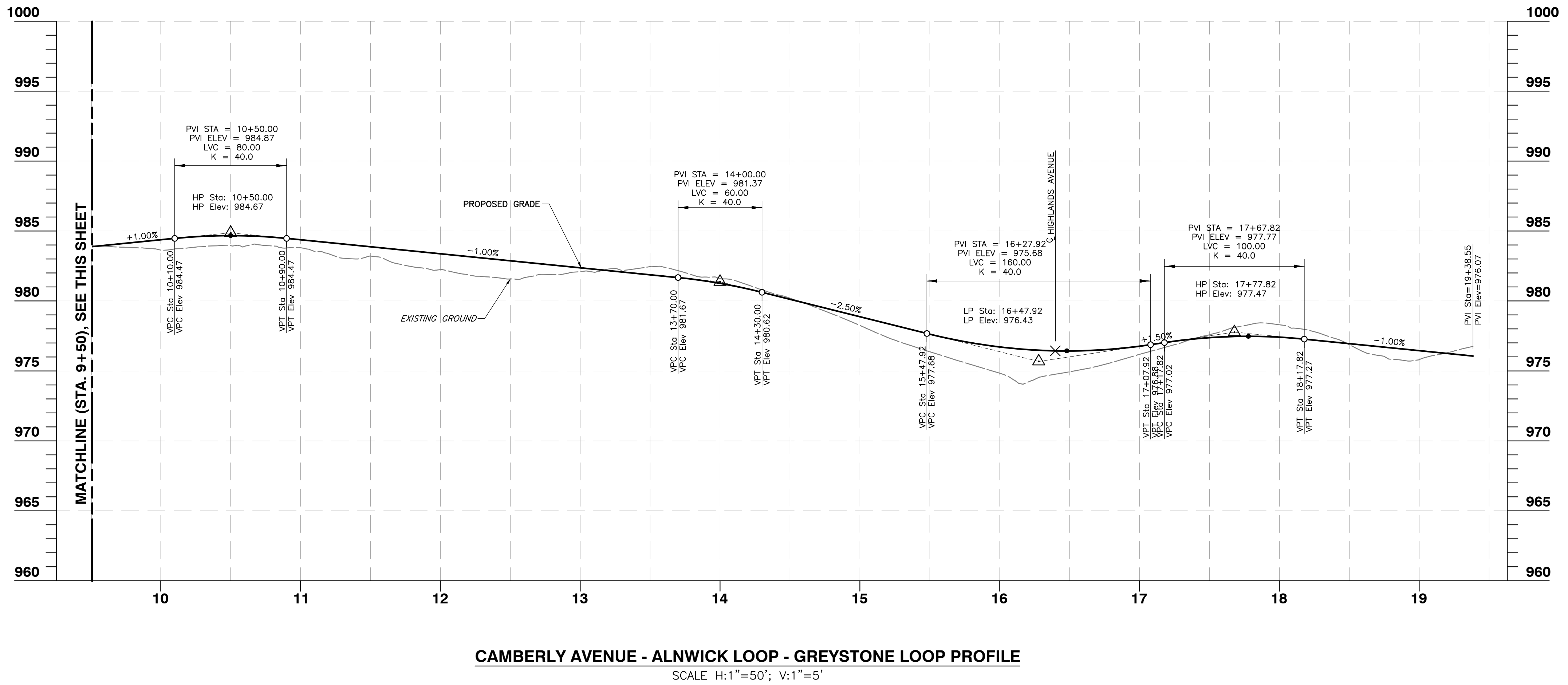
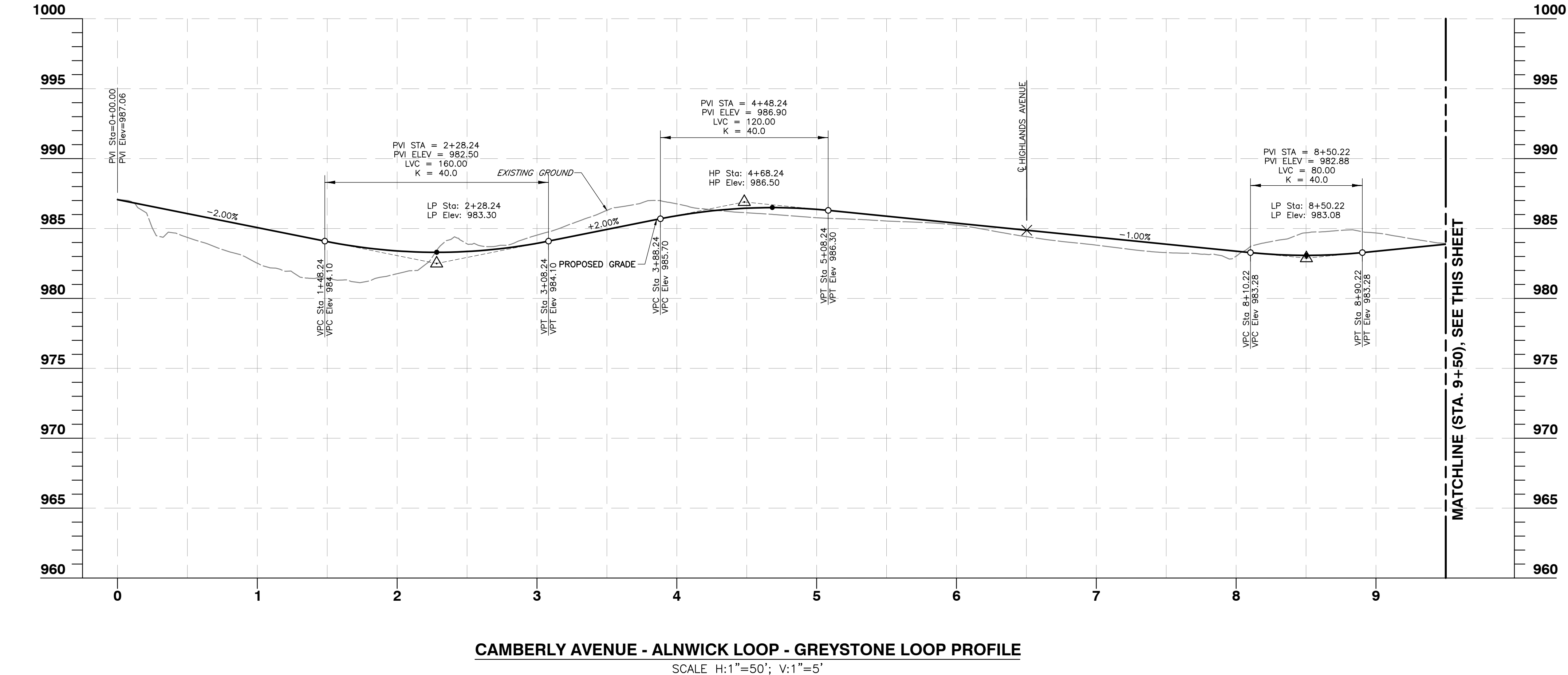
PRELIMINARY PLAT
STREET PROFILES

DATE: AUGUST 2016
DRAWN BY: NSS
DWG SCALE: AS NOTED
PROJECT NO: 162-554
CHECKED BY: MCR
APPROVED BY: CLF

DRAWING NO.:
C601

SHEET 10 OF 12

A: 12/16/16 162-5541 - CADD/Design/1001 - Preliminary Plan/1625541-001 - Street Profile/1625541-001 - 12/16/2016 11:59 AM



REVISION RECORD	
NO	DATE

C&E

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**ROCKFORD HOMES
MITCHELL HIGHLANDS
JEROME TOWNSHIP
UNION COUNTY, OHIO**

**PRELIMINARY PLAT
STREET PROFILES**

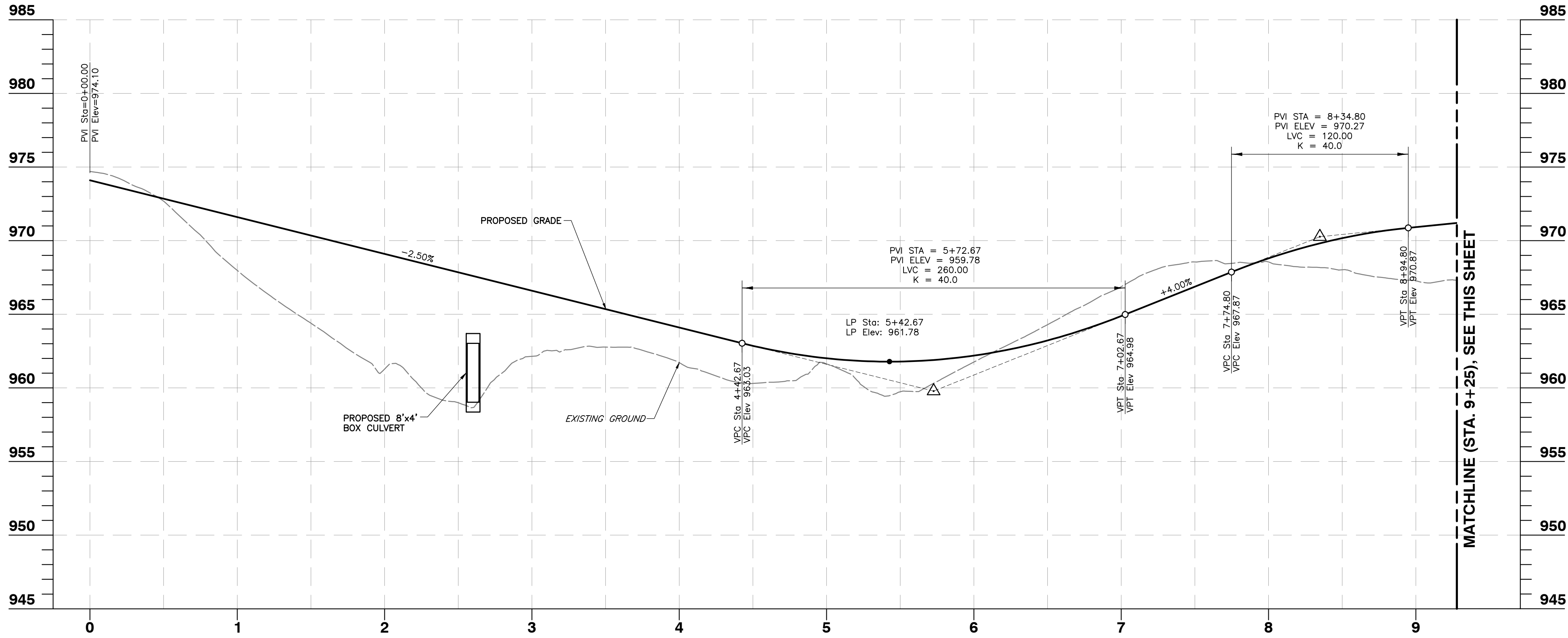
DATE:	AUGUST 2016	DRAWN BY:	NSS
DWG SCALE:	AS NOTED	CHECKED BY:	MCR
PROJECT NO:	162-554	APPROVED BY:	CLL

DRAWING NO.: **C602**

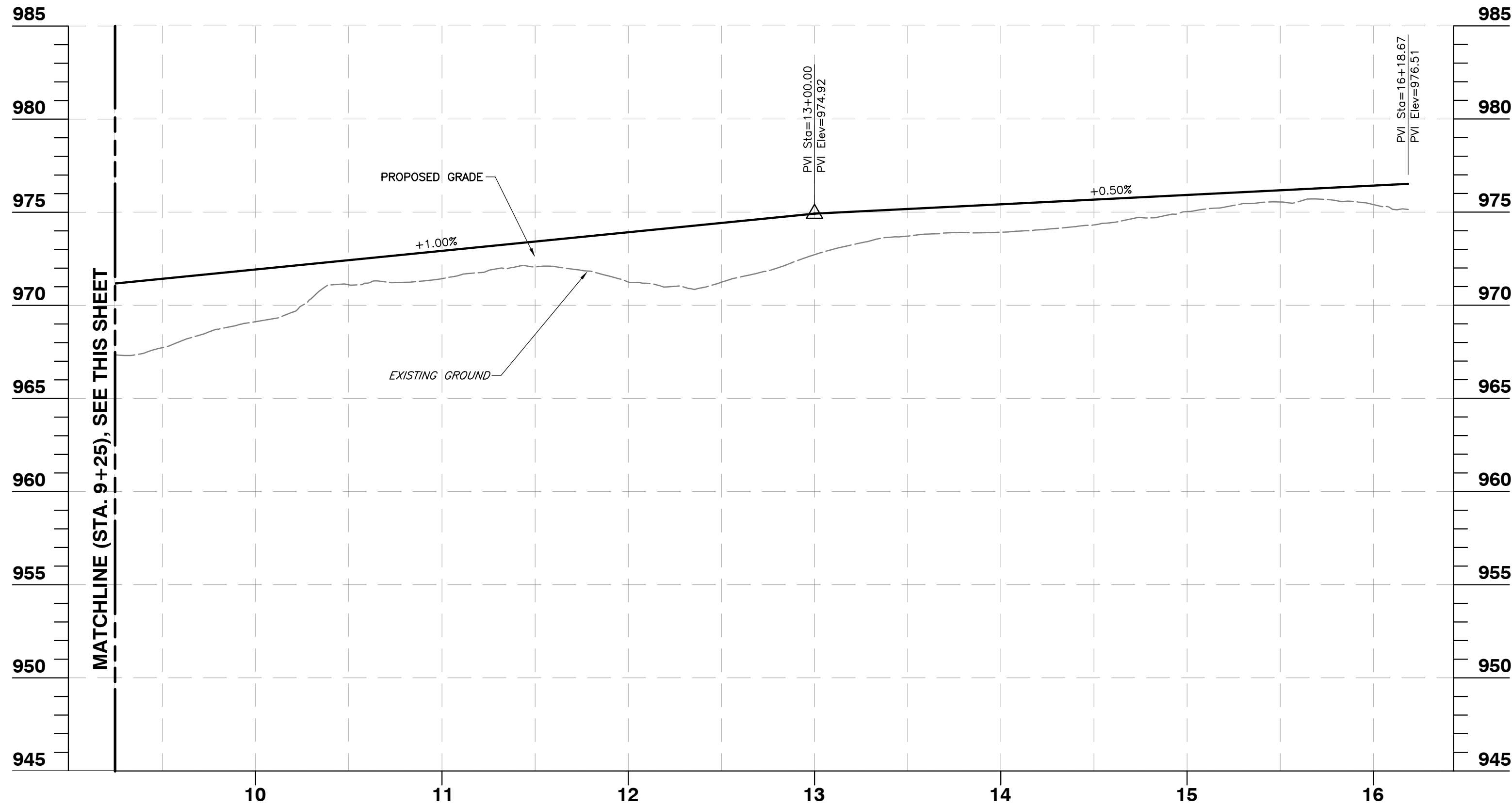
SHEET 11 OF 12

*HAND SIGNATURE ON FILE

P:\2016\162-554\CAD\Draw\DWG\162554-DWG-Street Profile.dwg Plot1 162554-DWG-Street Profile.dwg [L:\2016\162-554\Draw\DWG\162554-DWG-Street Profile.dwg] [L:\2016\162-554\Draw\DWG\162554-DWG-Street Profile.dwg] - LP: 8/18/2016 11:59 AM



WINDSOR CURVE PROFILE
SCALE H:1"=50'; V:1"=5'



WINDSOR CURVE PROFILE
SCALE H:1"=50'; V:1"=5'

REVISION RECORD	
NO	DATE



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**ROCKFORD HOMES
MITCHELL HIGHLANDS
JEROME TOWNSHIP
UNION COUNTY, OHIO**

**PRELIMINARY PLAT
STREET PROFILES**

DRAWING NO.: **C603**

DATE:	AUGUST 2016	DRAWN BY:	NSS
DWG SCALE:	AS NOTED	CHECKED BY:	MCR
PROJECT NO:	162-554	APPROVED BY:	CLL

*HAND SIGNATURE ON FILE

PRELIMINARY ENGINEERING DESIGN NARRATIVE

**MITCHELL HIGHLANDS
JEROME TOWNSHIP, UNION COUNTY, OHIO**

PREPARED FOR:

ROCKFORD HOMES

PREPARED BY:

**CIVIL & ENVIRONMENTAL CONSULTANTS, INC.
WORTHINGTON, OHIO**

CEC PROJECT 162-554

AUGUST 2016



Civil & Environmental Consultants, Inc.

Columbus

250 Old Wilson Bridge Road, Suite 250 | Worthington, Ohio 43085 | p: 614-540-6633 f: 614-540-6638 | www.cecinc.com

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APPENDICES

Appendix A – Pre-Developed Flows and Pre-Developed/Post-Developed Tributary Area Maps
Appendix B – Outlet Capacity Calculations

Civil & Environmental Consultants, Inc. (CEC) has evaluated the current site conditions and the proposed development plan of Mitchell Highlands (site) and offers the following for design considerations to the Union County Engineer's Office and Union County Soil and Water Conservation District.

1.0 EXISTING CONDITIONS STORM CALCULATIONS

CEC studied the existing site drainage conditions for the site and delineated two onsite watersheds. The existing onsite conditions consist of mostly agricultural crop use with some portions of wooded areas in the western part of the site, mostly adjacent to two small streams identified as outlets.

Watershed A is 34.2 acres on the northwest side of the site and is mostly comprised of wooded land, in addition to some agricultural use, on Type D soils. Watershed A drains west to an offsite stream that is tributary to Sugar Run.

Watershed B is separated into two subwatersheds that are divided by a stream that bisects the site.

- Watershed B1 is 39.2 acres on the north and central parts of the site, comprised of mostly row crops and wooded areas with Type D soils. Watershed B1 outlets to the unnamed tributary to Sugar Run that bisects Watershed B.
- Watershed B2 is 27.7 acres on the southeast side of the stream. Watershed B2 is comprised of mostly row crops and wooded areas with Type D soils. A stream running northeast to southwest borders the watershed on the west side and outlets to Sugar Run.

The existing storm calculations including peak flows for critical storms and the Stormwater Tributary Map are included in Appendix A.

2.0 STORMWATER MANAGEMENT

CEC proposes to use two retention basins to provide stormwater management for the proposed development. The proposed development will not disturb Watershed A, which will continue to direct release as overland flow to an offsite stream to the west. Detention basins are proposed to provide stormwater management for Watershed B. CEC will design the basins to outlet to the existing stream running through the center of the site dependent on the downstream conditions. A small portion of Watershed B will direct release.

CEC will meet or exceed the drainage design standards of the Union County Technical Design Standards and will hold the release rates of the post developed storm events for the critical-year storm to the existing release rates for the 1-year storm and less frequent storms than the critical-year storm to the same-year storm event in accordance with the Critical Storm Method. CEC will design the basin to provide post-construction water quality for associated tributary areas. The site

is located within the Big Darby Watershed and is therefore subject to the requirements of the Ohio Environmental Protection Agency Permit No. OHCD00002.

3.0 OUTLET CAPACITY

CEC evaluated the existing outlets for each watershed. The existing streams were evaluated to determine the current condition and any capacity issues.

Watershed A: Shallow concentrated flow will continue to the west as under current conditions.

Watershed B: The slope over the last 200' of the stream at the site boundary is 1.3%. The channel is approximately 32' wide and 2' deep. The bankfull channel capacity is approximately 96 cfs which is approximately the runoff produced from a 5-year storm. In the occurrence of a larger storm event, the stream will spill into the floodplain, and the 100-year flow will be contained in the floodplain with a flow depth of 2.6'. Freeboard to adjacent houses is greater than 3.5'.

4.0 MAJOR FLOOD ROUTING

The flood routing for the site is tributary to Sugar Run. Wherever possible, major flood routing will be directed to the proposed onsite basins for controlled release into the central unnamed stream tributary to Sugar Run.

5.0 REAR LOT DRAINAGE

Due to the nature of the existing topography onsite, runoff from a portion of the rear yards directly releases to the existing onsite streams. In these instances, routing runoff to the proposed detention basins may not be feasible. CEC will provide post-construction stormwater quality either through an alternative best management practice (BMP) or vegetated buffer.

APPENDIX A
**PRE-DEVELOPED FLOWS AND PRE-DEVELOPED/
POST-DEVELOPED TRIBUTARY AREA MAPS**

162-554 Mitchell Highlands

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Type II 24-hr 1-Year Rainfall=2.35"

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Page 1

Summary for Subcatchment 1S: Watershed A

Runoff = 15.70 cfs @ 12.38 hrs, Volume= 1.970 af, Depth= 0.69"

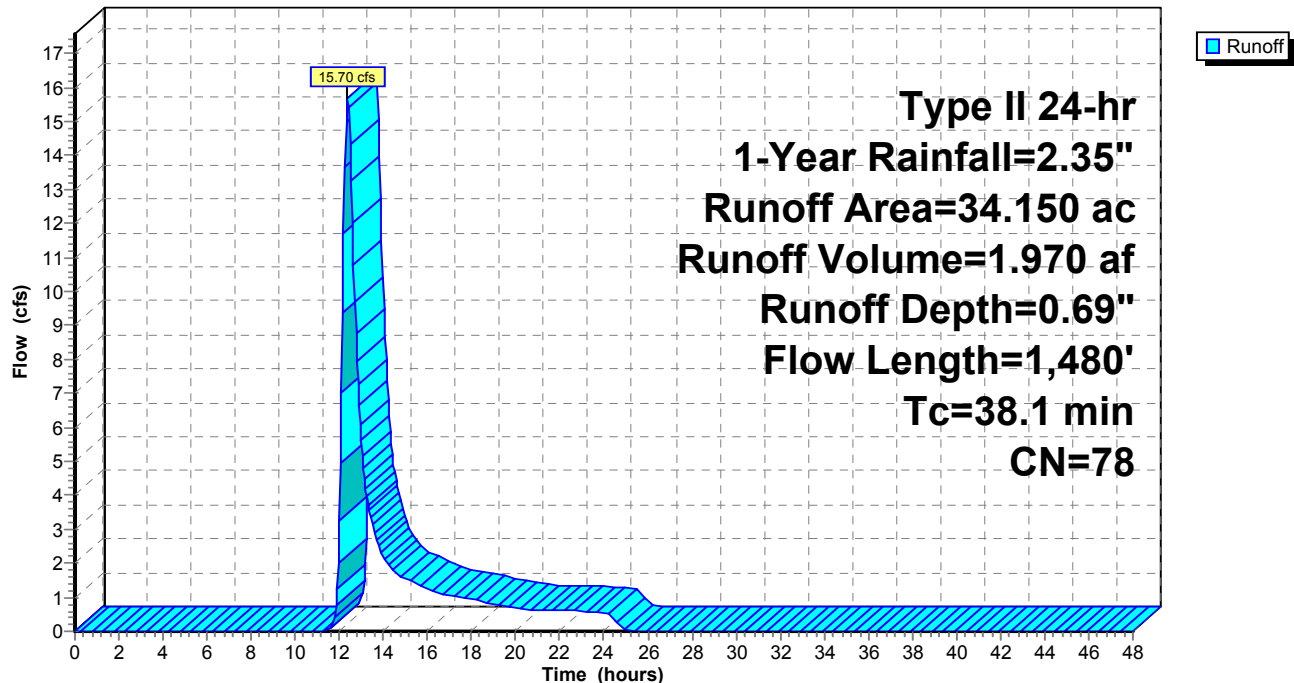
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-48.00 hrs, dt= 0.05 hrs
Type II 24-hr 1-Year Rainfall=2.35"

Area (ac)	CN	Description
28.511	77	Woods, Good, HSG D
5.639	85	Row crops, SR + CR, Good, HSG D
34.150	78	Weighted Average
34.150		100.00% Pervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
10.2	100	0.0310	0.16		Sheet Flow, Sheet Flow Cultivated: Residue>20% n= 0.170 P2= 2.55"
1.2	141	0.0450	1.91		Shallow Concentrated Flow, Shallow Concentrated Flow 1 Cultivated Straight Rows Kv= 9.0 fps
26.7	1,239	0.0240	0.77		Shallow Concentrated Flow, Shallow Concentrated Flow 2 Woodland Kv= 5.0 fps
38.1	1,480	Total			

Subcatchment 1S: Watershed A

Hydrograph



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Type II 24-hr 2-Year Rainfall=2.55"

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Summary for Subcatchment 1S: Watershed A

Runoff = 19.05 cfs @ 12.37 hrs, Volume= 2.335 af, Depth= 0.82"

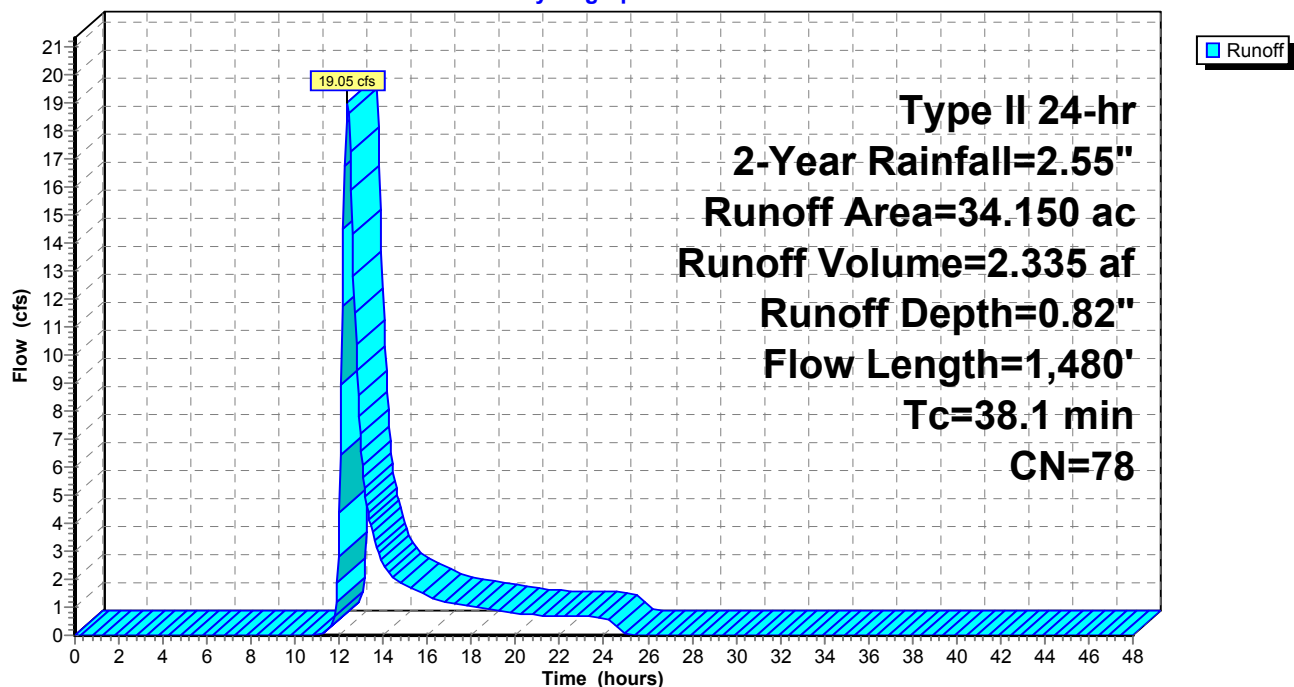
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-48.00 hrs, dt= 0.05 hrs
Type II 24-hr 2-Year Rainfall=2.55"

Area (ac)	CN	Description
28.511	77	Woods, Good, HSG D
5.639	85	Row crops, SR + CR, Good, HSG D
34.150	78	Weighted Average
34.150		100.00% Pervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
10.2	100	0.0310	0.16		Sheet Flow, Sheet Flow Cultivated: Residue>20% n= 0.170 P2= 2.55"
1.2	141	0.0450	1.91		Shallow Concentrated Flow, Shallow Concentrated Flow 1 Cultivated Straight Rows Kv= 9.0 fps
26.7	1,239	0.0240	0.77		Shallow Concentrated Flow, Shallow Concentrated Flow 2 Woodland Kv= 5.0 fps
38.1	1,480	Total			

Subcatchment 1S: Watershed A

Hydrograph



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Type II 24-hr 5-Year Rainfall=3.30"

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Page 3

Summary for Subcatchment 1S: Watershed A

Runoff = 32.81 cfs @ 12.36 hrs, Volume= 3.834 af, Depth= 1.35"

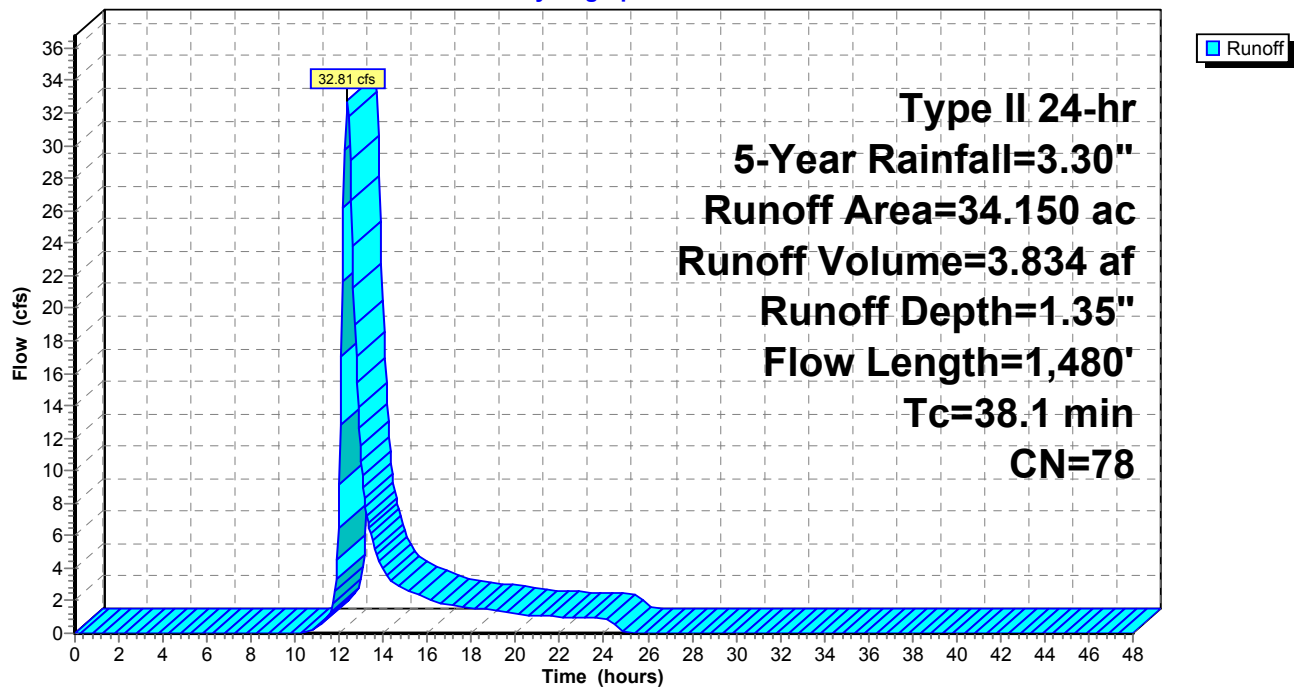
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-48.00 hrs, dt= 0.05 hrs
Type II 24-hr 5-Year Rainfall=3.30"

Area (ac)	CN	Description
28.511	77	Woods, Good, HSG D
5.639	85	Row crops, SR + CR, Good, HSG D
34.150	78	Weighted Average
34.150		100.00% Pervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
10.2	100	0.0310	0.16		Sheet Flow, Sheet Flow Cultivated: Residue>20% n= 0.170 P2= 2.55"
1.2	141	0.0450	1.91		Shallow Concentrated Flow, Shallow Concentrated Flow 1 Cultivated Straight Rows Kv= 9.0 fps
26.7	1,239	0.0240	0.77		Shallow Concentrated Flow, Shallow Concentrated Flow 2 Woodland Kv= 5.0 fps
38.1	1,480	Total			

Subcatchment 1S: Watershed A

Hydrograph



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Type II 24-hr 10-Year Rainfall=3.80"

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Summary for Subcatchment 1S: Watershed A

Runoff = 42.73 cfs @ 12.35 hrs, Volume= 4.920 af, Depth= 1.73"

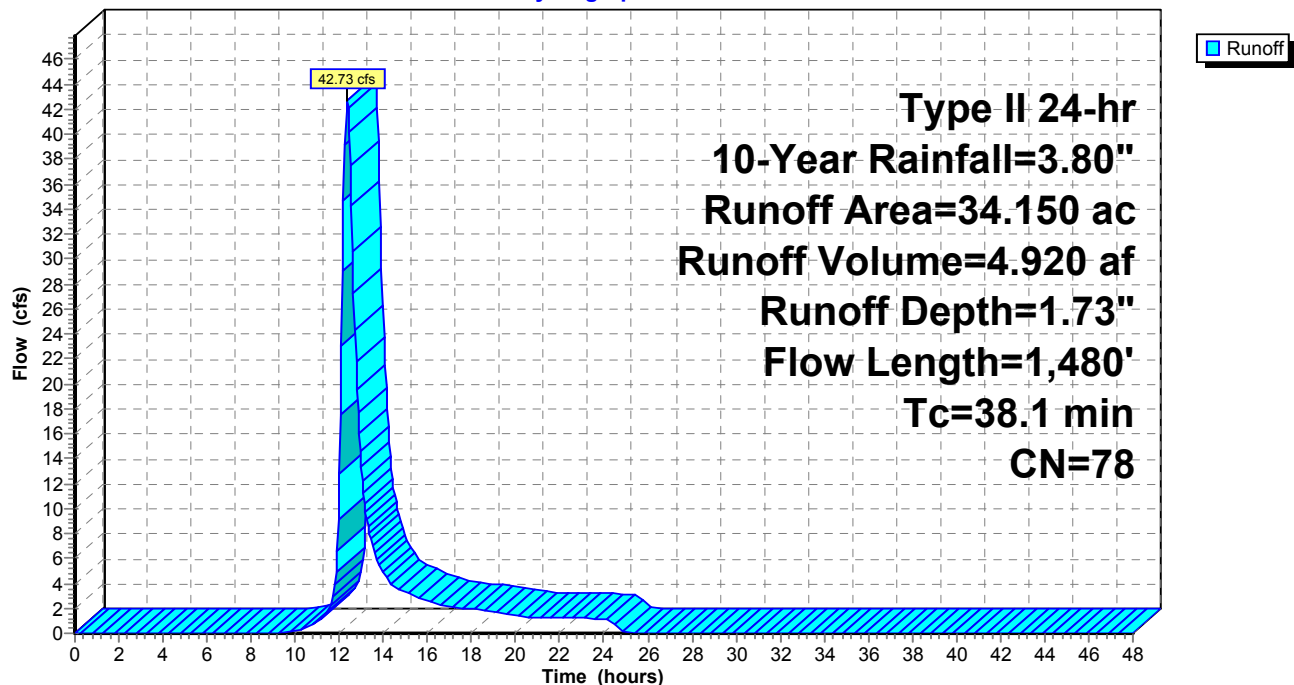
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-48.00 hrs, dt= 0.05 hrs
Type II 24-hr 10-Year Rainfall=3.80"

Area (ac)	CN	Description
28.511	77	Woods, Good, HSG D
5.639	85	Row crops, SR + CR, Good, HSG D
34.150	78	Weighted Average
34.150		100.00% Pervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
10.2	100	0.0310	0.16		Sheet Flow, Sheet Flow Cultivated: Residue>20% n= 0.170 P2= 2.55"
1.2	141	0.0450	1.91		Shallow Concentrated Flow, Shallow Concentrated Flow 1 Cultivated Straight Rows Kv= 9.0 fps
26.7	1,239	0.0240	0.77		Shallow Concentrated Flow, Shallow Concentrated Flow 2 Woodland Kv= 5.0 fps
38.1	1,480	Total			

Subcatchment 1S: Watershed A

Hydrograph



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Type II 24-hr 25-Year Rainfall=4.30"

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Summary for Subcatchment 1S: Watershed A

Runoff = 53.08 cfs @ 12.35 hrs, Volume= 6.058 af, Depth= 2.13"

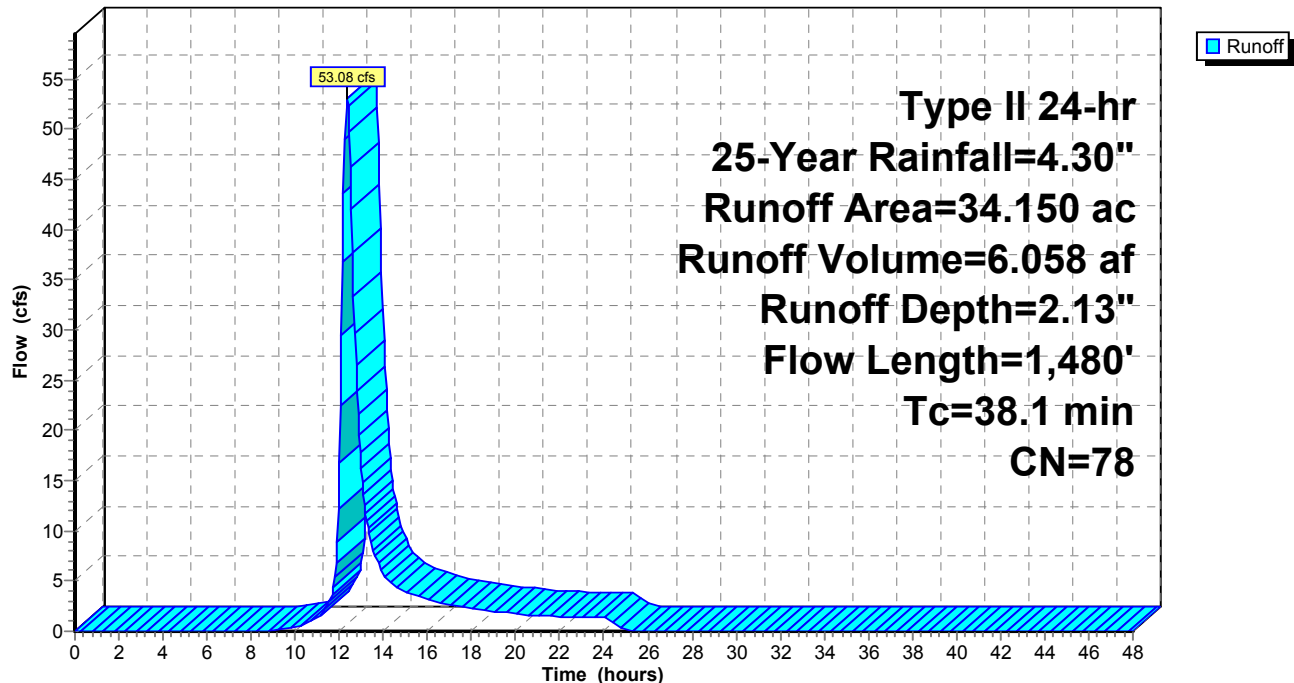
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-48.00 hrs, dt= 0.05 hrs
Type II 24-hr 25-Year Rainfall=4.30"

Area (ac)	CN	Description
28.511	77	Woods, Good, HSG D
5.639	85	Row crops, SR + CR, Good, HSG D
34.150	78	Weighted Average
34.150		100.00% Pervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
10.2	100	0.0310	0.16		Sheet Flow, Sheet Flow Cultivated: Residue>20% n= 0.170 P2= 2.55"
1.2	141	0.0450	1.91		Shallow Concentrated Flow, Shallow Concentrated Flow 1 Cultivated Straight Rows Kv= 9.0 fps
26.7	1,239	0.0240	0.77		Shallow Concentrated Flow, Shallow Concentrated Flow 2 Woodland Kv= 5.0 fps
38.1	1,480	Total			

Subcatchment 1S: Watershed A

Hydrograph



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Type II 24-hr 50-Year Rainfall=4.75"

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Summary for Subcatchment 1S: Watershed A

Runoff = 62.65 cfs @ 12.35 hrs, Volume= 7.117 af, Depth= 2.50"

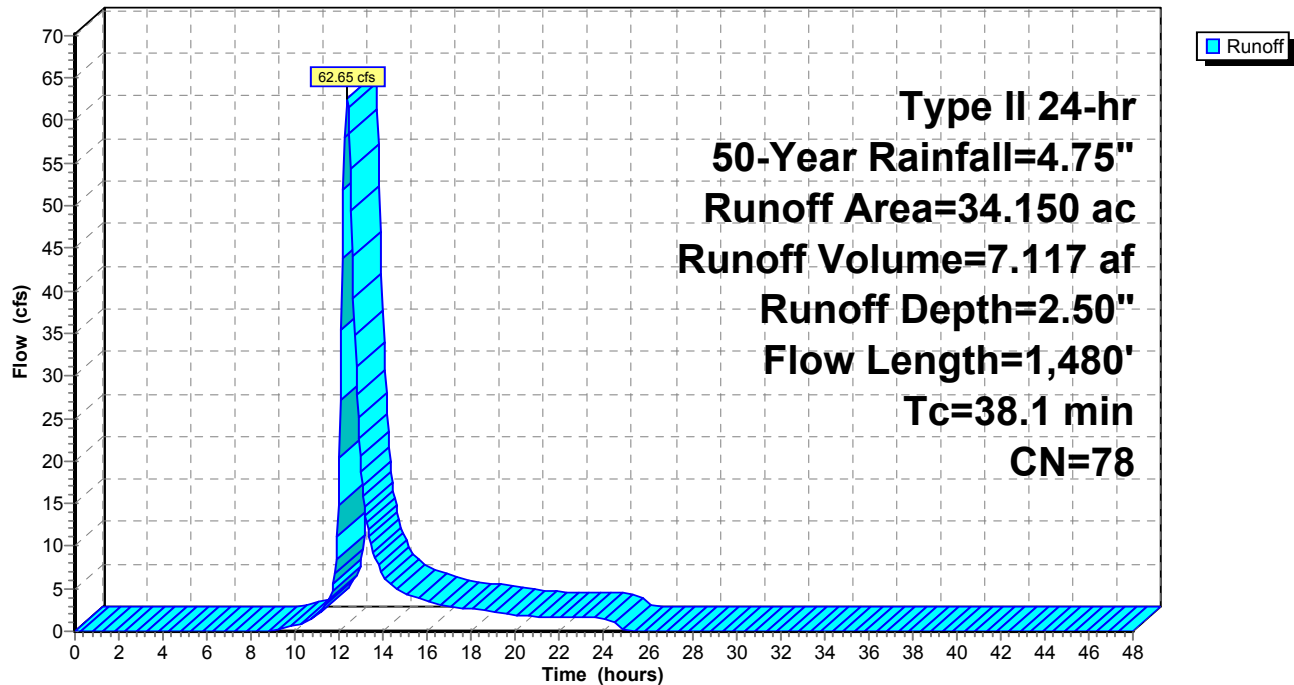
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-48.00 hrs, dt= 0.05 hrs
Type II 24-hr 50-Year Rainfall=4.75"

Area (ac)	CN	Description
28.511	77	Woods, Good, HSG D
5.639	85	Row crops, SR + CR, Good, HSG D
34.150	78	Weighted Average
34.150		100.00% Pervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
10.2	100	0.0310	0.16		Sheet Flow, Sheet Flow Cultivated: Residue>20% n= 0.170 P2= 2.55"
1.2	141	0.0450	1.91		Shallow Concentrated Flow, Shallow Concentrated Flow 1 Cultivated Straight Rows Kv= 9.0 fps
26.7	1,239	0.0240	0.77		Shallow Concentrated Flow, Shallow Concentrated Flow 2 Woodland Kv= 5.0 fps
38.1	1,480	Total			

Subcatchment 1S: Watershed A

Hydrograph



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Type II 24-hr 100-Year Rainfall=5.00"

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Summary for Subcatchment 1S: Watershed A

Runoff = 68.06 cfs @ 12.35 hrs, Volume= 7.717 af, Depth= 2.71"

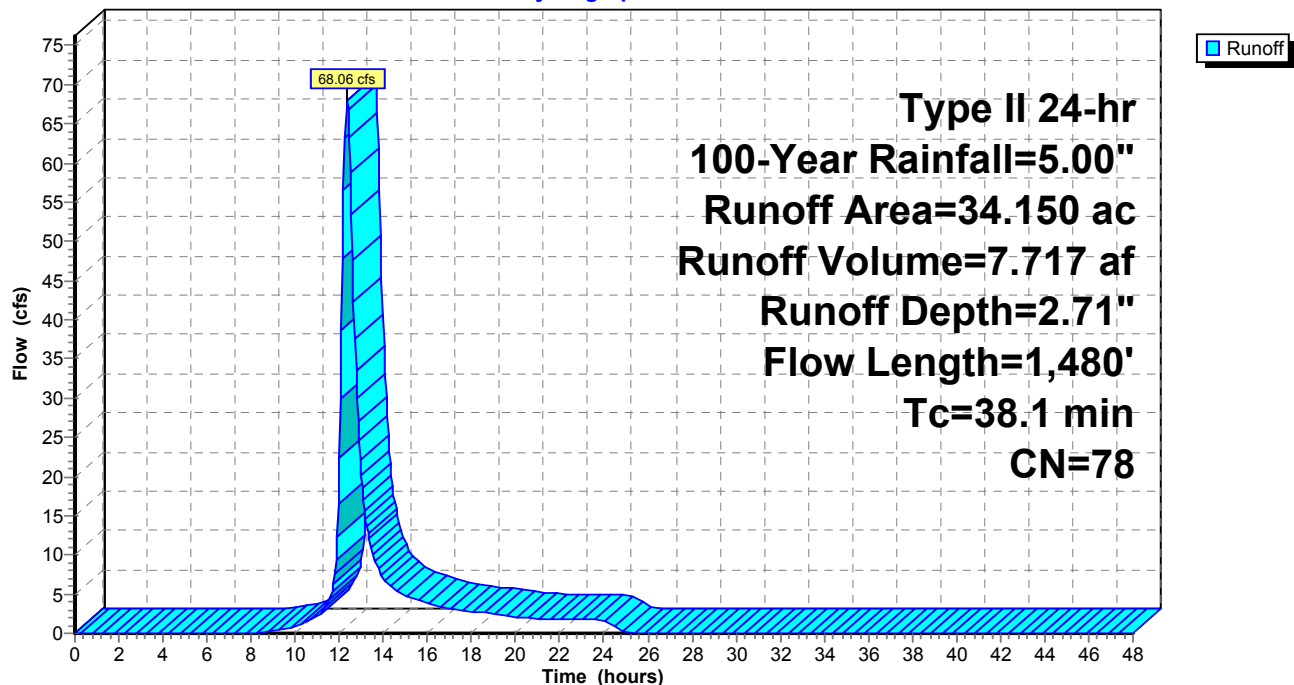
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-48.00 hrs, dt= 0.05 hrs
Type II 24-hr 100-Year Rainfall=5.00"

Area (ac)	CN	Description
28.511	77	Woods, Good, HSG D
5.639	85	Row crops, SR + CR, Good, HSG D
34.150	78	Weighted Average
34.150		100.00% Pervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
10.2	100	0.0310	0.16		Sheet Flow, Sheet Flow Cultivated: Residue>20% n= 0.170 P2= 2.55"
1.2	141	0.0450	1.91		Shallow Concentrated Flow, Shallow Concentrated Flow 1 Cultivated Straight Rows Kv= 9.0 fps
26.7	1,239	0.0240	0.77		Shallow Concentrated Flow, Shallow Concentrated Flow 2 Woodland Kv= 5.0 fps
38.1	1,480	Total			

Subcatchment 1S: Watershed A

Hydrograph



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Type II 24-hr 1-Year Rainfall=2.35"

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Page 1

Summary for Subcatchment 10S: Watershed B1

Runoff = 28.38 cfs @ 12.31 hrs, Volume= 3.081 af, Depth= 0.94"

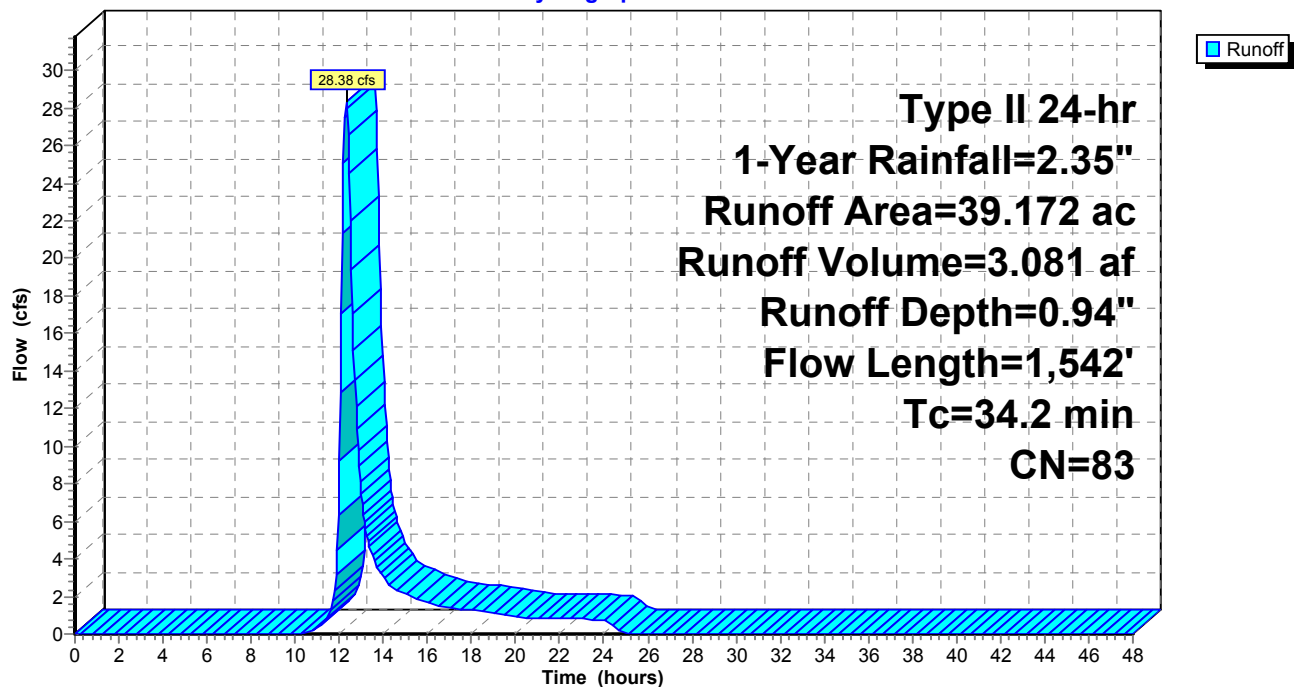
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-48.00 hrs, dt= 0.05 hrs
Type II 24-hr 1-Year Rainfall=2.35"

Area (ac)	CN	Description
11.572	77	Woods, Good, HSG D
27.600	85	Row crops, SR + CR, Good, HSG D
39.172	83	Weighted Average
39.172		100.00% Pervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
8.8	100	0.0450	0.19		Sheet Flow, Sheet Flow Cultivated: Residue>20% n= 0.170 P2= 2.55"
0.9	110	0.0510	2.03		Shallow Concentrated Flow, Shallow Concentrated Flow 1 Cultivated Straight Rows Kv= 9.0 fps
12.0	622	0.0300	0.87		Shallow Concentrated Flow, Shallow Concentrated Flow 2 Woodland Kv= 5.0 fps
9.7	573	0.0120	0.99		Shallow Concentrated Flow, Shallow Concentrated Flow 3 Cultivated Straight Rows Kv= 9.0 fps
2.8	137	0.0260	0.81		Shallow Concentrated Flow, Shallow Concentrated Flow 4 Woodland Kv= 5.0 fps
34.2	1,542	Total			

Subcatchment 10S: Watershed B1

Hydrograph



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Type II 24-hr 2-Year Rainfall=2.55"

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Page 2

Summary for Subcatchment 10S: Watershed B1

Runoff = 33.20 cfs @ 12.31 hrs, Volume= 3.570 af, Depth= 1.09"

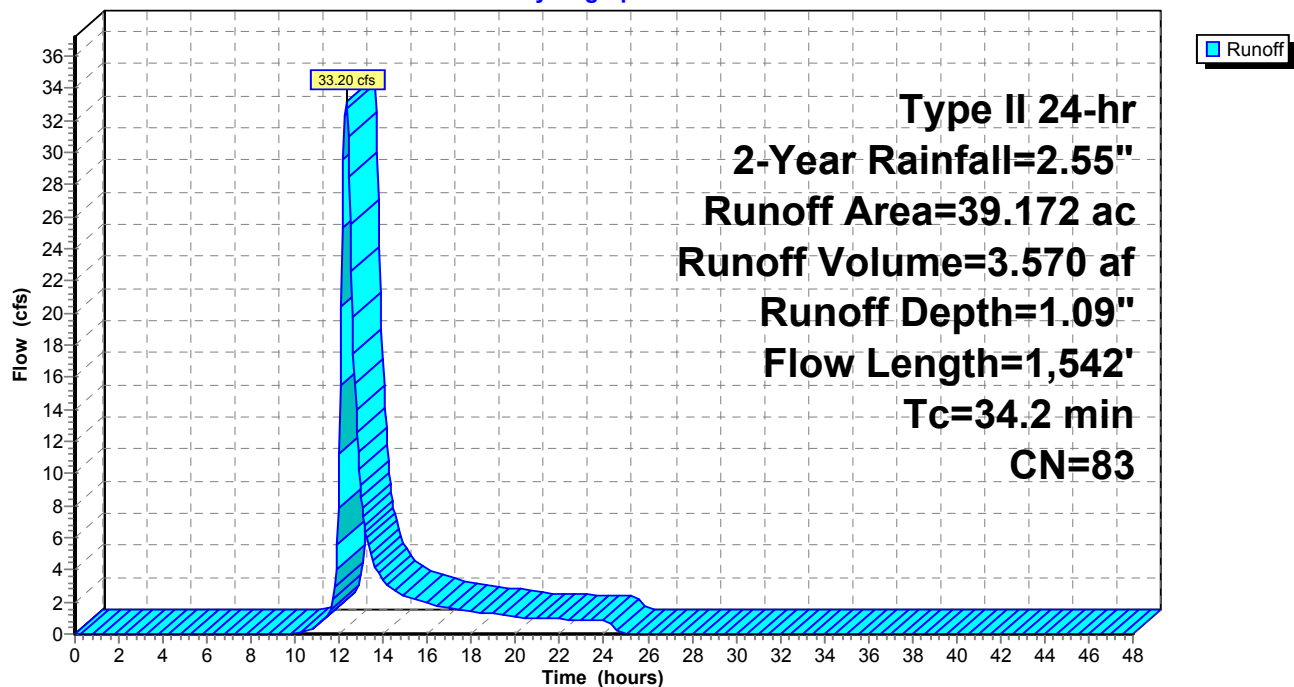
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-48.00 hrs, dt= 0.05 hrs
Type II 24-hr 2-Year Rainfall=2.55"

Area (ac)	CN	Description
11.572	77	Woods, Good, HSG D
27.600	85	Row crops, SR + CR, Good, HSG D
39.172	83	Weighted Average
39.172		100.00% Pervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
8.8	100	0.0450	0.19		Sheet Flow, Sheet Flow Cultivated: Residue>20% n= 0.170 P2= 2.55"
0.9	110	0.0510	2.03		Shallow Concentrated Flow, Shallow Concentrated Flow 1 Cultivated Straight Rows Kv= 9.0 fps
12.0	622	0.0300	0.87		Shallow Concentrated Flow, Shallow Concentrated Flow 2 Woodland Kv= 5.0 fps
9.7	573	0.0120	0.99		Shallow Concentrated Flow, Shallow Concentrated Flow 3 Cultivated Straight Rows Kv= 9.0 fps
2.8	137	0.0260	0.81		Shallow Concentrated Flow, Shallow Concentrated Flow 4 Woodland Kv= 5.0 fps
34.2	1,542	Total			

Subcatchment 10S: Watershed B1

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Type II 24-hr 5-Year Rainfall=3.30"

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Summary for Subcatchment 10S: Watershed B1

Runoff = 52.28 cfs @ 12.30 hrs, Volume= 5.522 af, Depth= 1.69"

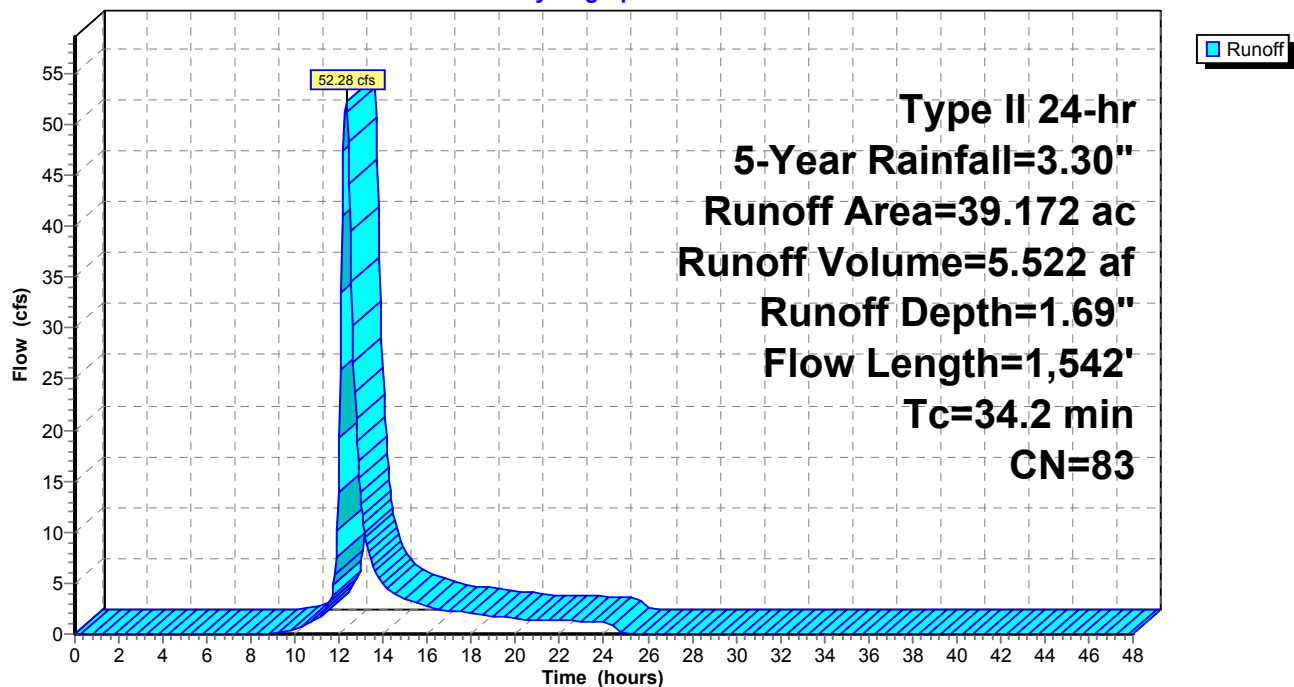
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-48.00 hrs, dt= 0.05 hrs
Type II 24-hr 5-Year Rainfall=3.30"

Area (ac)	CN	Description
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Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
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2.8	137	0.0260	0.81		Shallow Concentrated Flow, Shallow Concentrated Flow 4 Woodland Kv= 5.0 fps
34.2	1,542	Total			

Subcatchment 10S: Watershed B1

Hydrograph



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Type II 24-hr 10-Year Rainfall=3.80"

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Summary for Subcatchment 10S: Watershed B1

Runoff = 65.61 cfs @ 12.30 hrs, Volume= 6.899 af, Depth= 2.11"

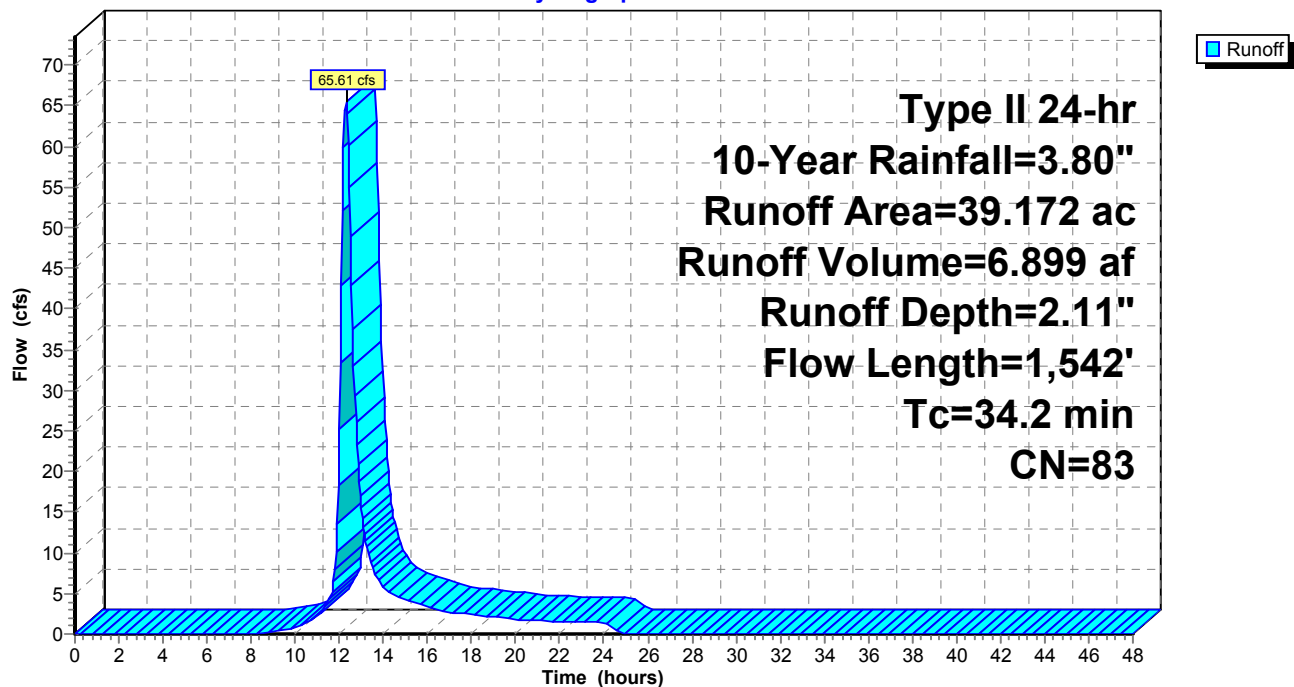
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-48.00 hrs, dt= 0.05 hrs
Type II 24-hr 10-Year Rainfall=3.80"

Area (ac)	CN	Description
11.572	77	Woods, Good, HSG D
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Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
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0.9	110	0.0510	2.03		Shallow Concentrated Flow, Shallow Concentrated Flow 1 Cultivated Straight Rows Kv= 9.0 fps
12.0	622	0.0300	0.87		Shallow Concentrated Flow, Shallow Concentrated Flow 2 Woodland Kv= 5.0 fps
9.7	573	0.0120	0.99		Shallow Concentrated Flow, Shallow Concentrated Flow 3 Cultivated Straight Rows Kv= 9.0 fps
2.8	137	0.0260	0.81		Shallow Concentrated Flow, Shallow Concentrated Flow 4 Woodland Kv= 5.0 fps
34.2	1,542	Total			

Subcatchment 10S: Watershed B1

Hydrograph



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Type II 24-hr 25-Year Rainfall=4.30"

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Summary for Subcatchment 10S: Watershed B1

Runoff = 79.24 cfs @ 12.29 hrs, Volume= 8.319 af, Depth= 2.55"

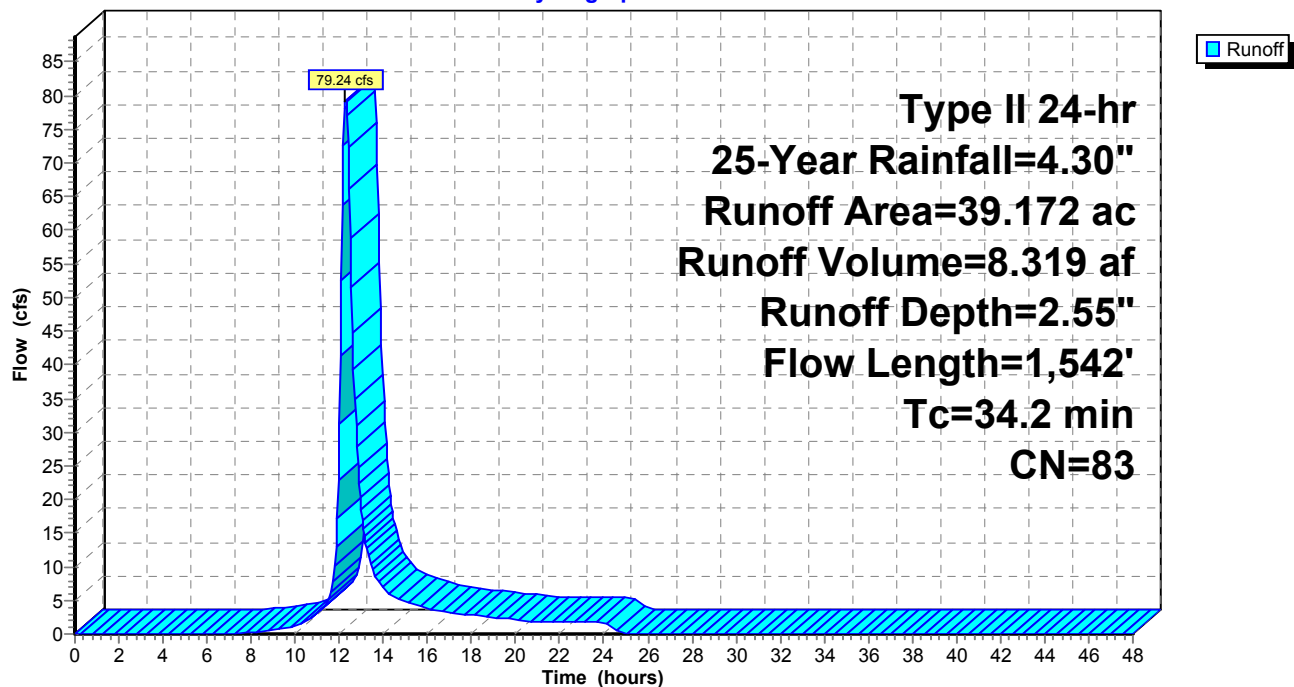
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-48.00 hrs, dt= 0.05 hrs
Type II 24-hr 25-Year Rainfall=4.30"

Area (ac)	CN	Description
11.572	77	Woods, Good, HSG D
27.600	85	Row crops, SR + CR, Good, HSG D
39.172	83	Weighted Average
39.172		100.00% Pervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
8.8	100	0.0450	0.19		Sheet Flow, Sheet Flow Cultivated: Residue>20% n= 0.170 P2= 2.55"
0.9	110	0.0510	2.03		Shallow Concentrated Flow, Shallow Concentrated Flow 1 Cultivated Straight Rows Kv= 9.0 fps
12.0	622	0.0300	0.87		Shallow Concentrated Flow, Shallow Concentrated Flow 2 Woodland Kv= 5.0 fps
9.7	573	0.0120	0.99		Shallow Concentrated Flow, Shallow Concentrated Flow 3 Cultivated Straight Rows Kv= 9.0 fps
2.8	137	0.0260	0.81		Shallow Concentrated Flow, Shallow Concentrated Flow 4 Woodland Kv= 5.0 fps
34.2	1,542	Total			

Subcatchment 10S: Watershed B1

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Type II 24-hr 50-Year Rainfall=4.75"

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Summary for Subcatchment 10S: Watershed B1

Runoff = 91.67 cfs @ 12.29 hrs, Volume= 9.626 af, Depth= 2.95"

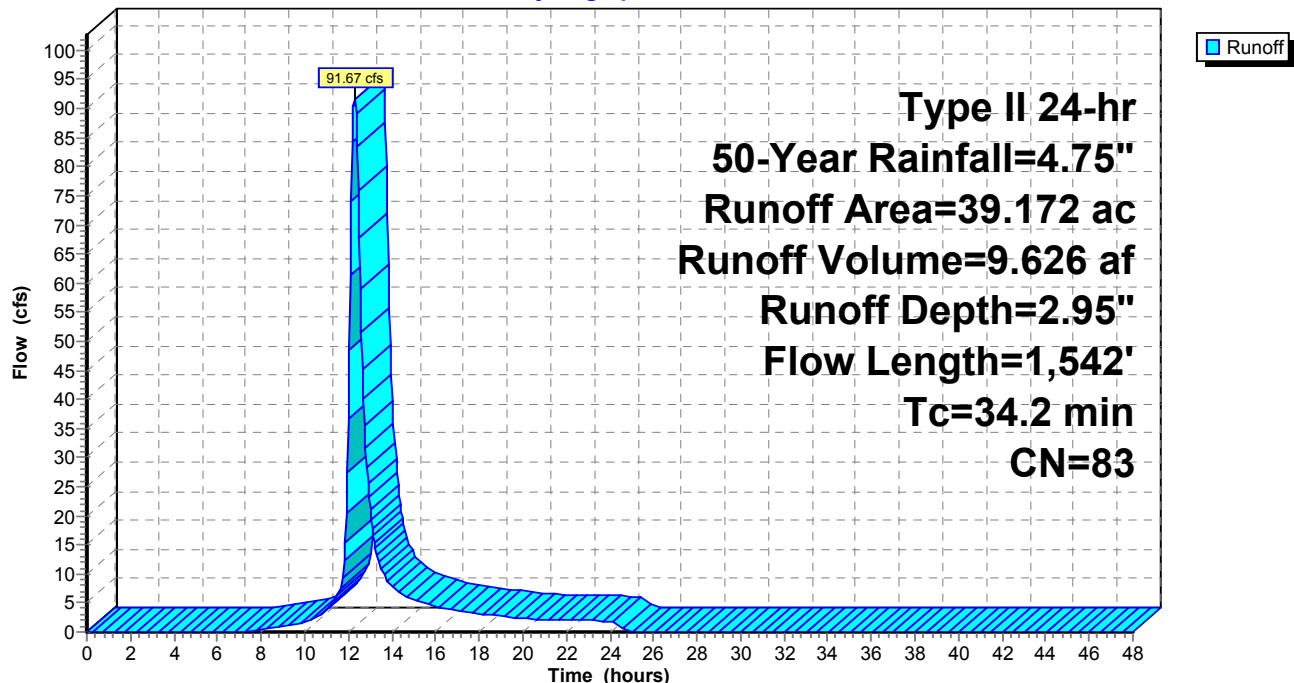
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-48.00 hrs, dt= 0.05 hrs
Type II 24-hr 50-Year Rainfall=4.75"

Area (ac)	CN	Description
11.572	77	Woods, Good, HSG D
27.600	85	Row crops, SR + CR, Good, HSG D
39.172	83	Weighted Average
39.172		100.00% Pervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
8.8	100	0.0450	0.19		Sheet Flow, Sheet Flow Cultivated: Residue>20% n= 0.170 P2= 2.55"
0.9	110	0.0510	2.03		Shallow Concentrated Flow, Shallow Concentrated Flow 1 Cultivated Straight Rows Kv= 9.0 fps
12.0	622	0.0300	0.87		Shallow Concentrated Flow, Shallow Concentrated Flow 2 Woodland Kv= 5.0 fps
9.7	573	0.0120	0.99		Shallow Concentrated Flow, Shallow Concentrated Flow 3 Cultivated Straight Rows Kv= 9.0 fps
2.8	137	0.0260	0.81		Shallow Concentrated Flow, Shallow Concentrated Flow 4 Woodland Kv= 5.0 fps
34.2	1,542	Total			

Subcatchment 10S: Watershed B1

Hydrograph



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Type II 24-hr 100-Year Rainfall=5.00"

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Page 7

Summary for Subcatchment 10S: Watershed B1

Runoff = 98.63 cfs @ 12.29 hrs, Volume= 10.361 af, Depth= 3.17"

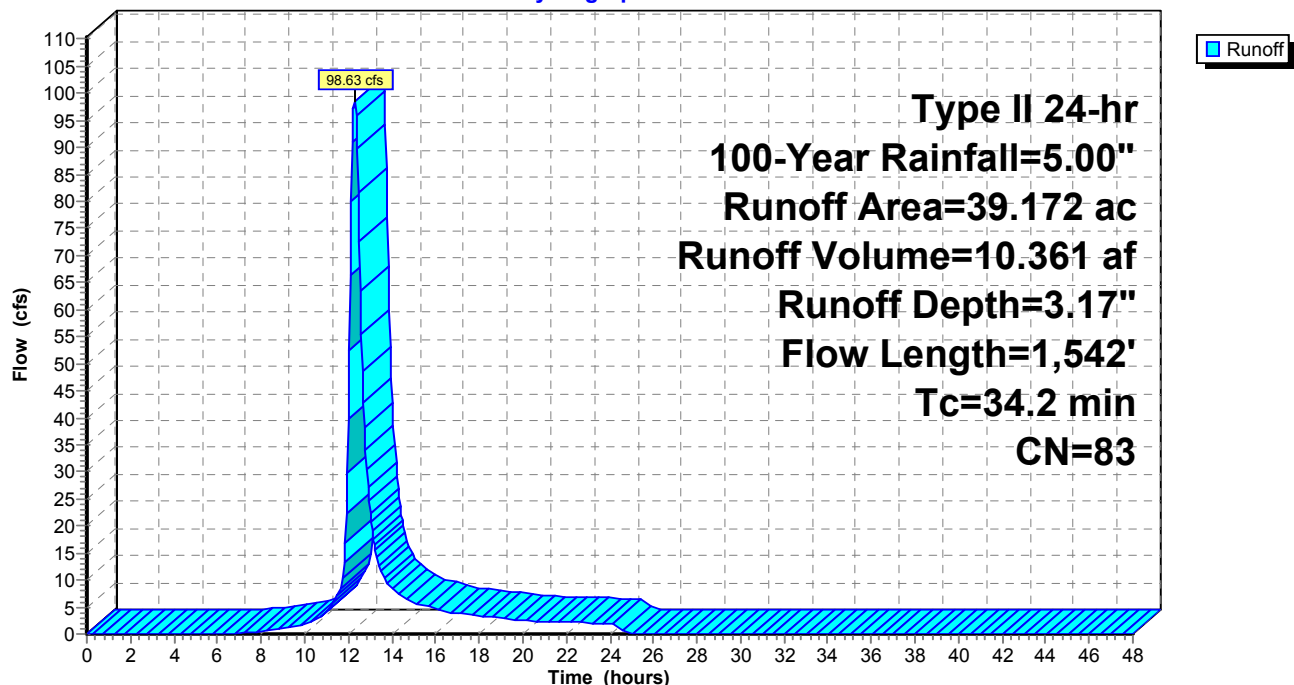
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-48.00 hrs, dt= 0.05 hrs
Type II 24-hr 100-Year Rainfall=5.00"

Area (ac)	CN	Description
11.572	77	Woods, Good, HSG D
27.600	85	Row crops, SR + CR, Good, HSG D
39.172	83	Weighted Average
39.172		100.00% Pervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
8.8	100	0.0450	0.19		Sheet Flow, Sheet Flow Cultivated: Residue>20% n= 0.170 P2= 2.55"
0.9	110	0.0510	2.03		Shallow Concentrated Flow, Shallow Concentrated Flow 1 Cultivated Straight Rows Kv= 9.0 fps
12.0	622	0.0300	0.87		Shallow Concentrated Flow, Shallow Concentrated Flow 2 Woodland Kv= 5.0 fps
9.7	573	0.0120	0.99		Shallow Concentrated Flow, Shallow Concentrated Flow 3 Cultivated Straight Rows Kv= 9.0 fps
2.8	137	0.0260	0.81		Shallow Concentrated Flow, Shallow Concentrated Flow 4 Woodland Kv= 5.0 fps
34.2	1,542	Total			

Subcatchment 10S: Watershed B1

Hydrograph



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Type II 24-hr 1-Year Rainfall=2.35"

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Page 1

Summary for Subcatchment 9S: Watershed B2

Runoff = 31.36 cfs @ 12.15 hrs, Volume= 2.449 af, Depth= 1.06"

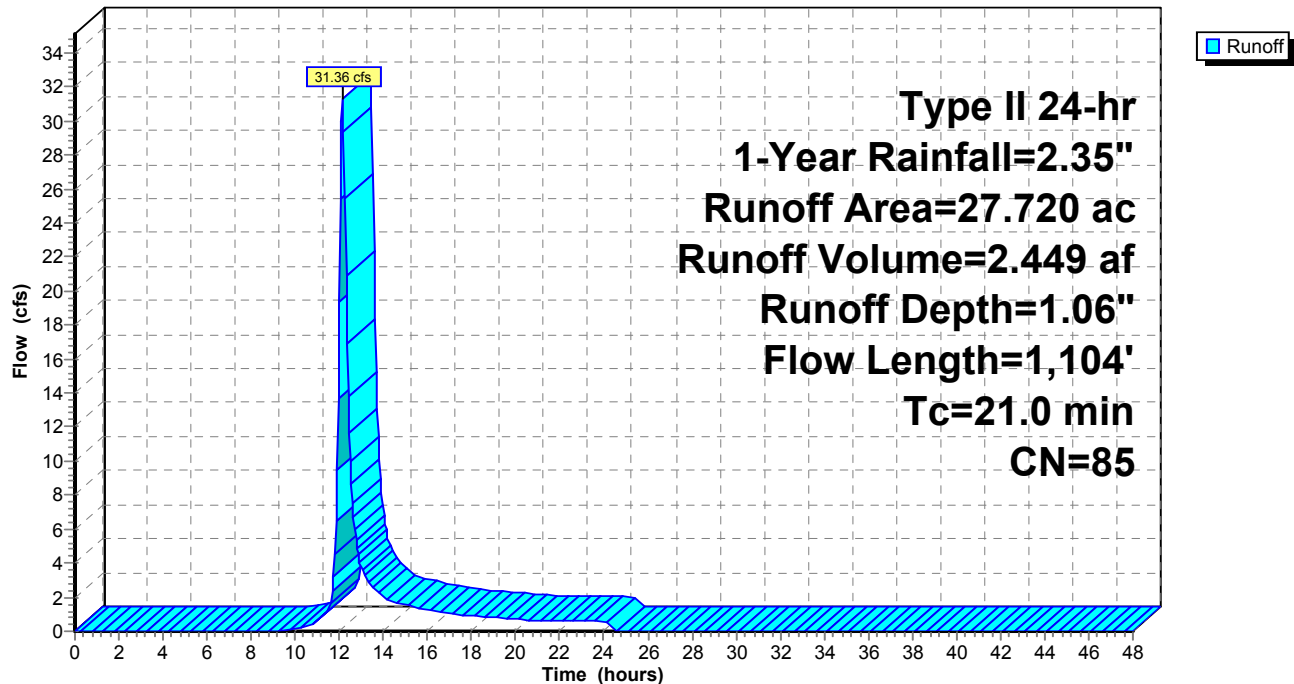
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-48.00 hrs, dt= 0.05 hrs
Type II 24-hr 1-Year Rainfall=2.35"

Area (ac)	CN	Description
27.720	85	Row crops, SR + CR, Good, HSG D
27.720		100.00% Pervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
5.8	100	0.0158	0.29		Sheet Flow, Sheet Flow Cultivated: Residue<=20% n= 0.060 P2= 2.55"
9.1	693	0.0200	1.27		Shallow Concentrated Flow, Shallow Concentrated Flow Cultivated Straight Rows Kv= 9.0 fps
6.1	311	0.0288	0.85		Shallow Concentrated Flow, Shallow Concentrated Flow 2 Woodland Kv= 5.0 fps
21.0	1,104	Total			

Subcatchment 9S: Watershed B2

Hydrograph



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Type II 24-hr 2-Year Rainfall=2.55"

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Page 2

Summary for Subcatchment 9S: Watershed B2

Runoff = 36.19 cfs @ 12.14 hrs, Volume= 2.815 af, Depth= 1.22"

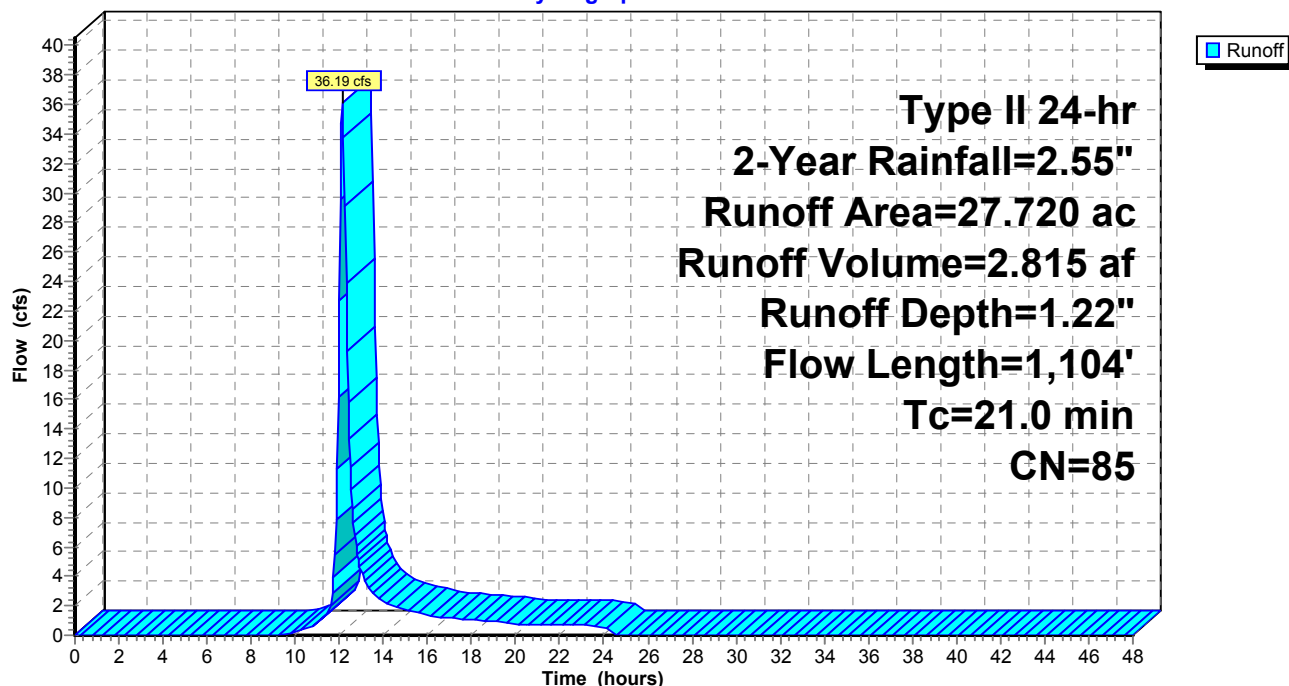
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-48.00 hrs, dt= 0.05 hrs
Type II 24-hr 2-Year Rainfall=2.55"

Area (ac)	CN	Description
27.720	85	Row crops, SR + CR, Good, HSG D
27.720		100.00% Pervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
5.8	100	0.0158	0.29		Sheet Flow, Sheet Flow Cultivated: Residue<=20% n= 0.060 P2= 2.55"
9.1	693	0.0200	1.27		Shallow Concentrated Flow, Shallow Concentrated Flow Cultivated Straight Rows Kv= 9.0 fps
6.1	311	0.0288	0.85		Shallow Concentrated Flow, Shallow Concentrated Flow 2 Woodland Kv= 5.0 fps
21.0	1,104	Total			

Subcatchment 9S: Watershed B2

Hydrograph



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Type II 24-hr 5-Year Rainfall=3.30"

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Page 3

Summary for Subcatchment 9S: Watershed B2

Runoff = 55.02 cfs @ 12.14 hrs, Volume= 4.258 af, Depth= 1.84"

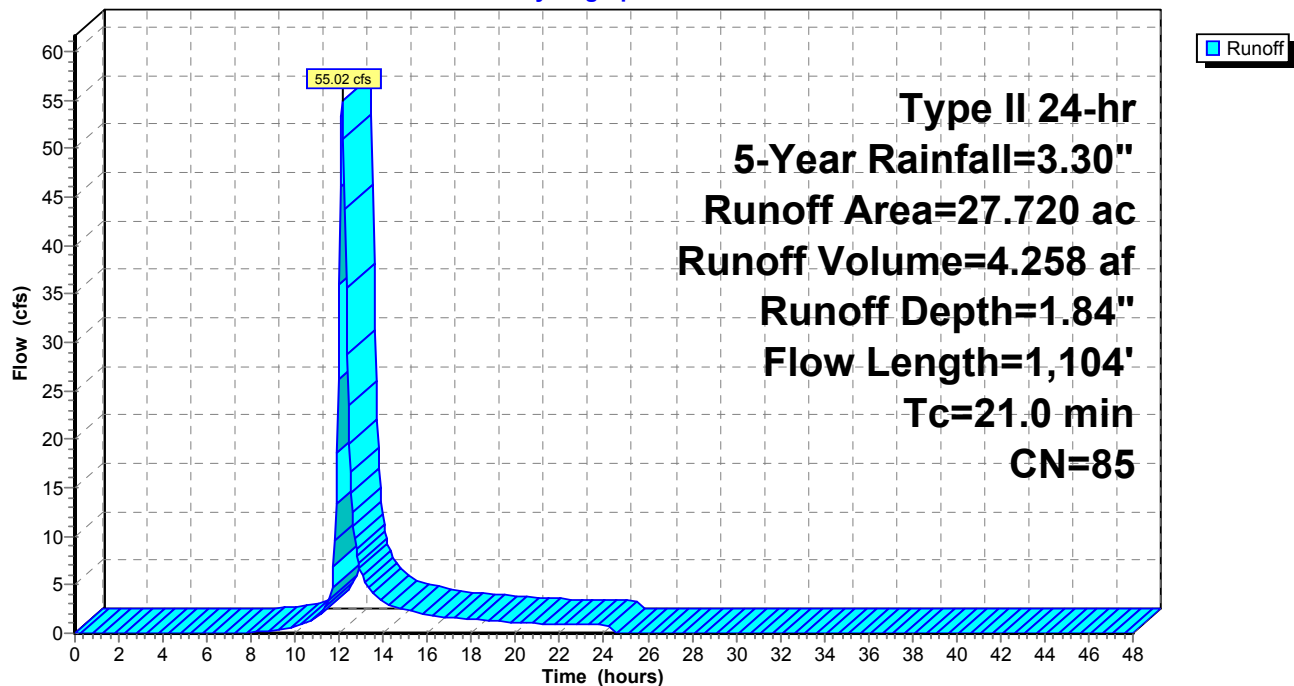
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-48.00 hrs, dt= 0.05 hrs
Type II 24-hr 5-Year Rainfall=3.30"

Area (ac)	CN	Description
27.720	85	Row crops, SR + CR, Good, HSG D
27.720		100.00% Pervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
5.8	100	0.0158	0.29		Sheet Flow, Sheet Flow Cultivated: Residue<=20% n= 0.060 P2= 2.55"
9.1	693	0.0200	1.27		Shallow Concentrated Flow, Shallow Concentrated Flow Cultivated Straight Rows Kv= 9.0 fps
6.1	311	0.0288	0.85		Shallow Concentrated Flow, Shallow Concentrated Flow 2 Woodland Kv= 5.0 fps
21.0	1,104	Total			

Subcatchment 9S: Watershed B2

Hydrograph



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Type II 24-hr 10-Year Rainfall=3.80"

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Page 4

Summary for Subcatchment 9S: Watershed B2

Runoff = 67.98 cfs @ 12.14 hrs, Volume= 5.267 af, Depth= 2.28"

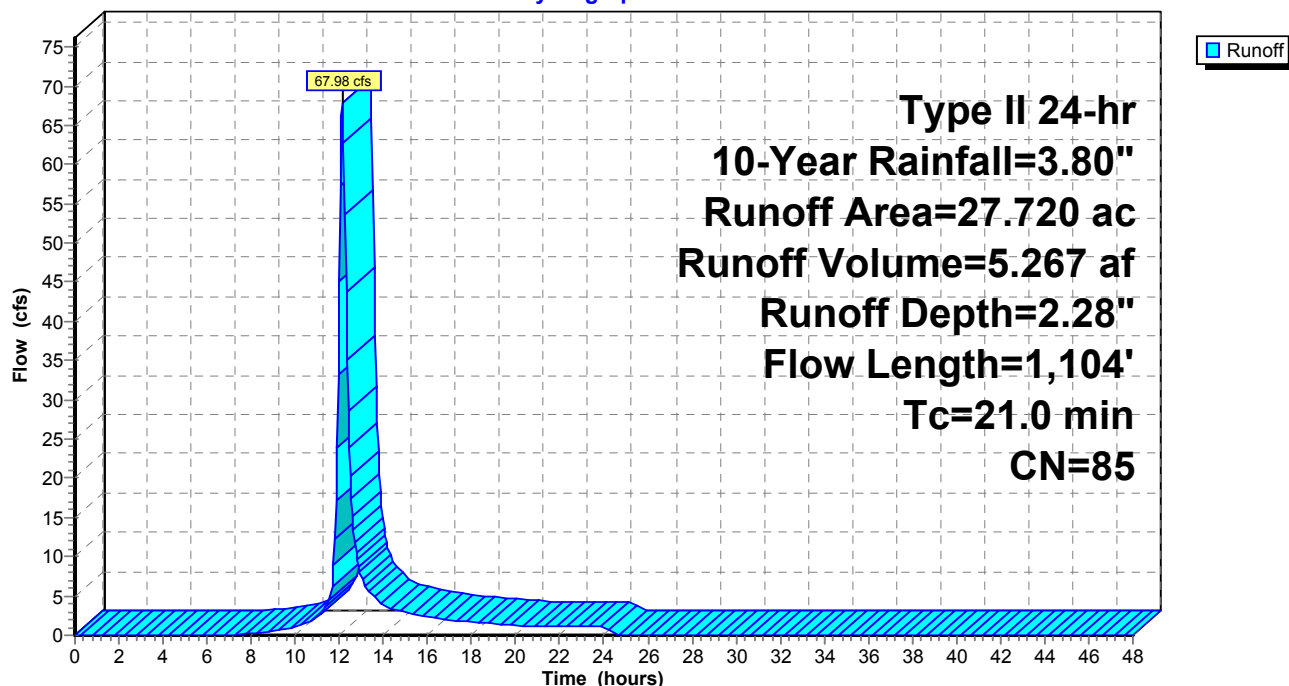
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-48.00 hrs, dt= 0.05 hrs
Type II 24-hr 10-Year Rainfall=3.80"

Area (ac)	CN	Description
27.720	85	Row crops, SR + CR, Good, HSG D
27.720		100.00% Pervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
5.8	100	0.0158	0.29		Sheet Flow, Sheet Flow Cultivated: Residue<=20% n= 0.060 P2= 2.55"
9.1	693	0.0200	1.27		Shallow Concentrated Flow, Shallow Concentrated Flow Cultivated Straight Rows Kv= 9.0 fps
6.1	311	0.0288	0.85		Shallow Concentrated Flow, Shallow Concentrated Flow 2 Woodland Kv= 5.0 fps
21.0	1,104	Total			

Subcatchment 9S: Watershed B2

Hydrograph



162-554 Mitchell Highlands

Prepared by Microsoft

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Type II 24-hr 25-Year Rainfall=4.30"

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Page 5

Summary for Subcatchment 9S: Watershed B2

Runoff = 81.12 cfs @ 12.14 hrs, Volume= 6.301 af, Depth= 2.73"

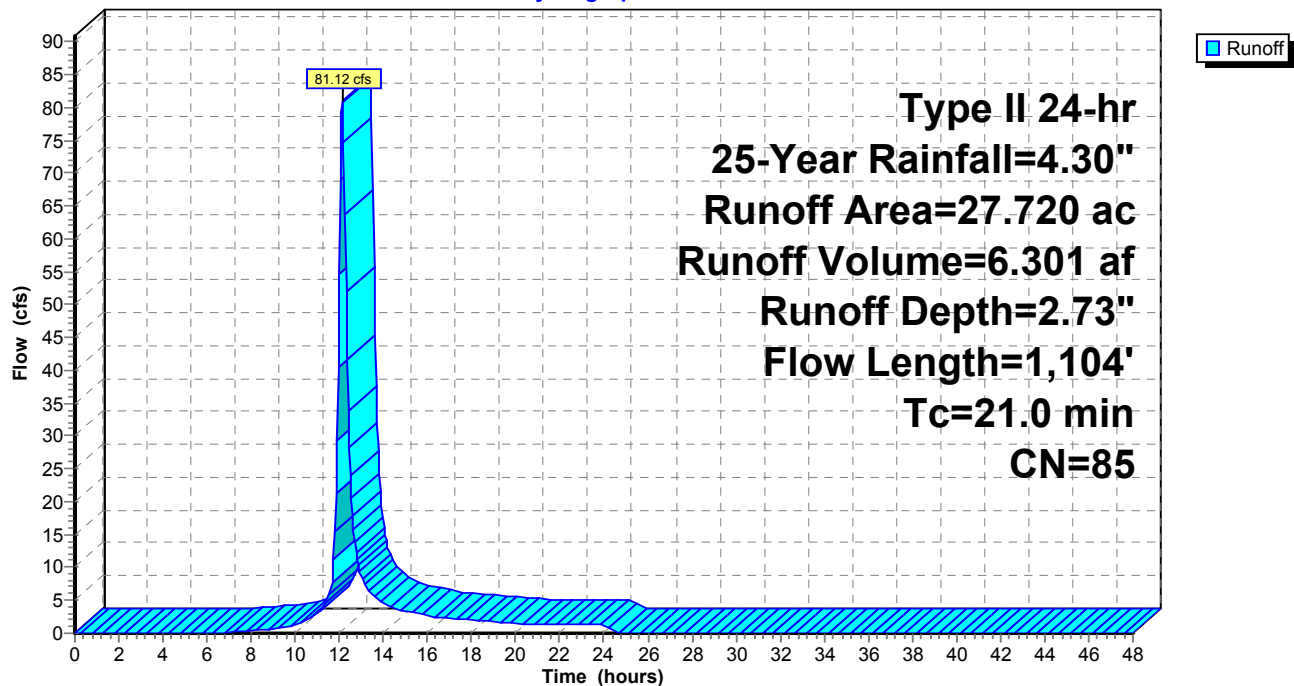
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-48.00 hrs, dt= 0.05 hrs
Type II 24-hr 25-Year Rainfall=4.30"

Area (ac)	CN	Description
27.720	85	Row crops, SR + CR, Good, HSG D
27.720		100.00% Pervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
5.8	100	0.0158	0.29		Sheet Flow, Sheet Flow Cultivated: Residue<=20% n= 0.060 P2= 2.55"
9.1	693	0.0200	1.27		Shallow Concentrated Flow, Shallow Concentrated Flow Cultivated Straight Rows Kv= 9.0 fps
6.1	311	0.0288	0.85		Shallow Concentrated Flow, Shallow Concentrated Flow 2 Woodland Kv= 5.0 fps
21.0	1,104	Total			

Subcatchment 9S: Watershed B2

Hydrograph



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Type II 24-hr 50-Year Rainfall=4.75"

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Page 6

Summary for Subcatchment 9S: Watershed B2

Runoff = 93.04 cfs @ 12.14 hrs, Volume= 7.248 af, Depth= 3.14"

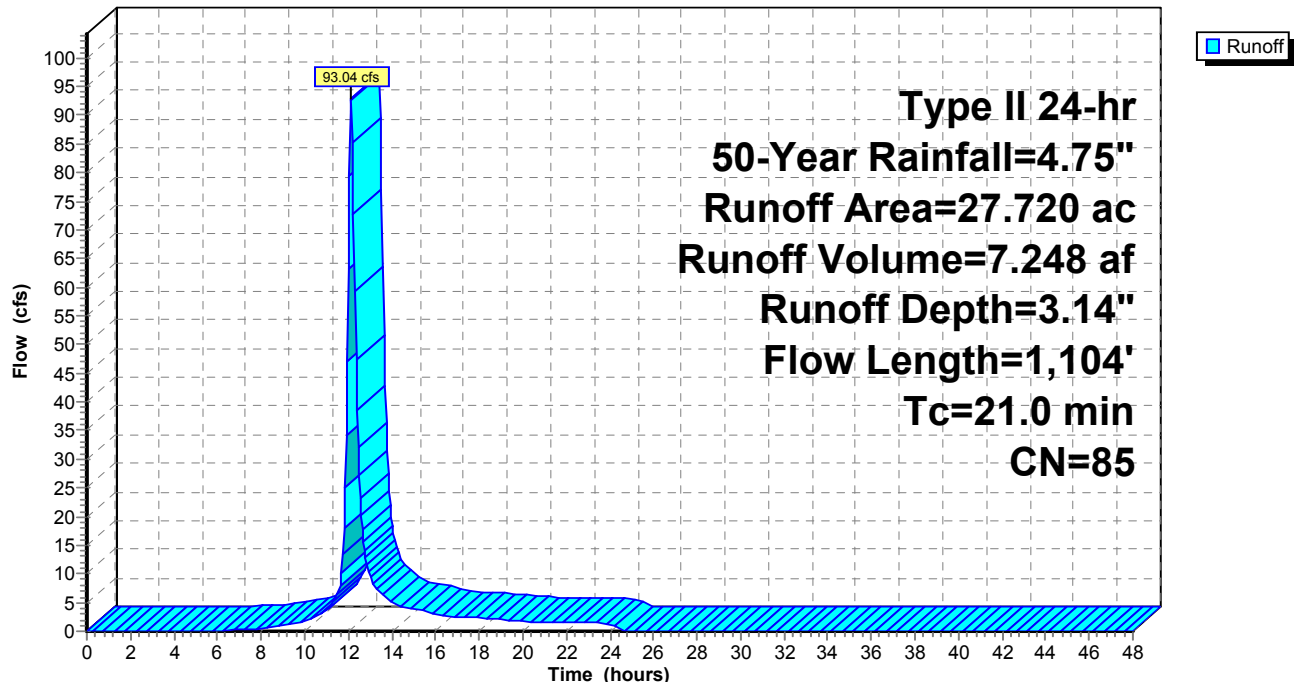
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-48.00 hrs, dt= 0.05 hrs
Type II 24-hr 50-Year Rainfall=4.75"

Area (ac)	CN	Description
27.720	85	Row crops, SR + CR, Good, HSG D
27.720		100.00% Pervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
5.8	100	0.0158	0.29		Sheet Flow, Sheet Flow Cultivated: Residue<=20% n= 0.060 P2= 2.55"
9.1	693	0.0200	1.27		Shallow Concentrated Flow, Shallow Concentrated Flow Cultivated Straight Rows Kv= 9.0 fps
6.1	311	0.0288	0.85		Shallow Concentrated Flow, Shallow Concentrated Flow 2 Woodland Kv= 5.0 fps
21.0	1,104	Total			

Subcatchment 9S: Watershed B2

Hydrograph



162-554 Mitchell Highlands

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Type II 24-hr 100-Year Rainfall=5.00"

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Summary for Subcatchment 9S: Watershed B2

Runoff = 99.68 cfs @ 12.13 hrs, Volume= 7.780 af, Depth= 3.37"

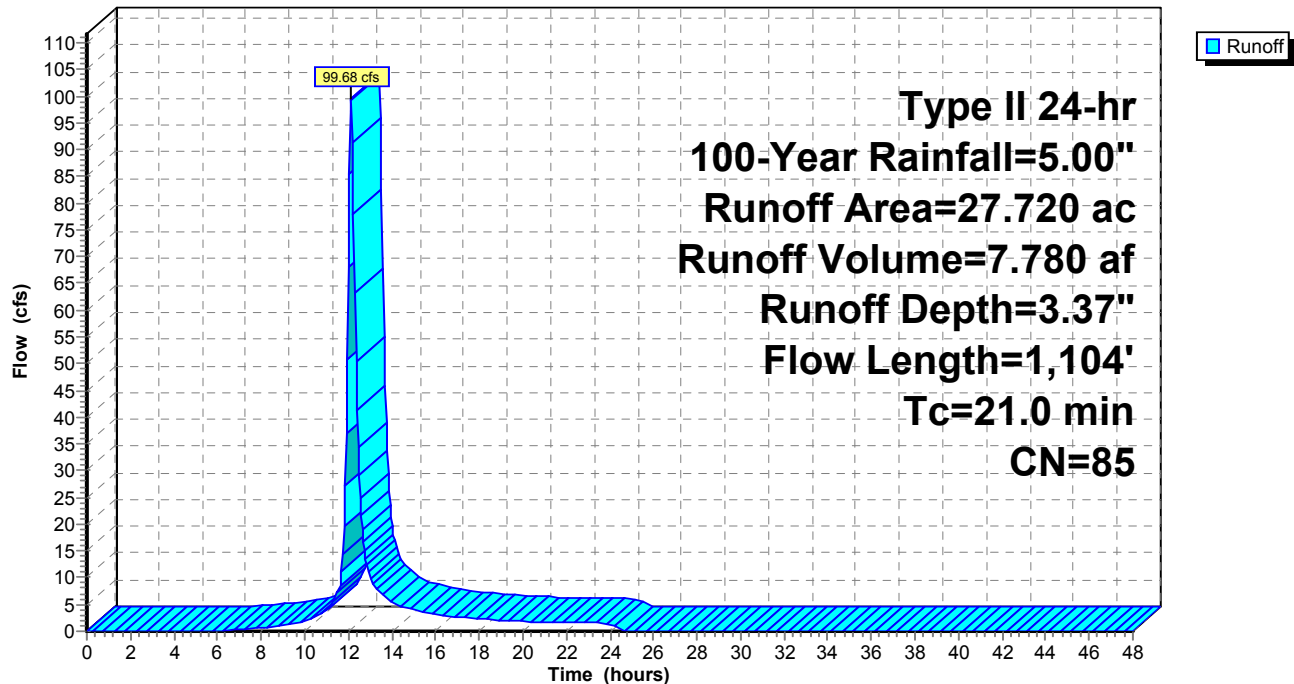
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-48.00 hrs, dt= 0.05 hrs
Type II 24-hr 100-Year Rainfall=5.00"

Area (ac)	CN	Description
27.720	85	Row crops, SR + CR, Good, HSG D
27.720		100.00% Pervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
5.8	100	0.0158	0.29		Sheet Flow, Sheet Flow Cultivated: Residue<=20% n= 0.060 P2= 2.55"
9.1	693	0.0200	1.27		Shallow Concentrated Flow, Shallow Concentrated Flow Cultivated Straight Rows Kv= 9.0 fps
6.1	311	0.0288	0.85		Shallow Concentrated Flow, Shallow Concentrated Flow 2 Woodland Kv= 5.0 fps
21.0	1,104	Total			

Subcatchment 9S: Watershed B2

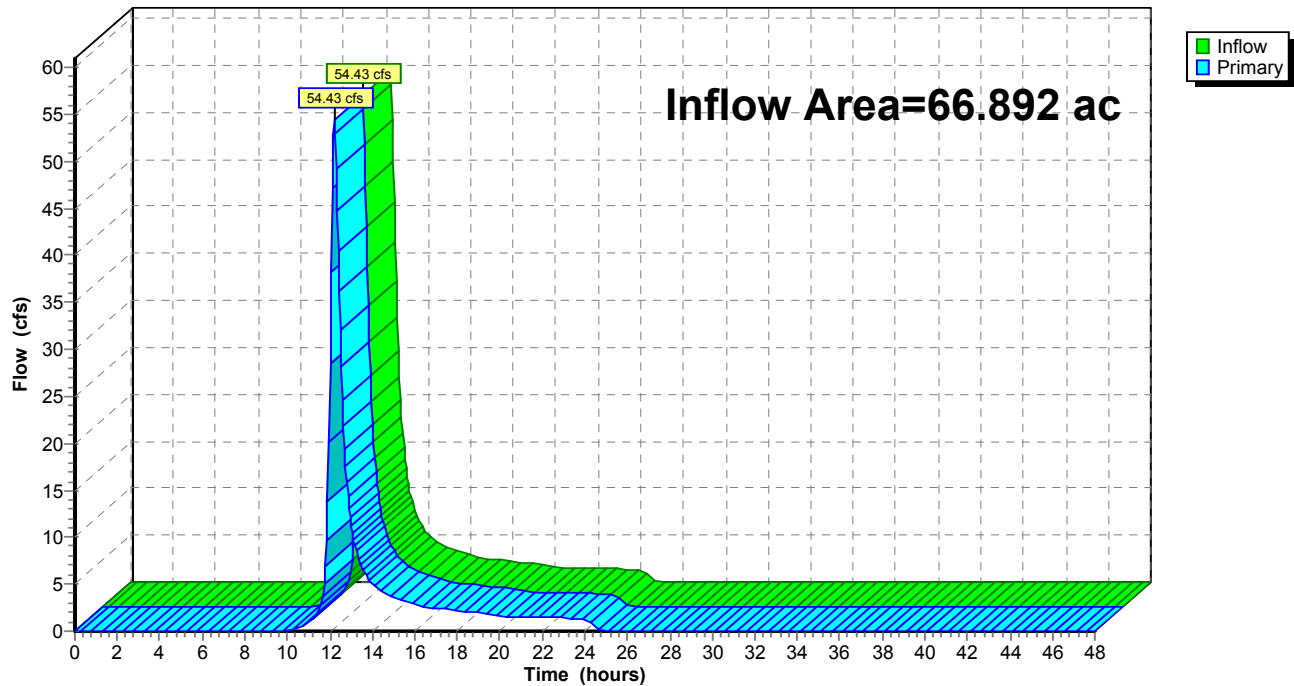
Hydrograph



Summary for Link 11L: Watershed B Ultimate Release

Inflow Area = 66.892 ac, 0.00% Impervious, Inflow Depth = 0.99" for 1-Year event
Inflow = 54.43 cfs @ 12.20 hrs, Volume= 5.530 af
Primary = 54.43 cfs @ 12.20 hrs, Volume= 5.530 af, Atten= 0%, Lag= 0.0 min

Primary outflow = Inflow, Time Span= 0.00-48.00 hrs, dt= 0.05 hrs

Link 11L: Watershed B Ultimate Release**Hydrograph**

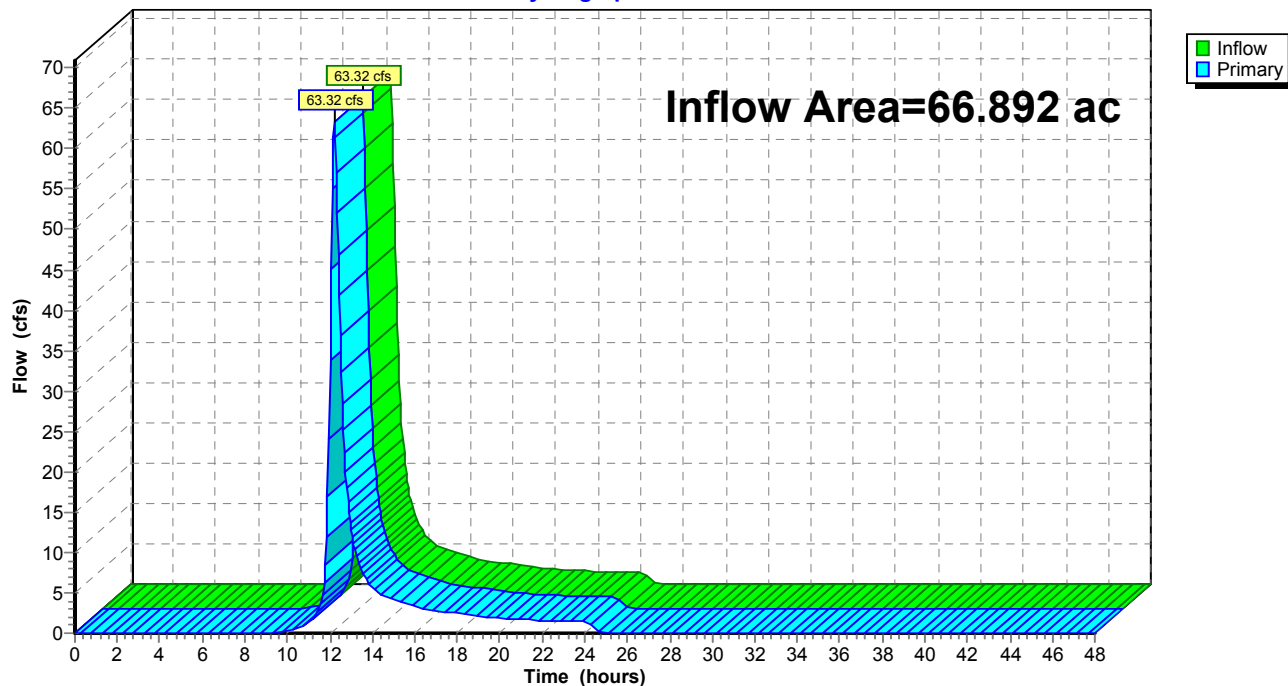
Summary for Link 11L: Watershed B Ultimate Release

Inflow Area = 66.892 ac, 0.00% Impervious, Inflow Depth = 1.15" for 2-Year event
 Inflow = 63.32 cfs @ 12.20 hrs, Volume= 6.385 af
 Primary = 63.32 cfs @ 12.20 hrs, Volume= 6.385 af, Atten= 0%, Lag= 0.0 min

Primary outflow = Inflow, Time Span= 0.00-48.00 hrs, dt= 0.05 hrs

Link 11L: Watershed B Ultimate Release

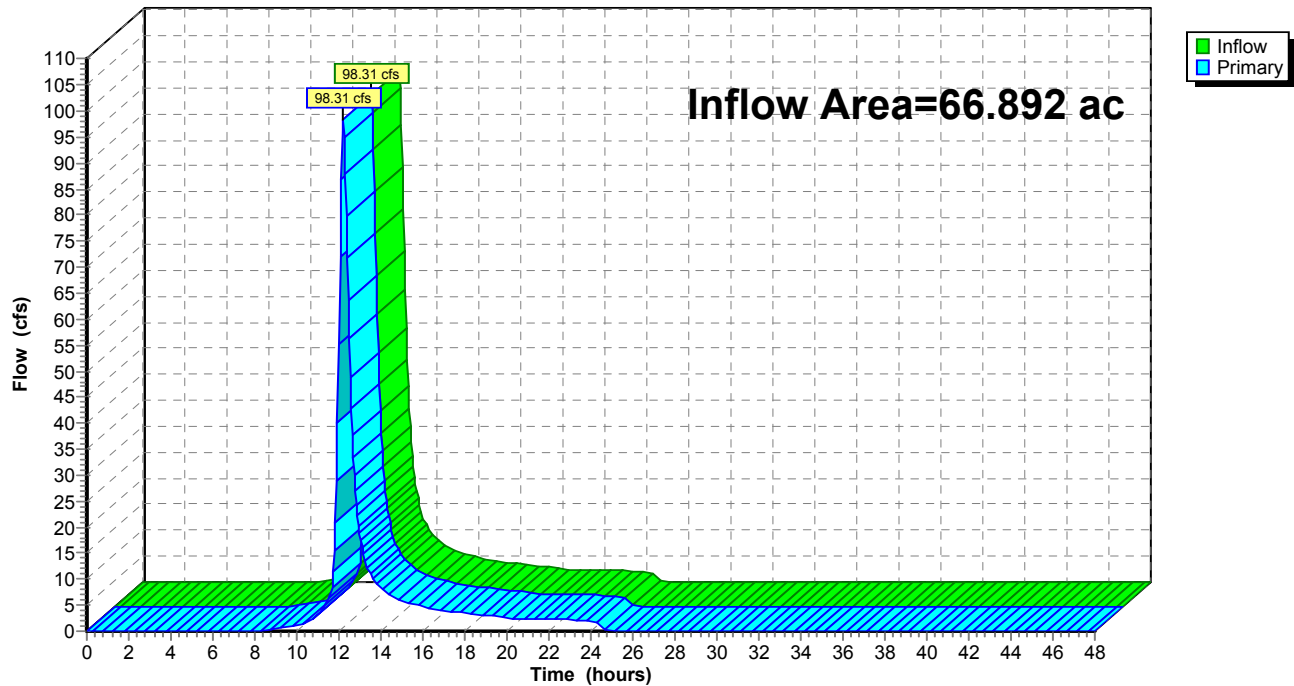
Hydrograph



Summary for Link 11L: Watershed B Ultimate Release

Inflow Area = 66.892 ac, 0.00% Impervious, Inflow Depth = 1.75" for 5-Year event
Inflow = 98.31 cfs @ 12.20 hrs, Volume= 9.780 af
Primary = 98.31 cfs @ 12.20 hrs, Volume= 9.780 af, Atten= 0%, Lag= 0.0 min

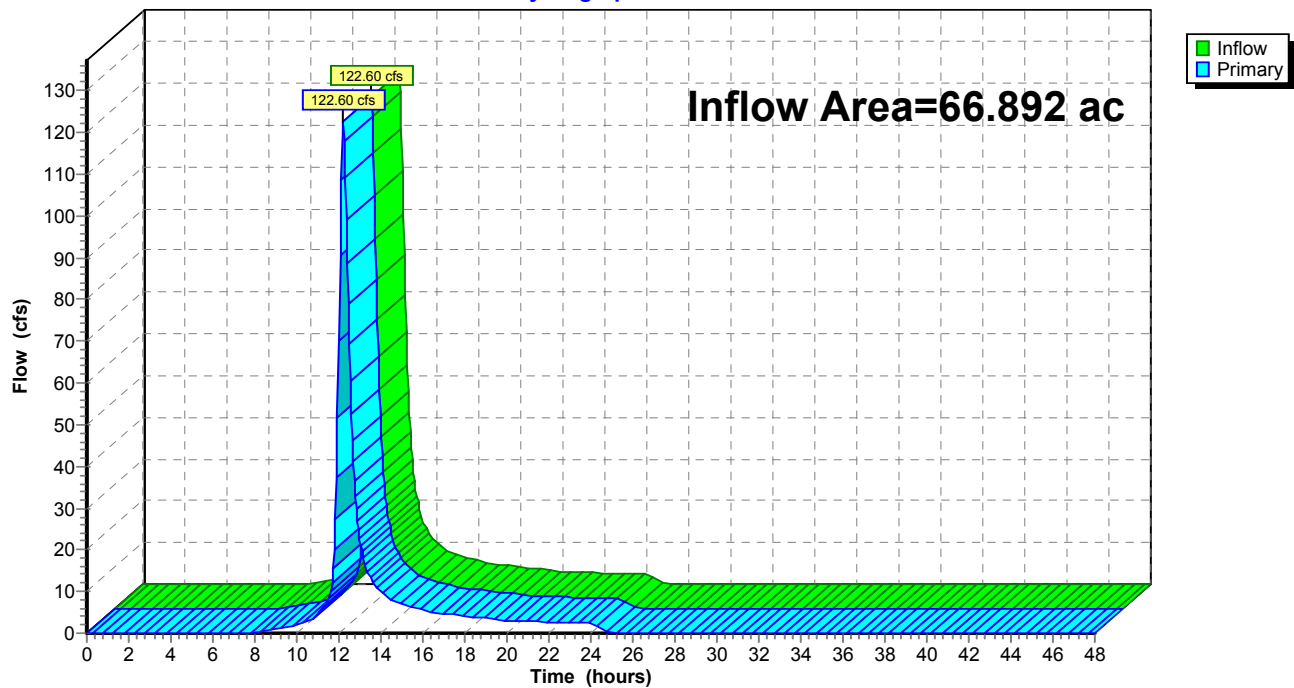
Primary outflow = Inflow, Time Span= 0.00-48.00 hrs, dt= 0.05 hrs

Link 11L: Watershed B Ultimate Release**Hydrograph**

Summary for Link 11L: Watershed B Ultimate Release

Inflow Area = 66.892 ac, 0.00% Impervious, Inflow Depth = 2.18" for 10-Year event
Inflow = 122.60 cfs @ 12.19 hrs, Volume= 12.166 af
Primary = 122.60 cfs @ 12.19 hrs, Volume= 12.166 af, Atten= 0%, Lag= 0.0 min

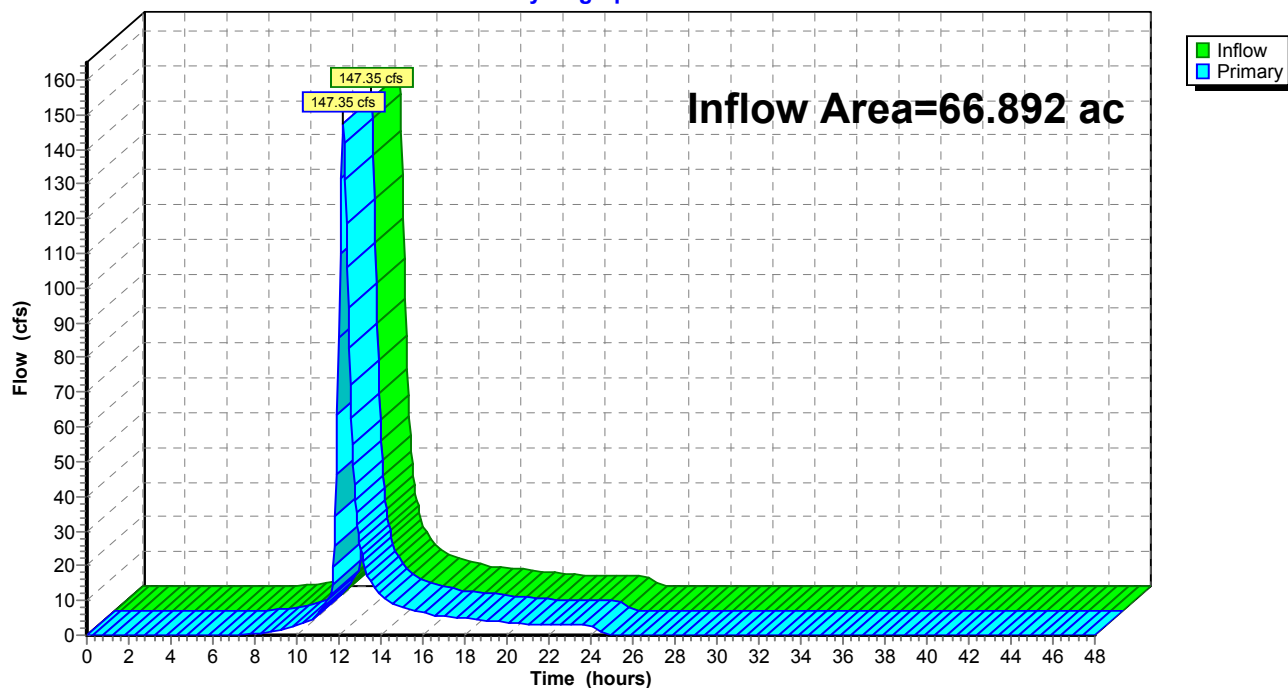
Primary outflow = Inflow, Time Span= 0.00-48.00 hrs, dt= 0.05 hrs

Link 11L: Watershed B Ultimate Release**Hydrograph**

Summary for Link 11L: Watershed B Ultimate Release

Inflow Area = 66.892 ac, 0.00% Impervious, Inflow Depth = 2.62" for 25-Year event
Inflow = 147.35 cfs @ 12.19 hrs, Volume= 14.620 af
Primary = 147.35 cfs @ 12.19 hrs, Volume= 14.620 af, Atten= 0%, Lag= 0.0 min

Primary outflow = Inflow, Time Span= 0.00-48.00 hrs, dt= 0.05 hrs

Link 11L: Watershed B Ultimate Release**Hydrograph**

Summary for Link 11L: Watershed B Ultimate Release

Inflow Area = 66.892 ac, 0.00% Impervious, Inflow Depth = 3.03" for 50-Year event

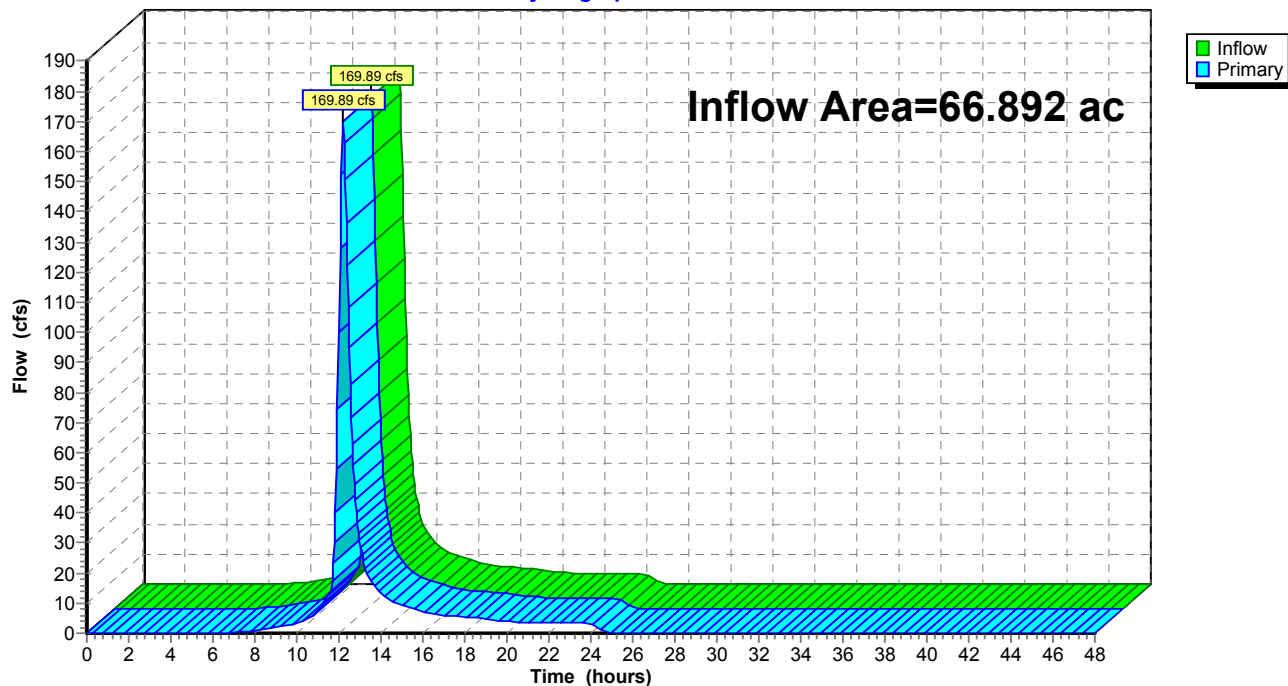
Inflow = 169.89 cfs @ 12.19 hrs, Volume= 16.874 af

Primary = 169.89 cfs @ 12.19 hrs, Volume= 16.874 af, Atten= 0%, Lag= 0.0 min

Primary outflow = Inflow, Time Span= 0.00-48.00 hrs, dt= 0.05 hrs

Link 11L: Watershed B Ultimate Release

Hydrograph



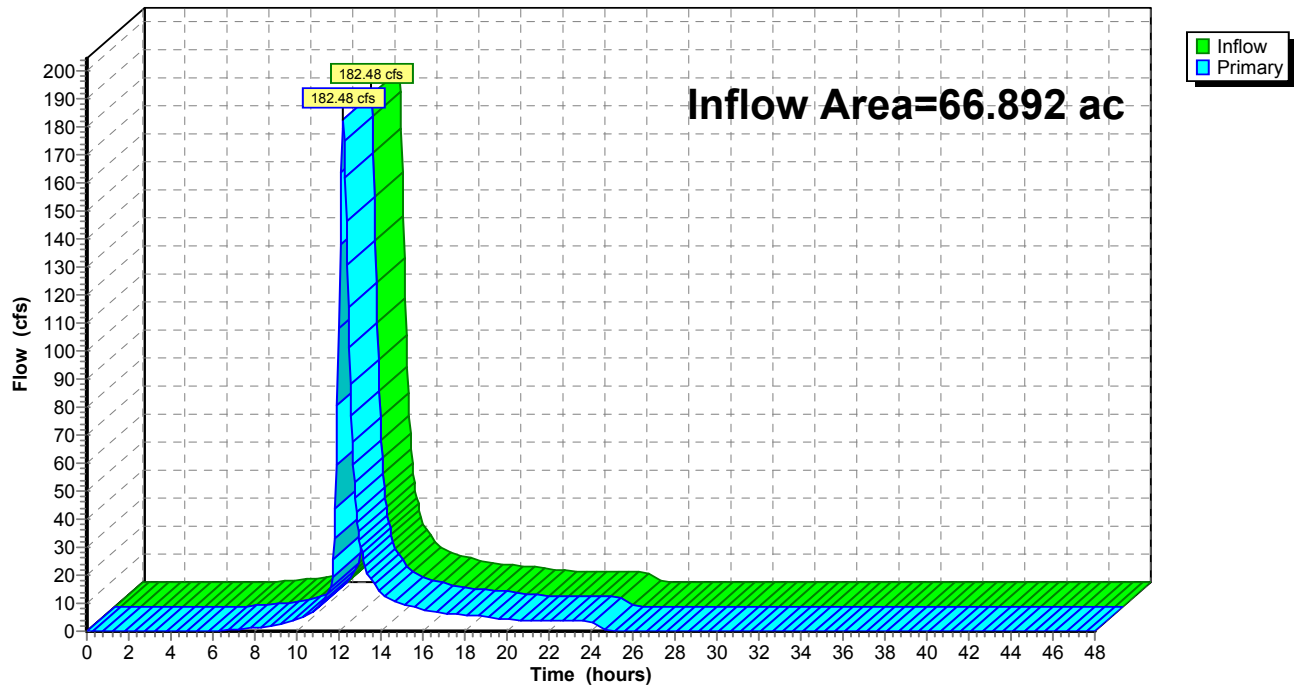
Summary for Link 11L: Watershed B Ultimate Release

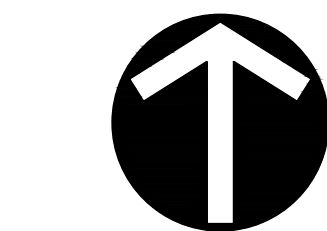
Inflow Area = 66.892 ac, 0.00% Impervious, Inflow Depth = 3.25" for 100-Year event
 Inflow = 182.48 cfs @ 12.19 hrs, Volume= 18.142 af
 Primary = 182.48 cfs @ 12.19 hrs, Volume= 18.142 af, Atten= 0%, Lag= 0.0 min

Primary outflow = Inflow, Time Span= 0.00-48.00 hrs, dt= 0.05 hrs

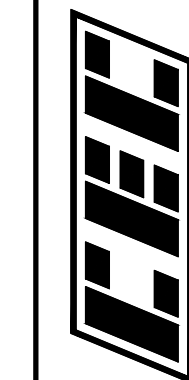
Link 11L: Watershed B Ultimate Release

Hydrograph





SCALE IN FEET

[illegible]

Civil & Environmental Consultants, Inc.
250 Old Wilson Bridge Road · Suite 250 · Worthington, OH 43085
614-540-6633 · 888-598-6808

1-800-855-6633 • 888-599-6633

**ROCKFORD HOMES
MITCHELL HIGHLANDS
JEROME TOWNSHIP
UNION COUNTY, OHIO**

PRE-DEVELOPED TRIBUTARY MAP

DATE:	AUGUST 2016	DRAWN BY:	WDF
DWG SCALE:		CHECKED BY:	MCR
PROJECT NO:	162-554		
APPROVED BY:	DRAET		

DRAWING NO.:

SWM2

SHEET 2 OF 2

LEGEND

	EXISTING PROPERTY LINE
	EXISTING RIGHT OF WAY
	EXISTING CENTER LINE
	EXISTING STREAM
	EXISTING INDEX CONTOUR
	EXISTING INTERMEDIATE CONTOUR
	EXISTING FLOWLINE
	FLOW CHANGE INDICATOR
	EXISTING WATERSHED BOUNDARY
	PROPOSED STORM SEWER
	PROPOSED CATCH BASIN

REFERENCE

1. EXISTING TOPOGRAPHIC INFORMATION PROVIDED BY OHIO GEOGRAPHICALLY REFERENCE INFORMATION PROGRAM, ACCESSED JULY 2016.

APPENDIX B

OUTLET CAPACITY CALCULATIONS



Civil & Environmental Consultants, Inc.

PROJECT Mitchell Highlands

PROJECT NO. 162-554

PAGE 1 OF 1

PREPARED BY WDF

DATE 7/11/2016

CHECKED BY

DATE

$$Q = VA = \left(\frac{1.49}{n} \right) AR^{2/3} \sqrt{S}$$

$$R = \frac{A}{P_w} = \frac{77.9}{84.2} = 0.93$$

Channel

$$= \left(\frac{1.49}{0.013} \right) (77.9 \text{ ft}^2) (0.93 \text{ ft})^{2/3} \sqrt{0.013}$$

$$= 280.2 \text{ ft}^3/\text{s}$$

Bankfull

$$= \left(\frac{1.49}{0.045} \right) (28.2 \text{ ft}^2) (0.86 \text{ ft})^{2/3} \sqrt{0.013}$$

$$R = \frac{A}{P_w} = \frac{28.2}{32.7} = 0.86$$

$$= 96.3 \text{ ft}^3/\text{s}$$

check for
100 y' clear
in channel

$$= \left(\frac{1.49}{0.045} \right) (55.2 \text{ ft}^2) (0.84 \text{ ft})^{2/3} \sqrt{0.013}$$

$$R = \frac{A}{P_w} = \frac{55.2}{65.9} = 0.84$$

$$= 185.5 \text{ ft}^3/\text{s}$$

2.5' : 161
2.7' : 211.7
2.6' : 185.5

EXHIBIT D

DRAFT

DECLARATION OF COVENANTS, CONDITIONS, RESTRICTIONS AND EASEMENTS FOR (MITCHELL HIGHLANDS)

June 6th 2016

THIS DECLARATION OF COVENANTS, CONDITIONS, RESTRICTIONS AND EASEMENTS is made on the ____ day of _____, 20__, by Rockford Homes Inc. at 999 Polaris Parkway, Columbus, Ohio 43240, hereinafter referred to as the "Declarant". Declarant is the owner of all that certain real property located in Union County, Ohio, more particularly described on Exhibit A attached hereto (the "Properties," which property, together with all real property submitted to this Declaration from time to time pursuant to Article 9 hereafter, is collectively referred to as the "MITCHELL HIGHLANDS Area") and hereby makes this Declaration of Covenants, Conditions, Restrictions and Easements (the "Declaration") for the Mitchell Crossing Area for the purposes hereinafter set forth.

In pursuance of a general plan for the protection, benefit and mutual advantage of all the real property referred to herein as the MITCHELL HIGHLANDS Area which the Declarant has subdivided or proposes to subdivide, and of the persons who are now or may hereafter become owners, lessees, and sublessees of any of the MITCHELL HIGHLANDS Area, Declarant hereby declares that the Properties and any properties subsequently Annexed hereto in accordance with the provisions of this Declaration, shall be held, sold, conveyed, encumbered, leased, occupied and improved subject to the following covenants, conditions, restrictions, easements and provisions, which shall run with the Properties and any such subsequently Annexed properties and shall be binding upon, and inure to the benefit of, all parties now or hereafter having any right, title or interest in such property or any part thereof, and their heirs, personal and legal representatives, successors and assigns.

ARTICLE 1. DEFINITIONS.

The following terms when used in these Restrictions shall have the meaning set forth after each of them.

- 1.01. GENERAL RESTRICTIONS, ARCHITECTURAL RESTRICTIONS AND CONSTRUCTION STANDARDS. The Restrictions and Standards contained in Articles 2, 3 and 4 hereof.
- 1.02. DECLARANT. Rockford Homes Inc., and its successors, legal representatives and assigns.
- 1.03. LOTS. The lots shown on the Final Plat of MITCHELL HIGHLANDS, or any amended or subsequent plat filed by Declarant for MITCHELL HIGHLANDS.
- 1.04. OWNER. A person owning a fee simple interest in property.

- 1.05. OWNERS' ASSOCIATION. MITCHELL HIGHLANDS' Association, incorporated or to be incorporated as an Ohio corporation not for profit (the "Owners' Association").
- 1.06. PERSON. An individual, firm, corporation or any other entity or form of business association, which may own real property in the State of Ohio.
- 1.07. PROPERTY. Real property located within MITCHELL HIGHLANDS.
- 1.08. RESTRICTIONS. The reservations, restrictions, conditions, easements, charges, assessments, agreements, covenants, obligations, rights, uses and provisions of this instrument and pertaining to the real property hereby conveyed or any part thereof.
- 1.09. MITCHELL HIGHLANDS. Those lots hereinabove described in the MITCHELL HIGHLANDS subdivision, together with such other real property as the Declarant may hereafter subject to these restrictions by written instrument filed in the Office of the Recorder of Union County, Ohio.

ARTICLE 2. GENERAL RESTRICTIONS.

- 2.01 All property the Declarant subjects to these restrictions shall be used exclusively for residential purposes. No structures or buildings shall be erected, altered, placed or permitted to remain on any part of any lot or reserves on the property other than single family dwellings and private garages, being a minimum of two cars in size, not to exceed two and one half (2½) stories in heights nor greater than thirty-five (35) feet in height serving such dwellings on the front elevation. No more than one single-family dwelling and the attached private garage serving such dwelling shall be placed on any Lot. This provision shall not prevent the construction of such other structures, such as, but not limited to, pool, pool houses/cabanas, pump house for pool, hot tubs/spas, pergolas, trellises, green house, garden storage sheds, gazebos, patios, decks, rear yard fencing, children play structures, play houses and sports equipment etc.; however, prior to construction of such structure, plans and specifications must be submitted to the Architectural Review Committee (ARC), as described in Article 3., for approval, the ARC may deny approval for construction, if in its opinion the Lot and the other structures including the single-family dwelling on such Lot will not, for reason of size, topography or aesthetics, accommodate such additional structures. Such structures, when approved, must not be built prior to the construction of the single-family dwelling.
- 2.01. No animals, livestock or poultry of any kind shall be raised, bred or kept in or on any lot other than household pets may be kept on any part of the Property provided they are not kept, bred or maintained for any commercial purpose. No kennels or enclosures for animals shall be erected or maintained on any lot. No pets which frequently, by noise or otherwise, disturb the peaceful occupancy of adjoining Lots may be kept. Pets shall not be permitted to run "free". Pets shall be kept within the dwelling or an approved fenced area on the property.
- 2.02. No truck over one ton, trailer, boat, camper, recreational or commercial vehicle shall be parked or stored on any lot unless it is in a garage out of view from the street and abutting properties, provided however, that nothing herein shall prohibit the occasional nonrecurring temporary parking of such truck, trailer, boat, camper, recreational vehicle or commercial vehicle on the premises for a period not to exceed twenty-four (24) hours in any period of ten (10) days. No automobile or motor driven vehicle shall be left upon

any lot for a period longer than seven (7) days in a condition wherein it cannot be operated upon a public highway. After such period the vehicle shall be considered a nuisance and detrimental to the welfare of the above described real estate and shall be removed therefrom.

- 2.03. No fences or walls may be constructed on any part of the Property unless prior written approval is obtained from the ARC in the manner described in Article 3.
- 2.04. All structures shall be completed on the exterior, including the removal of all debris and miscellaneous construction equipment, within one (1) year from the start of construction. The structure will not be considered complete unless all exterior wood surfaces have been finished with no less than two (2) coats of paint, stain, or varnish or one (1) coat of stain for wood shingle siding and unless all landscaping to be done on the Lot is completed and all driveways to be constructed have been paved with either asphalt, patterned concrete, brick or other paving substance approved by the ARC. The Owner's Association may use its rights contained in Article 8 to cause compliance with this section.
- 2.05. After completion of any initial structure(s) constructed on the property, no remodeling or alteration of the exterior of the structure, including but not limited to the construction of decks, patios and/or driveways, or the change of siding materials or color, can be made without prior written approval by the ARC.
- 2.06. No changes in any stream or lake may be made and no stream or lake may be dammed or altered unless approved in the same manner provided for in Article 3. Each Owner shall respect the riparian rights of other Owners in matters pertaining to streams, lakes and surface drainage.
- 2.07. No tank for the storage of fuel may be placed or maintained on any part of the Property. Television, radio or disk antennas, whether rooftop or ground mounted, shall be prohibited on the exterior of any house or lot. An exception will be made for dishes 24" or less in diameter, and is not visible from the street.
- 2.08. No refuse pile or other unsightly or objectionable material or thing shall be allowed or maintained on any part of the property.
- 2.09. Temporary Structures. No structure of a temporary character, trailer, basement, tent, shack, garage, barn or other outbuilding shall be used on any lot at any time as a residence, either temporarily or permanently; except construction trailers. No temporary building, trailer, garage, storage building, or structure shall be placed upon any lot for storage purposes without the express written consent of the ARC.
- 2.10. All Owners, including the Owners of unoccupied Lots, shall at all times keep and maintain the part of the Property which they own in orderly manner, shall cause weeds and other growth to be kept neatly cut, and shall prevent the accumulation of rubbish and debris on the part of the Property which they own. Each Owner shall also maintain any landscaping installed on such owner's lot(s).
- 2.11. No business, trade, office, or business building of any kind or nature whatsoever shall be constructed upon any Lot or Lots; except activities associated with sales and construction of homes. This shall not preclude the use of one room in any premises for

the purpose of conducting business. Such business shall not include the use of non-resident employees and shall not generate unreasonable traffic to that residence. In addition, no noxious, offensive or unreasonable disturbing activity shall be carried on any lot or any part of the Subdivision.

- 2.12. Signs. No sign of any kind shall be displayed or maintained on any lot, except one (1) sign of not more than six (6) square feet advertising the property for sale or rent and promotional signs used by builders or Declarant during the construction and sales period.
- 2.13. All telephone service or other utilities shall be constructed by underground lines; however, appurtenances to such service, such as transformers, junction boxes, splice boxes, amplifiers, and other similar devices, may be placed above ground if such devices are normally placed above ground by such utility in installing underground service. In the event of any questions or dispute, said issue shall be submitted to Declarant and the decision of the Declarant as to what may be placed above ground shall be final. This requirement does not preclude the installation of temporary overhead lines during the time of initial construction of houses.
- 2.14. Sight Distance at Intersections. No fence, wall, hedge, or shrub planting which obstructs sight lines at elevations between two (2) and six (6) feet above the roadways shall be placed or permitted to remain on any corner lot within the triangular area formed by the street property lines and an line connecting them at points twenty-five (25) feet from the intersection of the street line or, in the case of a rounded property corner, from the intersection of the street property lines extended. The same sight line limitations shall apply on any lot within ten (10) feet from the intersection of a street property line with the edge of a driveway pavement. Trees shall be permitted to remain within such distance of such intersections provided the foliage line is maintained at sufficient heights to prevent obstruction of such sight lines.
- 2.15. The walls, fencing, subdivision identification signs, earth mounds, electrical facilities, irrigation systems and landscaping placed on any of the lots in the subdivision by Declarant or at Declarant's direction shall not be removed and/or changed and shall be maintained in good condition by the Owners of the respective lots.
- 2.16. A permanent construction and maintenance easement has been granted the Declarant and Declarant's successors, assigns and designees as shown on the subdivision Final Plat for Mitchell Crossing, the easement being described as all road rights-of-ways, drainage and utility easements. The purpose of the easement shall be for the repair of existing improvements and the connection to and extension of such improvements to permit the orderly development of adjoining land presently owned or to be acquired by the Declarant.
- 2.17. No clothing or any household fabrics shall be hung in the open on any lot and no outside clothes lines or other drying or airing facilities shall be permitted on any lot.

ARTICLE 3. ARCHITECTURAL REVIEW COMMITTEE AND ARCHITECTURAL
RESTRICTIONS.

- 3.01. There shall be an Architectural Review Committee (ARC) composed of three (3) members who shall be appointed initially by the Declarant for the approval of the first structure(s) of each Lot, and thereafter by the Board of Trustees of the Owners' Association (Board). The members of the Architectural Review Committee need not be Board Members, Owners, or occupants and may be, but are not required to be, outside professionals. In the event the Board fails to appoint members to the ARC the Board shall constitute the ARC until such time as the appropriate appointments are made. Each member of the ARC shall serve at the pleasure of the Board. Any action taken by a majority of the members of the ARC, whether at a meeting, or (if in writing signed by such majority) without a meeting, such action shall constitute the official action of the ARC and shall be binding on the Association and any Owner or occupant of the Lot in question. The ARC shall act in connection with granting any approvals contemplated in this Declaration and/or reviewing plans and/or specifications as set forth herein.
- 3.02. The ARC shall approve plans and specifications (whether schematic, preliminary or detailed), submitted to it with respect to any Lot if it finds that such items: (a) comply with the requirements of this Declaration; and (b) conform to any Design Standards as established herein, or as further modified by the Board. Upon final approval, a copy of the plans and specifications shall be deposited for permanent record with the ARC. After the receipt of final approval by the Applicant, the ARC shall not revoke its approval. Approval by the ARC of plans and specifications with respect to any lot shall not impair the ARC's right subsequently to approve a requested amendment of such plans and specifications in accordance with the provisions of this Article.
- 3.03. The ARC shall have solely the duties and responsibilities given to it by these Restrictions. ARC shall not in any way be responsible for interior design, structural or engineering questions. In connection with any exterior improvement, the ARC shall be concerned solely with aesthetic questions such as the relationship of proposed design to other improvements made or proposed to be made on the Property and to the general environment of the Mitchell Highlands. The Owner of a lot shall be solely responsible for obtaining any required approvals or permits from any governmental authorities. In the event any standards or restrictions established by any governmental authorities shall exceed these Restrictions, then the standard of the governmental authorities shall prevail.
- 3.04. Prior to the construction of any improvements or storage of any materials on the Property, the Owner of any Lot shall be required to submit two (2) sets of complete building plans, two (2) site plans and two (2) signed specifications forms for the building to the ARC, setting forth the general arrangement of the interior and exterior of the building, including the color and texture of the building materials and the type and character of all windows, doors, exterior light fixtures and appurtenant elements such as decorative walls, chimneys, driveways and walkways and detailing the structure on the Lot including setbacks, driveway locations, garage openings, orientation of the structure to the topography and conformance with the drainage grading plan. No building shall be located on any lot nearer to the front lot line or nearer to a side street than the minimum building setback lines shown on the recorded subdivision Final Plat and no building shall

be located in green areas or reserves as shown on the recorded Final Plat. For the purpose of this restriction steps shall not be considered as a part of the building provided that this shall not be construed to permit any portion of the building on any lot to encroach upon another lot or reserve area. In the case of any screening required by these Restrictions, plans shall include detail showing such screening. Landscaping plans shall be submitted and approved before the commencement of landscaping improvements but may be submitted to Declarant separate from the other improvement plans. ARC shall have twenty (20) days in which to review plans submitted. On or before the conclusion of such twenty (20) days, Declarant shall do one or more of the following: (i) approve the plans; (ii) request additional plans, clarifications or explanations; (iii) approve such plans provided that specified modifications are made; or (iv) disapprove such plans, in which event the reasons for such disapproval shall be stated in writing. In the event the ARC requests additional information, plans or explanations, the running of the twenty (20) day period shall be tolled from the date of such request until such additional information, plans or explanations are furnished to Declarant. In the event the ARC does not take any of the actions specified above within the twenty (20) day period specified, then the Owner submitting such materials for review shall notify Declarant in writing, who shall, within ten (10) days after the receipt of such notice, cause such review to be completed in the manner specified above. In the event such review is not completed within such additional ten (10) days, such plans and specifications shall be deemed approved as submitted.

- 3.05. In the event a Dwelling unit, structure, or improvement situated upon any Lot shall have been constructed, remodeled, altered, reconstructed, repaired and/or restored other than in accordance with the approved plans and specifications, the Board shall declare the owner of such lot in default of the provisions of this Article, and the Board may take such action that is permitted in Article 8, or otherwise in law and/or in equity to enforce the provisions of this Declaration and the decision of the ARC. The Board may, however, upon a determination that such default does not substantially conflict with the policies and provisions of the Design Standards, waive such default. So as to assist the Board in making determinations regarding any violations or potential violations, the Board and the ARC, through their authorized officers, employees, and agents shall have the right to enter upon any lot at all reasonable times for the purposes of ascertaining such lot or the construction, remodeling, alteration, repair, reconstruction, and/or restoration of any Dwelling Unit, structure or improvement on such Lot is in compliance with the provisions of this Article.
- 3.06. The ARC may impose reasonable fees for the processing of plans and specifications. Such fees may cover the cost of such processing, including inspection costs and professional fees. The fee shall be payable at the time of submission of the item for approval, and shall be paid to the ARC, who shall then provide such funds directly to the Board.
- 3.07. In the event the ARC disapproves plans and specifications submitted to it, the Applicant submitting the disapproved plans and specifications may, within ten (10) days after the date the ARC renders its decision of disapproval, appeal such decision to the Board. The Board, by a majority vote, may overrule the ARC's decision to disapprove the appealing parties' plans and specifications if the Board determines the ARC's determinations of disapproval was arbitrary or unreasonable. The Board's decision on any appeal shall be final, and shall be rendered within thirty (30) calendar days after the date the appeal is filed.

- 3.08. Upon written request from any Owner, the ARC shall furnish a written statement in form suitable for filing for record as to whether the Architectural Restrictions have been complied with in regard to any Lot.
- 3.09. The acceptance of a deed to a Lot hereunder and the filing of the same for record hereafter shall constitute acknowledgement by such Lot Owner (i) that in examination of plans and specifications submitted, ARC will take into consideration plans and specifications already approved, or in process of being reviewed for approval, of proposed improvements on adjacent lots and the effect of said proposed improvements on the Lot with reference to its effect upon the neighboring properties and the overall development of the Subdivision and (ii) that the ARC may require submission of samples of construction materials to be used in the construction of the residence as a condition of approval of the plans and specifications. The filing for record of a deed to a Lot as aforesaid shall also constitute acknowledgment by such Lot Owner that the ARC shall not be responsible or liable to said Owner or to any Owner of Lots in the Subdivision by reason of the exercise of its judgment in approving or disapproving plans submitted, nor shall ARC be liable for any expense entailed to any Lot Owner in the preparation, submission, and, if necessary, resubmission of the proposed plans and specifications. The decision by the ARC to approve plans and specifications or to approve any plans and specifications with specified modifications shall be final and conclusive.
- 3.10. Except for the necessity of installation of sewer lines or other utilities, where trees exist in the rear of lots, there shall be areas designated as "tree preservation zones" and/or "no disturb zones" on the final plat. These areas as depicted on the recorded plat vary in size. No tree shall be removed from these areas or the areas otherwise disturbed unless they are hazard, dead, diseased or dying trees. No accessory structure shall be located in these identified areas. The Township Zoning Inspector shall have specific authority to enforce this provision as a matter of zoning compliance under this text and under the Township Zoning Resolution and as shall be granted a private right of enforcement within the Deed Restrictions for the community.
- 3.11. All improvements shall be constructed substantially in accordance with the approved plans, specifications and drawings.
- 3.12. Prohibited accessory uses and/or structures: (i) Barns/garden sheds larger than one-hundred (100) square feet (ii) Wind turbines or similar wind-powered energy generating equipment (iii) Above grade swimming pools six inches or more above grade with a surface area of thirty-six (36) square feet or more, (this does not include hot tubs/spas) (iv) Outside television or radio aerial or antenna, or other aerial or antenna, including satellite receiving dishes, for reception or transmission, shall be maintained on the property, to the extent permissible under applicable statutes and regulations, including those administered by the Federal Communications Commission, except that this restriction shall not apply to satellite dishes with a diameter less than one (1) meter, erected or installed to minimize visibility from the street which the dwelling fronts
- 3.13. In ground pools shall be flush with the grade; shall be limited to the rear yard; all pool equipment shall be located behind the principle structure not visible from the right-of-way; pool decking (either brick pavers, stone or concrete) shall not be closer than ten (10) feet from any side property line; landscape screening (mixture of evergreen and

deciduous bushes, shrubs and trees shall be utilized to screen views from all adjacent properties and on the outside of the required fencing).

- 3.14. Pool houses/cabanas/pool pump house: shall be integrated architecturally into the overall design of the principle structure and shall utilize design cues that will complement the principle structure. Pool houses shall not encroach into any restricted side or rear yard setback
- 3.15. Hot tubs/spas shall be located behind the principle structure and shall not be within twenty (20) feet from any side property line. The above ground hot tub/spa shall be screened from view with evergreen trees and not visible from any neighboring property or right-of-way.
- 3.16. Pergolas shall be located in the rear yard only; shall not encroach into the side or rear yard setback; shall be integrated into the overall design of the landscape; shall be wood and/or metal with or without drapes.
- 3.17. Trellises shall be located in the rear yard only, shall not encroach into the side or rear yard setback; shall be integrated into the overall design of the landscape; shall be wood and/or metal.
- 3.18. Green House shall be located in the rear yard only; shall not be closer than twenty (20) feet from any side property line; maximum pad area of ten (10) feet by ten (10) feet; shall be metal or wood frame enclosed with glass; shall be landscaped with deciduous and evergreen material so as not to be seen from the right-of-way.
- 3.19. Garden storage sheds or detached storage sheds shall mimic the exterior materials of the principle structure (same material, same color and roof shingles); shall not be within twenty (20) feet of any side property line; shall not be visible from the right-of-way; maximum size shall be limited to ten (10) feet by ten (10) feet pad (this shall include all overhangs and projections) and if backing to an adjacent lot the shed shall have landscaping to soften the view.
- 3.20. Gazebos shall be located in the rear yard not closer than twenty (20) feet of any side property line; shall be wood, metal or wood frame clad in vinyl; appropriately landscaped with evergreen and deciduous shrubs, bushes and upright material.
- 3.21. Patios shall be located in the rear yard; shall not encroach into any restricted setbacks
- 3.22. Decks shall be located in the rear yard; shall not wrap around the side of principle structure; shall not encroach into any restricted setbacks. Elevated decks shall not be utilized for storage unless full board on board skirting is installed; lattice is not permissible for storage screening.
- 3.23. Property line fencing is limited to treated or cedar wood; four (4) foot tall (as measured from grade to top of post); styles permitted are three (3) rail split and three (3) rail smooth equestrian with optional black wire or vinyl mesh mounted on the inside of the fence. Location of the fence is limited to the rear yard and shall not encroach into tree preservation zones and/or no disturb zones, major flood routes, County easements, building line setbacks or pass the rear plane of the principle structure.

- 3.24. Pool fencing shall be limited to aluminum or wrought iron fencing and shall be located directly adjacent (within five (5) feet) of the pool decking and shall not be utilized as a property enclosure. Pool fencing shall meet all local standards.
- 3.25. Children play structures and play equipment are limited to the following: wooden play structures with muted colors for canopies, slides and swing seats, trampolines (anchored), sport bounce back equipment, backstop netting, lacrosse goals and soccer goals are limited to the rear yards. Basketball hoop either temporary or permanent can be located in front of the principle structure but shall not be located in the street. Rear yard basketball courts shall not have lighting, shall be screened with evergreen landscaping and shall not be closer than twenty feet from any side property line.
- 3.26. A Zoning Certificate from individual homeowners subject to compliance with the Township Zoning Resolution and Zoning Clearance procedures are required for the following items: pools, pool houses/cabanas, pump house for pool, green house, garden storage sheds, patios, decks and property line fencing. In order to apply for a Zoning Certificate at the Township, individual homeowner applicants shall first gain ARC approval. All other items not listed above will require ARC approval.

ARTICLE 4. CONSTRUCTION STANDARDS.

- 4.01. One-story dwellings shall have a minimum square footage of 2,000 square feet. Dwellings of more than one story shall have a minimum of 2,400 square feet.
- 4.02. Exterior construction materials shall be brick, stone, manufactured stone veneer, stucco, EIFS with drainage, wood or wood fiber planks such as Hardie Plank or such other product or products as approved by the ARC as being consistent with the standards of this section. However, the use of aluminum or vinyl siding other than for soffit or fascia shall be specifically prohibited. Roofing shall be a minimum of 25-year dimensional asphalt shingles. Other roofing materials will be allowed only with written approval of ARC.
- 4.03. As part of the initial construction of each dwelling each owner shall construct a concrete driveway apron.
- 4.04. As part of the initial landscaping, each dwelling owner, other than Declarant, shall provide street trees at a spacing not to exceed 50 feet on center between trees across the entire frontage of the street right-of-way(s). Each lot shall be provided with at least two trees along all public right-of-way(s). The trees shall be of a variety specified by Declarant and have a minimum of a 2 inch caliper. The placement of the street trees will be approved by the ARC.
- 4.05. No construction, grading or other improvements shall be made to any Lot if such improvement would interfere with or otherwise alter the general grading and drainage plan of the property or any existing swales, floodways or other drainage configurations.
- 4.06. In the event an Owner or any contractor or subcontractor of an Owner damages any utility property, public property, or property of another Owner located within an easement

shown on the recorded Final Plat, the Owner who caused (or whose agent caused) the damage shall be liable for the cost of repair. Owner shall indemnify Declarant and the Owners' Association against any such claim for damages.

- 4.07. No Owner or contractor or subcontractor of any Owner may cause the removal of any trees owned by another Owner or dump, buy, spread or otherwise dispose of any earth or debris of any nature on the Property of any other Owner.
- 4.08. Except for the necessity of installation of sewer lines or other utilities, where trees exist in the rear of lots, there shall be areas designated as "tree preservation zones" and/or "no disturb zones" on the final plat. These areas as depicted on the recorded plat vary in size. No tree shall be removed from these areas or the areas otherwise disturbed unless they are hazard, dead, diseased or dying trees. No accessory structure shall be located in these identified areas. The Township Zoning Inspector shall have specific authority to enforce this provision as a matter of zoning compliance under the project zoning text and under the Township Zoning Resolution and as shall be granted a private right of enforcement within the Deed Restrictions for the community.
- 4.09. The ARC will prescribe a type of mailbox, a standard signage to be used on mailboxes and a standard for signage to be used by Realtors, builders, architects and other persons offering homes for sale. No type of mailbox and no type of signage other than the prescribed types shall be used or placed upon the Property.

ARTICLE 5. PLAT.

- 5.01. The utility easements shown on the recorded Final Plat of the MITCHELL HIGHLANDS subdivision, shall be for the purpose of extending underground utility service of all kinds, including water, storm drainage, sanitary sewer, electric, telephone, gas and cable television, and shall be for the benefit of the Property, the Owners, the Declarant and the utilities and governmental agencies extending such service.
- 5.02. No Lot may be split into any smaller unit of any size. The reserves within the community shall not be split into small parcels or shall be developed in the future.

ARTICLE 6. OWNERS' ASSOCIATION.

- 6.01. As set forth in Section 1.05 above, the Declarant has heretofore caused to be formed an Ohio not for profit corporation, the name of which is MITCHELL HIGHLANDS Owners' Association (the "Owners' Association"). Membership in the Owners' Association for the owner of each lot is mandatory. All lot owners shall be voting members in the Owners' Association. Each member shall have one (1) vote for each Lot owned by such Owner, provided, however, that in the event more than one Person shall be the Owner of any Lot by reason of tenancy in common, survivorship tenancy or otherwise, a majority of the Persons owning such Lot shall cast the single vote for that Lot.
- 6.02. The Owners of the Lots in said Subdivision hereby agree for themselves and their respective heirs, successors and assigns that facilities now or hereafter constructed or created shall be held by the Owners' Association for the benefit of the owners of all Lots of the Subdivision. It shall be the responsibility of the Owners' Association to maintain

- the entrances, additional reserves and landscape buffers as identified on the final plat. The Owners' Association to the subdivision shall own and maintain the reserves and surrounding area in an attractive and aesthetically appealing condition. Such responsibility shall include, but not be limited to, caring for and maintaining, in an attractive manner, the landscaping in the area, seeding and mowing along the right-of-way and entrance way, lighting and other architectural and landscaping embellishments.
- 6.03. The Owners' Association shall keep and maintain insurance on commonly owned facilities in such amount as the Owners' Association may deem reasonable.
 - 6.04. The Owners' Association reserves the right to enact at any time and from time to time reasonable rules and regulations for the use of the commonly owned facilities. Each Owner agrees to abide and comply with any such rules and regulations.
 - 6.05. The Owners' Association shall accept deed(s) transferring the reserves, green space, parks and/or open space not included in platted lots for single-family residences.
 - 6.06. Upon conveyance of 90% of the lots within MITCHELL HIGHLANDS (including additions of adjacent or will become adjacent to properties to be included within the total number of lots of MITCHELL HIGHLANDS by the Declarant) and after approval of all the initial building plans of all Lots by the ARC, the approvals required thereafter of the Declarant shall automatically vest in the Owners' Association.
 - 6.07. Declarant shall release all responsibilities of maintenance of MITCHELL HIGHLANDS to MITCHELL HIGHLANDS Owners' Association no later than upon transfer to third parties 90% of the lots platted as MITCHELL HIGHLANDS.
 - 6.08. The Association shall be governed by its Board of Trustees, who shall be appointed or elected by the members of the Association in accordance with the voting rights and the other rights and proceedings set forth in the Bylaws. All provisions of the Bylaws of the Association are incorporated into this Declaration by reference.

ARTICLE 7. ASSESSMENTS.

- 7.01. ESTABLISHMENT OF ASSESSMENTS. For the purpose of providing funds for maintenance, repairs and improvements of the entrance way, open spaces, the right-of-way, and other expenses and costs incurred by the Owners' Association, the trustees of the Owners' Association shall, prior to Jan. 1 of each year, determine an estimated budget for the following calendar year, or in the case of the first year, if only a part of a calendar year, for the remainder of that calendar year and establish an equal annual assessment as to each Lot. These assessments shall be payable in advance, annually, or in such periodic installments and with such due dates as the trustees from time to time determine regardless of the size, shape, or location of the said Lot and irrespective of whether the Lot has been improved with a residence.
- 7.02. ESTABLISHMENT OF LIEN. If any Lot Owner shall fail to pay any installment within ten (10) days after due, the Owners' Association shall be entitled to a valid lien for that installment or the unpaid portion of that year's assessment, if the trustees so elect, together with late fees, other costs, and the interest thereon as established by the Trustee of the Association, which lien shall be effective from the date that the Owners'

Association certifies the lien to the Union County, Ohio Recorder. Additionally, each such assessment, together with late charges, other costs, and the interest thereon, shall also be the joint and several personal obligation of the Lot Owner who owned the Lot at the time when the assessment fell due. The obligation for delinquent assessments, interest, late charges and costs shall not be the personal obligation of that Owner's successors in title unless expressly assumed by the successors, provided, however, that the right of the Owners' Association to a lien against that Lot, or to foreclose any lien thereon for these delinquent assessments, interest, late charges and costs, shall not be impaired or abridged by reason of the transfer of ownership of a Lot, but shall continue unaffected thereby. The lien shall be deemed subject and subordinate to any first mortgage lien filed prior to the certification of the Owners' Association's lien to the Union County, Ohio Recorder, or prior to the date that the Owners' Association obtains a certificate of judgment against a defaulting Owner and causes said judgment to become a lien, whichever is the first to occur.

- 7.03. **SPECIAL ASSESSMENT LIEN.** Each Lot Owner shall comply, or cause compliance, with all covenants, requirements, and obligations contained herein, and with all rules and regulations promulgated by the Owners' Association. Upon the failure of a Lot Owner to comply with such covenants, requirements, and obligations, the Owners' Association, in addition to any other enforcement rights it may have hereunder, may, upon action by the Board, take whatever action the Board deem appropriate to cause compliance, including, but without limitation, repair, maintenance, and reconstruction activities, and the removal of improvements or any other action required to cause compliance with the covenants, requirements and obligations contained herein. All costs incurred by the Owners' Association in causing such compliance, together with the interest at such lawful rate as the trustees may from time to time establish, shall be immediately due and payable from the Lot Owner to the Owners' Association; and the Owners' Association shall be entitled to a valid lien as security for the payment of such costs incurred and the interest thereon, which lien shall be filed in the Office of the Union County, Ohio Recorder. Any such lien shall be deemed subject and subordinate to any first mortgage lien filed prior to the certification of the Owners' Association lien to the Union County, Ohio Recorder, or prior to the date that the Owners' Association obtains a certificate of judgment lien against such Lot Owner, whichever is the first to occur.

ARTICLE 8. DURATION; ENFORCEMENT

- 8.01. Each Owner, by acceptance of a deed or other instrument of conveyance, accepts the same subject to these Restrictions; and the rights and obligations created by these Restrictions shall run with the land until January 1, 2050, after which time said covenants shall automatically renew for successive periods of ten (10) years, unless earlier terminated by a majority vote of the then Owners of the Lots at a meeting scheduled and conducted for that purpose. The violation of any provision of these Restrictions shall give to each of (i) the Declarant, (ii) the Owners' Association and (iii) any group of three or more Owners acting together the right to enjoin, by appropriate legal proceeding, the continuance of any such violation.
- 8.02. No restrictions imposed hereby shall be abrogated or waived by any failure to enforce the provisions hereof, regardless of how many violations or breaches may occur.

- 8.03. The invalidity of any one of these Restrictions, in whole or in part, by judgment, court order or any other manner, shall not impair or affect in any manner the validity, enforceability or effect of the rest of the Restrictions herein contained.
- 8.04. Any non-substantial changes in the Restrictions herein contained may be waived by the Declarant prior to the time a majority of the Lots have been conveyed to Owners other than the Declarant. Thereafter, the Declarant herein may waive any non-substantial changes in the Restrictions only with the written consent of the Owners' Association or with the written consent of a majority of the Owners other than the Declarant. After Declarant has sold 90% of the Lots, any Restrictions may be waived only by the Owners' Association or by the Owners of a majority of the Lots.
- 8.05. Curing Defaults; Lien. If any Default occurs with respect to any Lot under the provisions of this Declaration, the Board shall give written notice to the Owner, with a copy of the notice to any Occupant in Default and a copy to any first mortgagee of the Lot who has requested copies of default notices, setting forth in reasonable detail the nature of the Default and the specific action(s) required to remedy the Default, except that no notice of Default shall be required before the Board takes any of the actions set forth in Article 7 for nonpayment of Assessments. If the Owner or Occupant shall fail to take the specific action(s) within 30 days after the mailing of the notice, the Board may, but shall not be required to, exercise any or all of its rights in this Declaration or otherwise available at law or in equity. The Board may exercise without notice any of its rights with respect to any Default if it determines that an emergency exists requiring immediate action. In addition to any other remedies set forth in this Declaration or any remedies at law or equity, the Association may assess a charge of up to Fifty Dollars (\$50.00) for each day an Owner is in default.
- 8.06. Notwithstanding the foregoing, prior to imposing a charge for damages, charges provided for in this Declaration, or an enforcement assessment, the Board shall give the Owner a written notice and opportunity to cure pursuant to Section 5312.11 of the Ohio Revised Code including a description of the property damage or violation; the amount of the proposed charge or assessment; a statement that the Owner has the right to a hearing before the Board to contest the proposed charge or assessment; a statement setting forth the procedures to request a hearing; and a reasonable date by which the Owner must cure a continuing violation to avoid the proposed charge or assessment, if such an opportunity to cure is applicable. To request a hearing, the Owner shall deliver a written notice to the Board not later than the tenth (10th) day after receiving the notice described in this paragraph. If the Owner fails to make a timely request for a hearing, the right to a hearing is waived, and the Board may immediately impose a charge for damages, charges provided for in this Declaration, or an enforcement assessment. If an Owner requests a hearing, at least seven (7) days prior to the hearing the Board shall provide the Owner with a written notice that includes the date, time and location of the hearing. The Board shall not levy a charge or assessment before holding any hearing requested pursuant to this Section. Within thirty (30) days following a hearing at which the Board imposes a charge or assessment, the Association shall deliver a written notice of the charge or assessment to the Owner. Any written notice that this Section requires shall be delivered to the Owner or any Occupant of the dwelling unit by personal delivery, by certified mail, return receipt requested, or by regular mail.
- 8.07. Costs incurred by the Association in exercising any of its rights with respect to any Lot, together with court costs, reasonable attorneys' fees, other costs of enforcement, and

other charges permitted by Ohio Revised Code Section 5312.11, shall be a binding personal obligation of the Owner and shall be payable on demand. If the Owner fails to pay costs within thirty (30) days after demand, the Association may file a notice of lien in the same manner and which shall have the same priority as the liens for Assessments provided in Article 7.

- 8.08. Remedies. Nothing contained in this Section shall be deemed to affect or limit the rights of the Association, any Owner or Occupant, or their legal representatives, heirs, devisees, successors or assigns, by appropriate judicial proceedings, to enforce the provisions of this Declaration or recover damages for any Default. It is declared that irreparable harm will result to beneficiaries of this Declaration by reason of a Default, and, therefore, each beneficiary shall be entitled to relief by way of injunction or specific performance to enforce the provisions of this Declaration as well as any other relief available at law or in equity.
- 8.09. No Waiver. The failure of the Association, any Owner or Occupant, or their legal representatives, heirs, devisees, successors or assigns, in any one or more instances, to exercise any right or privilege conferred in this Declaration, shall not constitute or be construed as the waiver of such right or privilege, including the right to cure any Default, but the same shall continue and remain in full force and effect as if no forbearance had occurred.
- 8.10. Rules and Regulations. The Board may adopt and enforce, and from time to time amend, reasonable rules and regulations (the "Rules and Regulations") regarding the administration, interpretation, and enforcement of this Declaration and the Bylaws. Each Rule and Regulation shall be consistent with and designed to further the purposes outlined in this Declaration. The Rules and Regulations may include, if the Board so elects, establishment of monetary fines for violations of this Declaration, the Bylaws or the Rules and Regulations, in such amounts as the Board may deem appropriate.

ARTICLE 9. EXPANSION.

Declarant reserves the right, but shall not be obligated, to expand the MITCHELL HIGHLANDS Area to include other adjacent properties. Declarant shall have the right to transfer to any other person the right to expand, which is hereby reserved by an instrument duly recorded. Such expansion may be accomplished by recording a Supplemental Declaration in the records of the Recorder of Union County, Ohio, describing the real property to be Annexed and submitting it to the covenants, conditions, restrictions, easements and provisions of this Declaration. No Supplemental Declaration shall require the consent of the Owners. Any such expansion shall be effective upon the filing for record of such Supplemental Declaration except as provided therein. The expansion may be accomplished in stages by successive Supplemental Declarations or in one Supplemental Declaration. Any such Supplemental Declaration may add, delete, or modify provisions of this Declaration as it applies to the property being Annexed, provided, however, that this Declaration may not be modified with respect to property already subject to this Declaration except as provided herein for amendment.

ARTICLE 10. NOTICE.

Any notices required or permitted to be served on Declarant shall be given by sending such notice by certified mail, return receipt requested, postage prepaid, addressed to Declarant at the following address:

Rockford Homes Inc.
999 Polaris Parkway, Suite 200
Columbus, Ohio 43240

Any notices required or permitted to be given to any Owner shall be given in the same manner, at the address shown for the mailing of tax bills to the Owner of each Lot at the Treasurer's Office, Union County, Ohio.

Declarant has executed this Declaration as of the day first above written.

By: _____

STATE OF OHIO

}
}
}

COUNTY OF UNION,

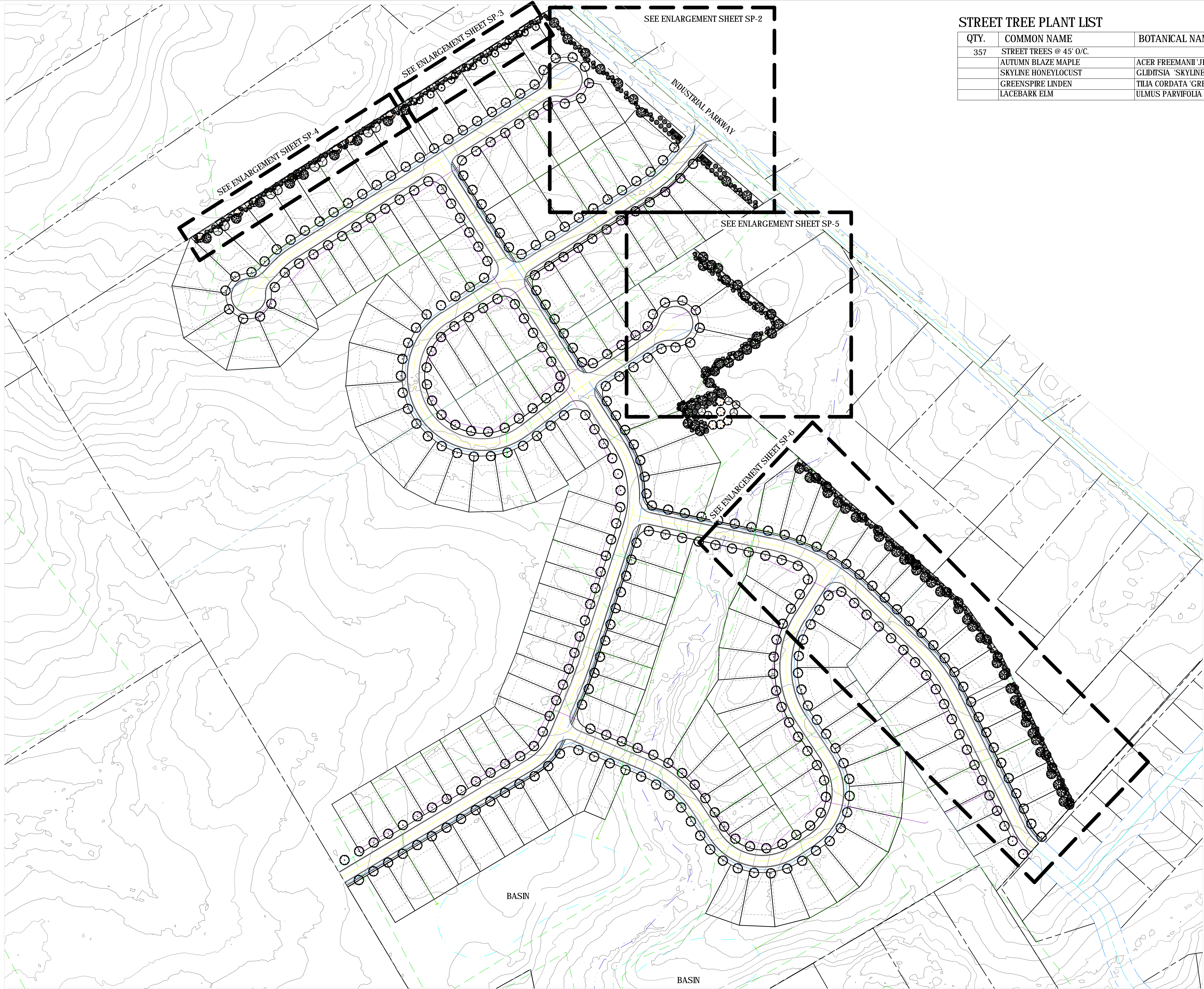
The foregoing document was acknowledged before me this _____ day of

_____, 20__, by _____

Notary Public

EXHIBIT A

Situated in the County of Union, State of Ohio and in the Township of Jerome and bounded and described as follows:

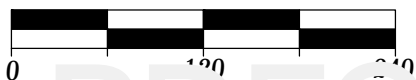


STREET TREE PLANT LIST

QTY.	COMMON NAME	BOTANICAL NAME	SIZE	ROOT	REMARKS
357	STREET TREES @ 45' O/C.				
	AUTUMN BLAZE MAPLE	ACER FREEMANI 'JEFFERS RED'	2" Cal.	B&B	
	SKYLINE HONEYLOCUST	GLIDITSIA 'SKYLINE'	2" Cal.	B&B	
	GREENSPIRE LINDEN	TILIA CORDATA 'GREENSPIRE'	2" Cal.	B&B	
	LACEBARK ELM	ULMUS PARVIFOLIA	2" Cal.	B&B	

NOTE:
SEE SHEET SD-1 FOR PLANTING
GENERAL NOTES & PLANTING DETAILS.

NOTE:
THE MASTER LANDSCAPE PLAN SHOWN
IS FOR CONCEPTUAL PURPOSES ONLY.
FINAL DESIGN DETAILS MAY VARY.



SITE LANDSCAPE PLAN

SCALE: 1" = 120'-0"

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PROJECT:
MITCHELL HIGHLAND
JEROME TOWNSHIP
UNION COUNTY, OH

REVISIONS:

1.8.16	B. Thornton
2.13.16	B. Thornton
4.12.16	B. Thornton
5.24.16	B. Thornton
6.6.16	B. Thornton

DATE: 06.06.16

DRAWN BY:

CHECKED BY: B. THORNTON

PROJECT NUMBER:

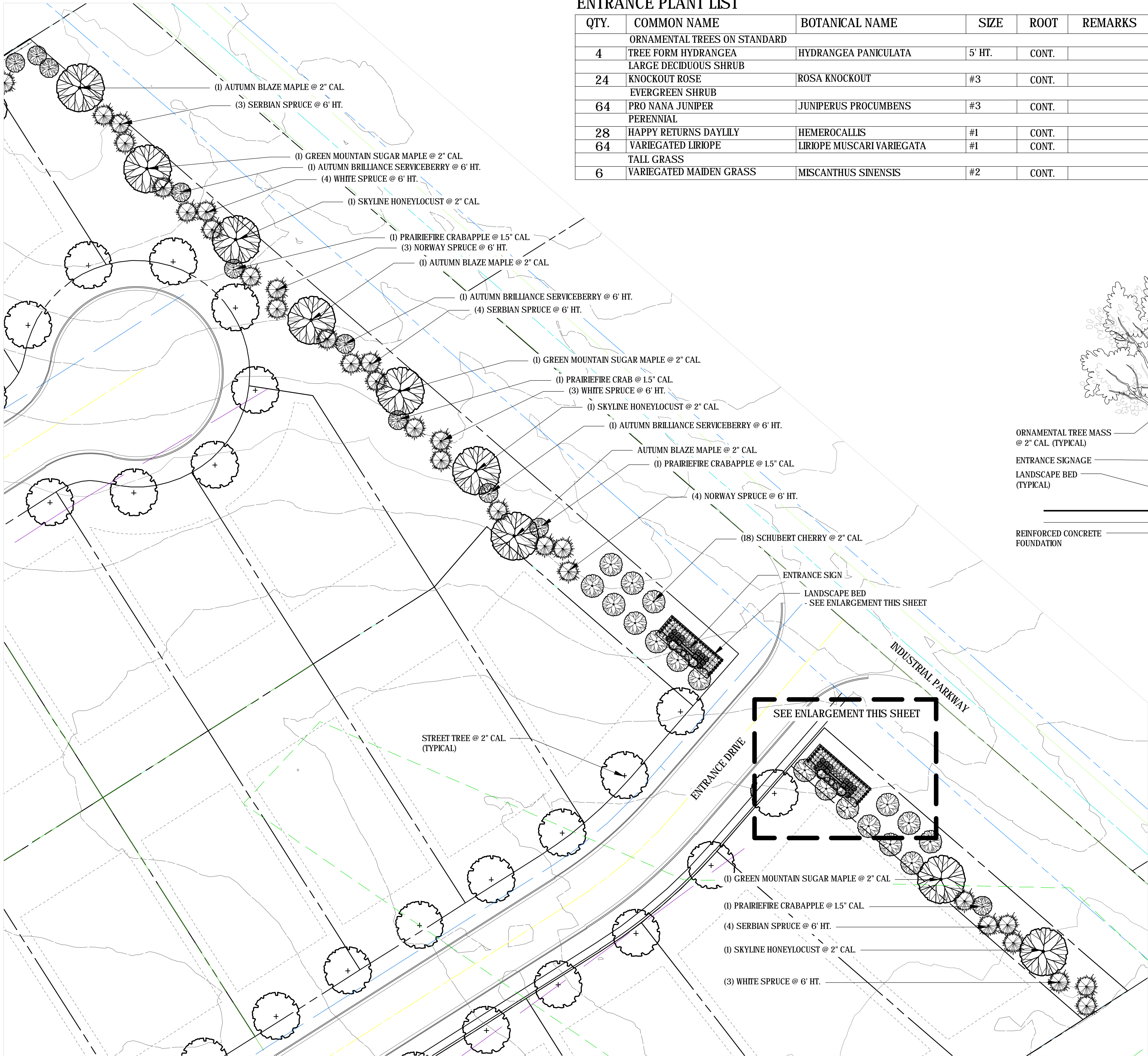
SHEET:

SP-1

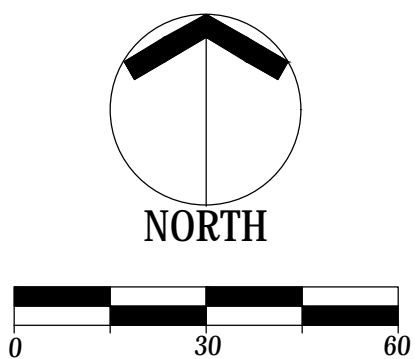


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BUFFER 'B' PLANTING PLAN
SCALE: 1" = 30'-0"



NOTE:
SEE SHEET SD-1 FOR PLANTING
GENERAL NOTES & PLANTING DETAILS.

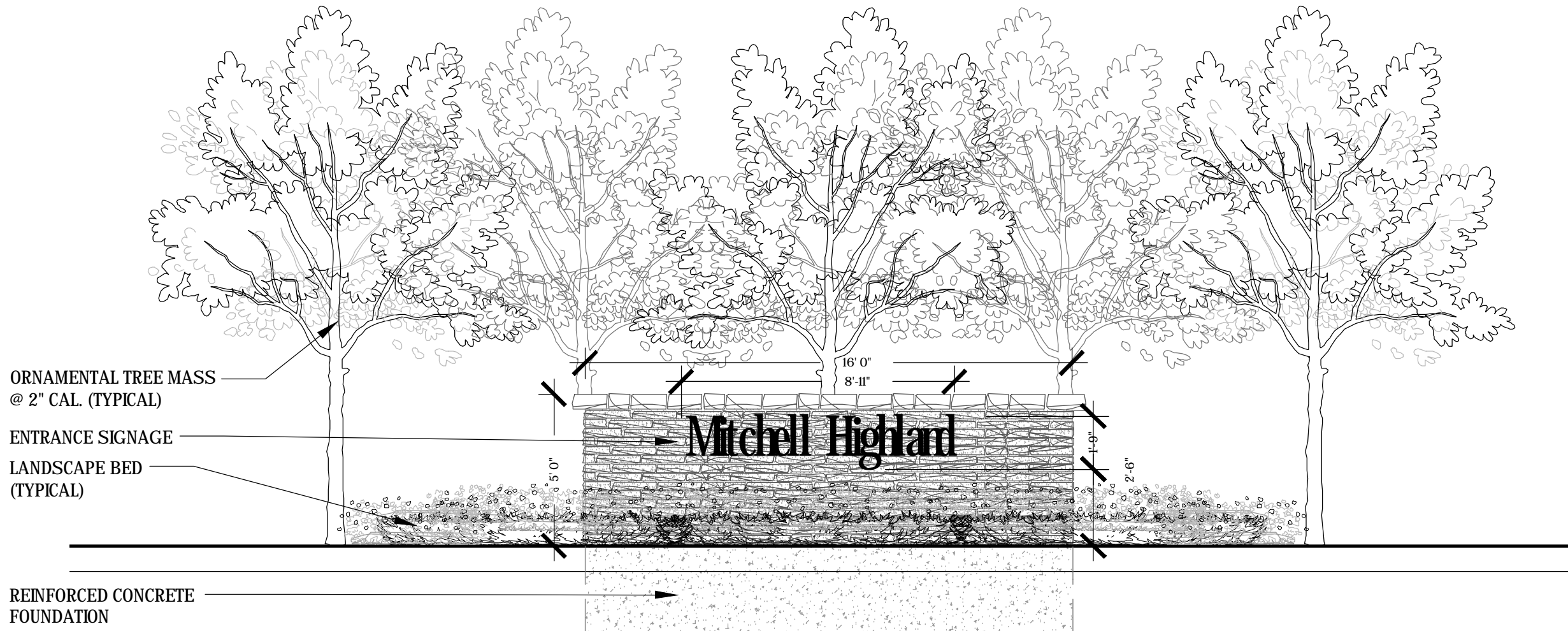
NOTE:
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IS FOR CONCEPTUAL PURPOSES ONLY.
FINAL DESIGN DETAILS MAY VARY.

ENTRANCE PLANT LIST

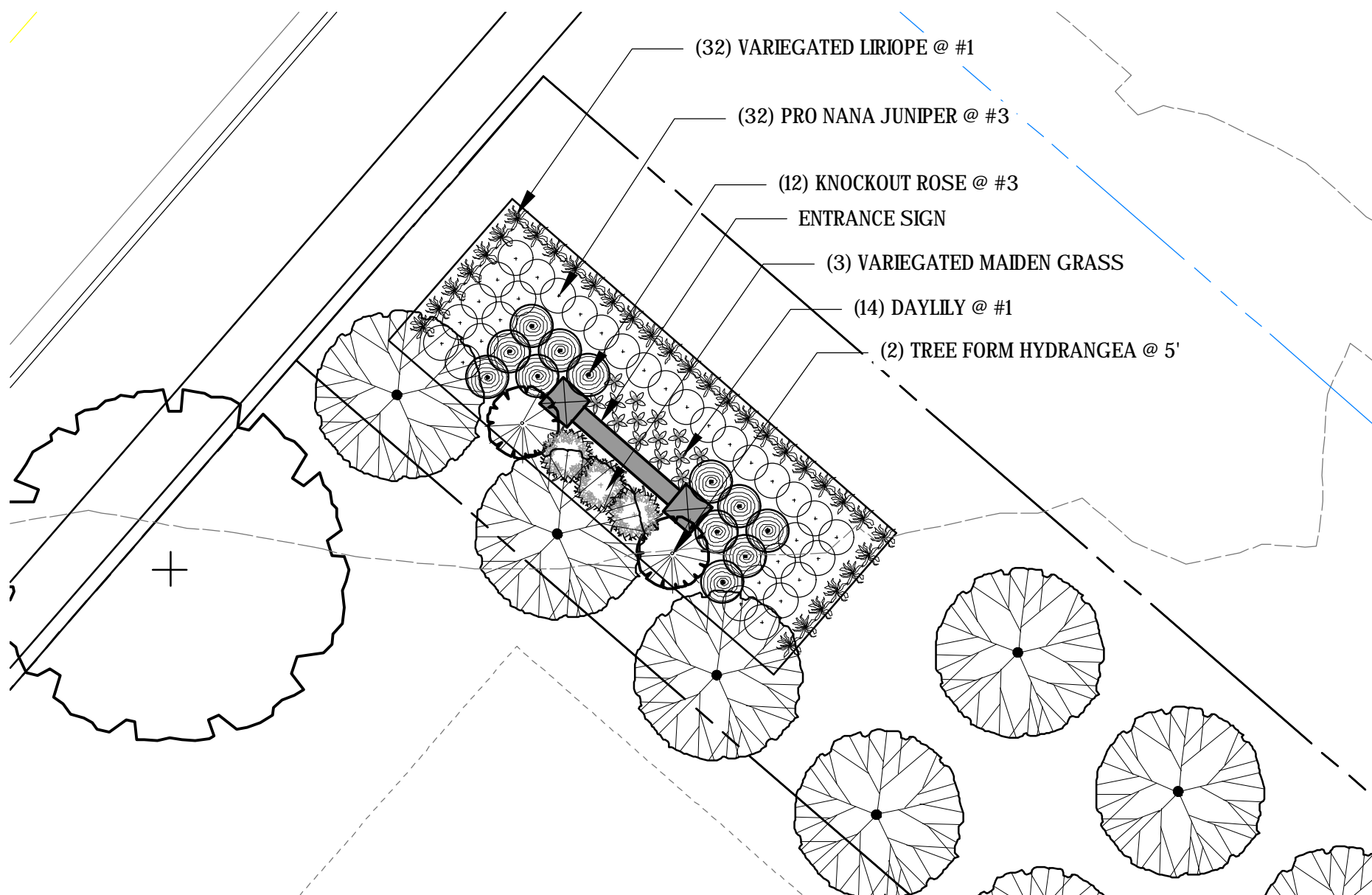
QTY.	COMMON NAME	BOTANICAL NAME	SIZE	ROOT	REMARKS
ORNAMENTAL TREES ON STANDARD					
4	TREE FORM HYDRANGEA LARGE DECIDUOUS SHRUB	HYDRANGEA PANICULATA	5' HT.	CONT.	
24	KNOCKOUT ROSE EVERGREEN SHRUB	ROSA KNOCKOUT	#3	CONT.	
64	PRO NANA JUNIPER PERENNIAL	JUNIPERUS PROCUMBENS	#3	CONT.	
28	HAPPY RETURNS DAYLILY	HEMEROCALLIS	#1	CONT.	
64	VARIEGATED LIRIOPE	LIRIOPE MUSCARI VARIEGATA	#1	CONT.	
TALL GRASS					
6	VARIEGATED MAIDEN GRASS	MISCANTHUS SINENSIS	#2	CONT.	

BUFFER 'B' PLANT LIST

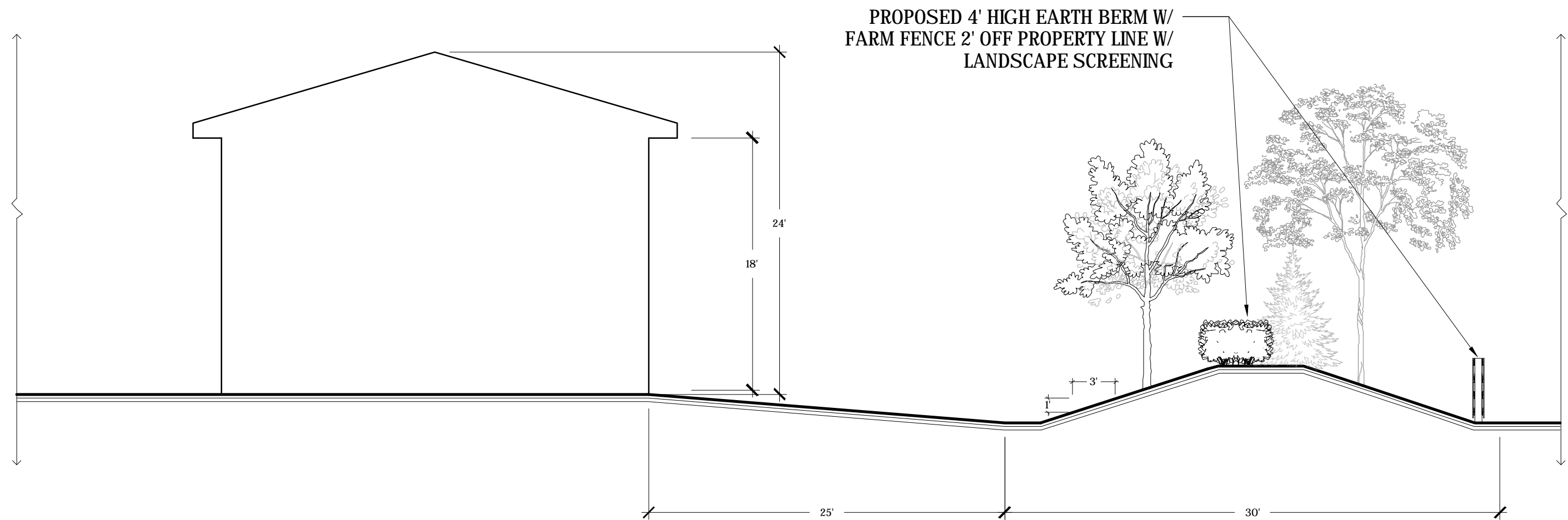
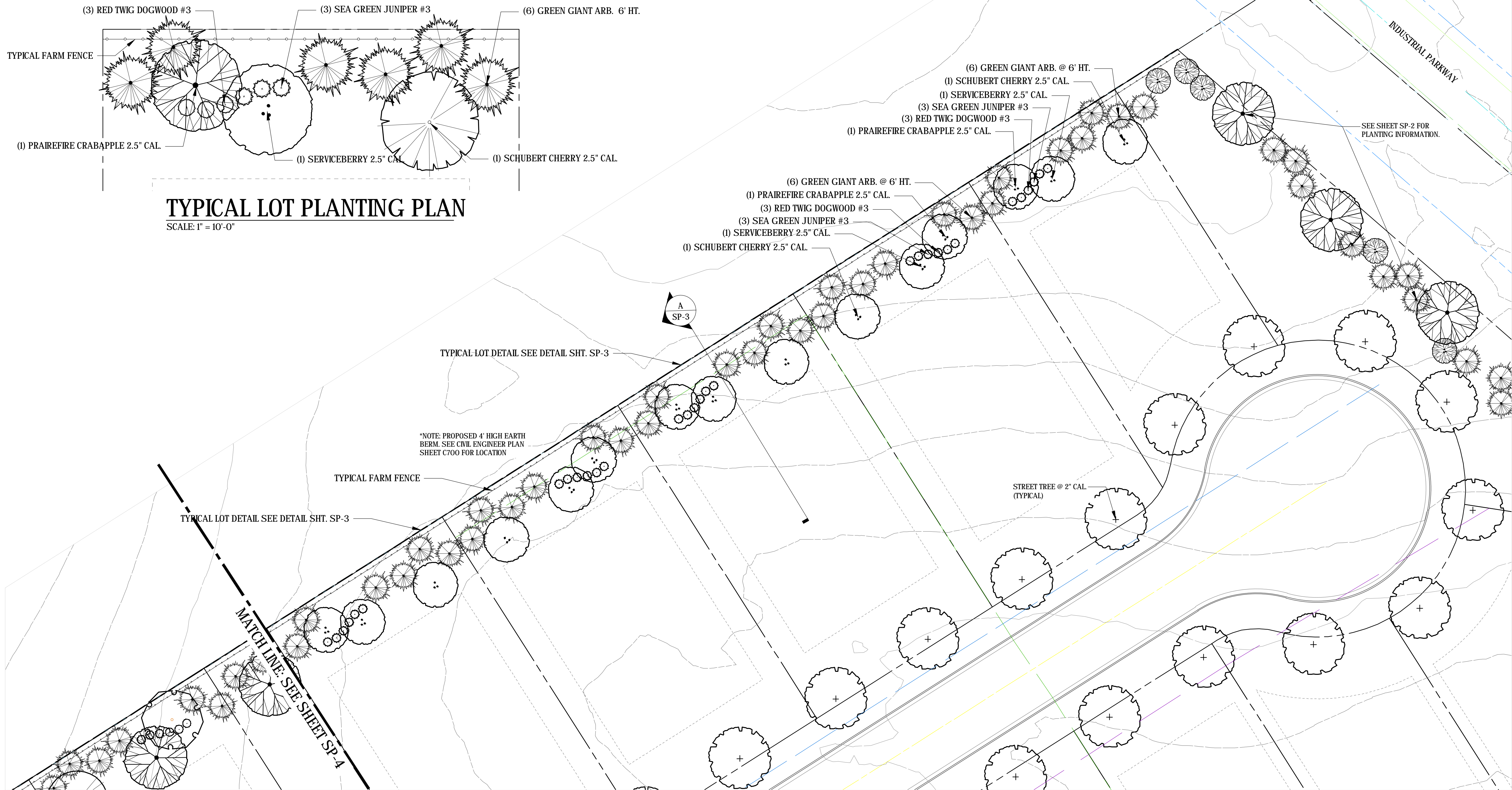
QTY.	COMMON NAME	BOTANICAL NAME	SIZE	ROOT	REMARKS
DECIDUOUS TREES					
3	AUTUMN BLAZE MAPLE	ACER FREEMANII	2" Cal.	B&B	
3	GREEN MOUNTAIN SUGAR MAPLE	ACER SACCHARUM GREEN MOUNTAIN	2" Cal.	B&B	
3	SKYLINE HONEYLOCUST	Gleditsia triacanthos var. inermis	2" Cal.	B&B	
ORNAMENTAL TREES					
3	AUTUMN BRILLIANCE SERVICEBERRY	Amelanchier x grandiflora	6' HT.	B&B	
18	SHUBERT CHERRY	PRUNUS VIRGINIANA	1.5" Cal.	B&B	
4	PRAIRIEFIRE CRABAPPLE	MALUS SP. PREIRIEFIRE	1.5" Cal.	B&B	
EVERGREEN TREES					
11	SERBIAN SPRUCE	PICEA OMORIKA	6' HT.	B&B	
10	WHITE SPRUCE	PICEA GLAUCA	6' HT.	B&B	
7	NORWAY SPRUCE	PICEA ABIES	6' HT.	B&B	



ENTRANCE SIGNAGE
SCALE: 1/4" = 1'-0"



TYP. ENTRANCE PLANTING
SCALE: 1" = 10'-0" (TYPICAL OF 2)



DETAIL A: MOUND CROSS SECTION SP-3

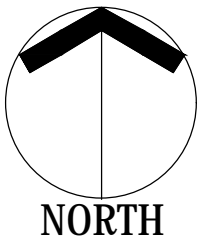
SCALE: 1" = N.T.S.

BUFFER 'A' SITE TREE PLANT LIST

QTY.	COMMON NAME	BOTANICAL NAME	SIZE	ROOT	MATURE HT.
ORNAMENTAL TREES					
5	SCHUBERT CHERRY	PRUNUS VIRGINIANA 'SCHUBERT'	2.5" Cal.	B&B	20'-30'
5	PRAIRIFIRE CRABAPPLE	MALUS SP. PRAIRIFIRE	2.5" Cal.	B&B	15'-20'
5	SERVICEBERRY	AMELANCHIER CANADENSIS	2.5" Cal.	B&B	15'-20'
EVERGREEN TREES					
30	GREEN GIANT ARBORVITAEAE	THUJA PLICATA 'GREEN GIANT'	6' HT.	B&B	20'-30'
SHRUBS					
15	SEA GREEN JUNIPER	JUNIPERUS 'SEA GREEN'	#3 GAL.	POTTED	5'-6'
15	RED TWIG DOGWOOD	CORNUS ALBA 'SIBIRICA'	#3 GAL.	POTTED	5'-6'

NOTE:
SEE SHEET SD-1 FOR PLANTING
GENERAL NOTES & PLANTING DETAILS.

NOTE:
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IS FOR CONCEPTUAL PURPOSES ONLY.
FINAL DESIGN DETAILS MAY VARY.



BUFFER 'A' PLANTING PLAN

SCALE: 1" = 30'-0"



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PROJECT:
MITCHELL HIGHLAND
JEROME TOWNSHIP
UNION COUNTY, OH

REVISIONS:	
1.8.16	B. Thornton
2.13.16	B. Thornton
4.12.16	B. Thornton
5.24.16	B. Thornton
6.6.16	B. Thornton

DATE: 06.06.16

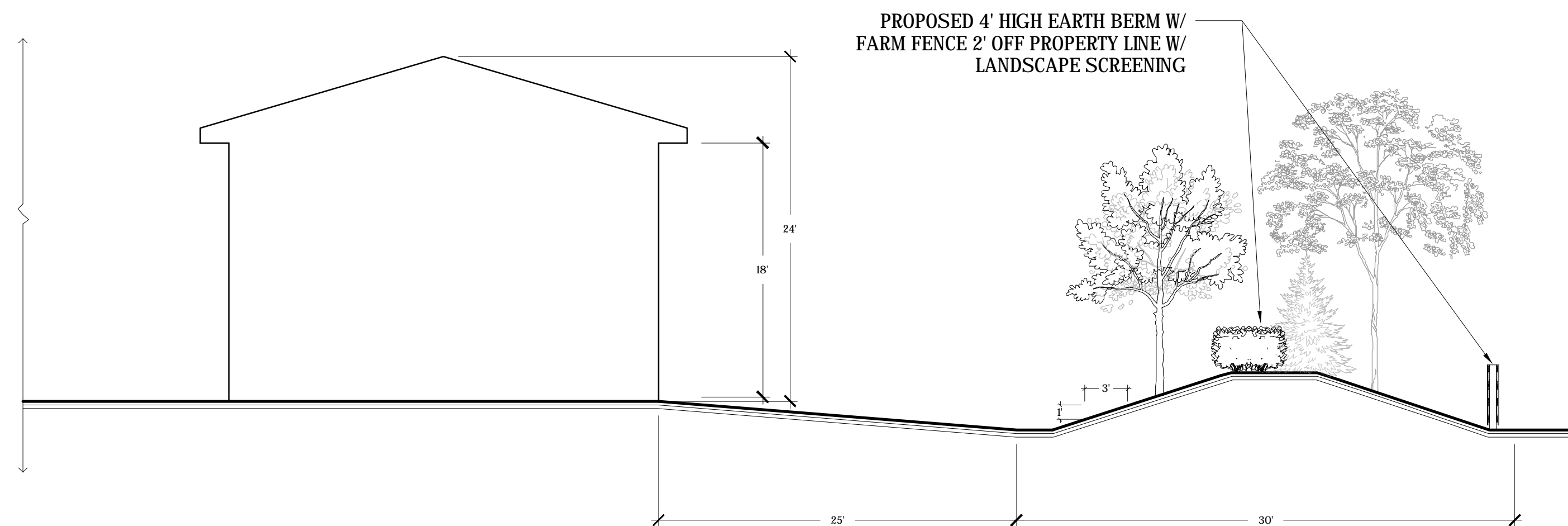
DRAWN BY:

CHECKED BY: B. THORNTON

PROJECT NUMBER:

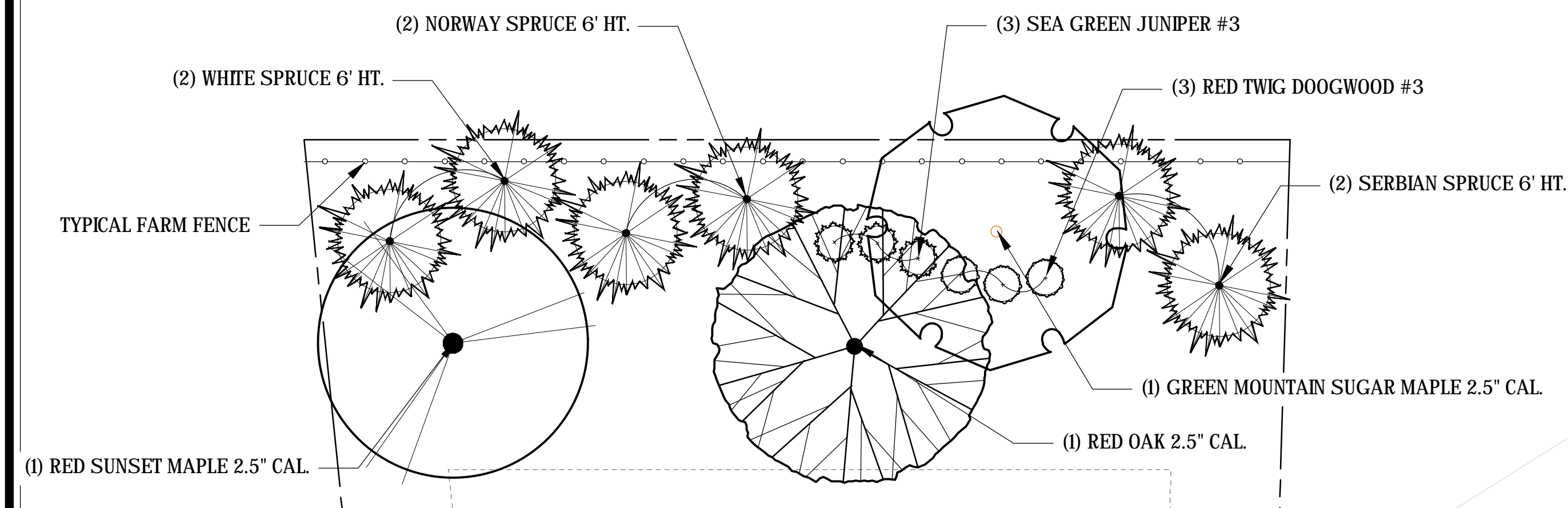
SHEET:

SP-3



DETAIL A: MOUND CROSS SECTION SP-4

SCALE: 1" = N.T.S



TYPICAL LOT PLANTING PLAN

SCALE: 1" = 10'-0"

BUFFER 'A' SITE TREE PLANT LIST

QTY.	COMMON NAME	BOTANICAL NAME	SIZE	ROOT	REMARKS
	DECIDUOUS TREES				
8	RED SUNSET MAPLE	ACER RUBRUM RED SUNSET	2.5" Cal.	B&B	
9	RED OAK	QUERCUS RUBRUM	2.5" Cal.	B&B	
8	GREEN MOUNTAIN SUGAR MAPLE	ACER SACCHARUM GREEN MOUNTAIN	2.5" Cal.	B&B	
	EVERGREEN TREES				
16	SERBIAN SPRUCE	PICEA OMORIKA	6' HT.	B&B	
16	WHITE SPRUCE	PICEA GLAUCA	6' HT.	B&B	
18	NORWAY SPRUCE	PICEA ABIES	6' HT.	B&B	
	SHRUBS				
24	SEA GREEN JUNIPER	JUNIPERUS 'SEA GREEN'	3 GAL.	POTTED	
24	RED TWIG DOGWOOD	CORNUS ALBA 'SIBIRICA'	3 GAL.	POTTED	

(2) NORWAY SPRUCE @ 6' HT.
(1) RED OAK @ 2.5" CAL. —

HT.

MATCH LINE: SEE SHEET SP.3

TYPICAL FARM FENCE

TYPICAL LOT DETAIL SEE DETAIL SHT. SP-4

(1) RED SUNSET MAPLE @ 2.5" CAL.
(2) WHITE SPRUCE @ 6' HT.
(3) RED TWIG DOGWOOD #3
(1) GREEN MOUNTAIN SUGAR MAPLE @ 2.5" CAL.
(3) SEA GREEN JUNIPER #3
(1) RED OAK @ 2.5" CAL.
(2) NORWAY SPRUCE @ 6' HT.
(2) WHITE SPRUCE @ 6' HT.

*NOTE: PROPOSED 4' HIGH EARTH
BERM. SEE CIVIL ENGINEER PLAN
SHEET C700 FOR LOCATION

STREET TREE @ 2" CAL.
(TYPICAL)

TYPICAL LOT DETAIL SEE DETAIL SHT. SP-4

TYPICAL LOT DETAIL SEE DETAIL SHT. SP-4

NOTE:
SEE SHEET SD-1 FOR PLANTING
GENERAL NOTES & PLANTING DETAILS.

NOTE:
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BUFFER 'A' PLANTING PLAN

SCALE: 1" = 20'-0"



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PROJECT:
MITCHELL HIGHLAND
JEROME TOWNSHIP
UNION COUNTY, OH

REVISIONS:

18.16	B. Thornton
2.13.16	B. Thornton
4.12.16	B. Thornton
5.24.16	B. Thornton
5.6.16	B. Thornton

DATE: 06.06.16

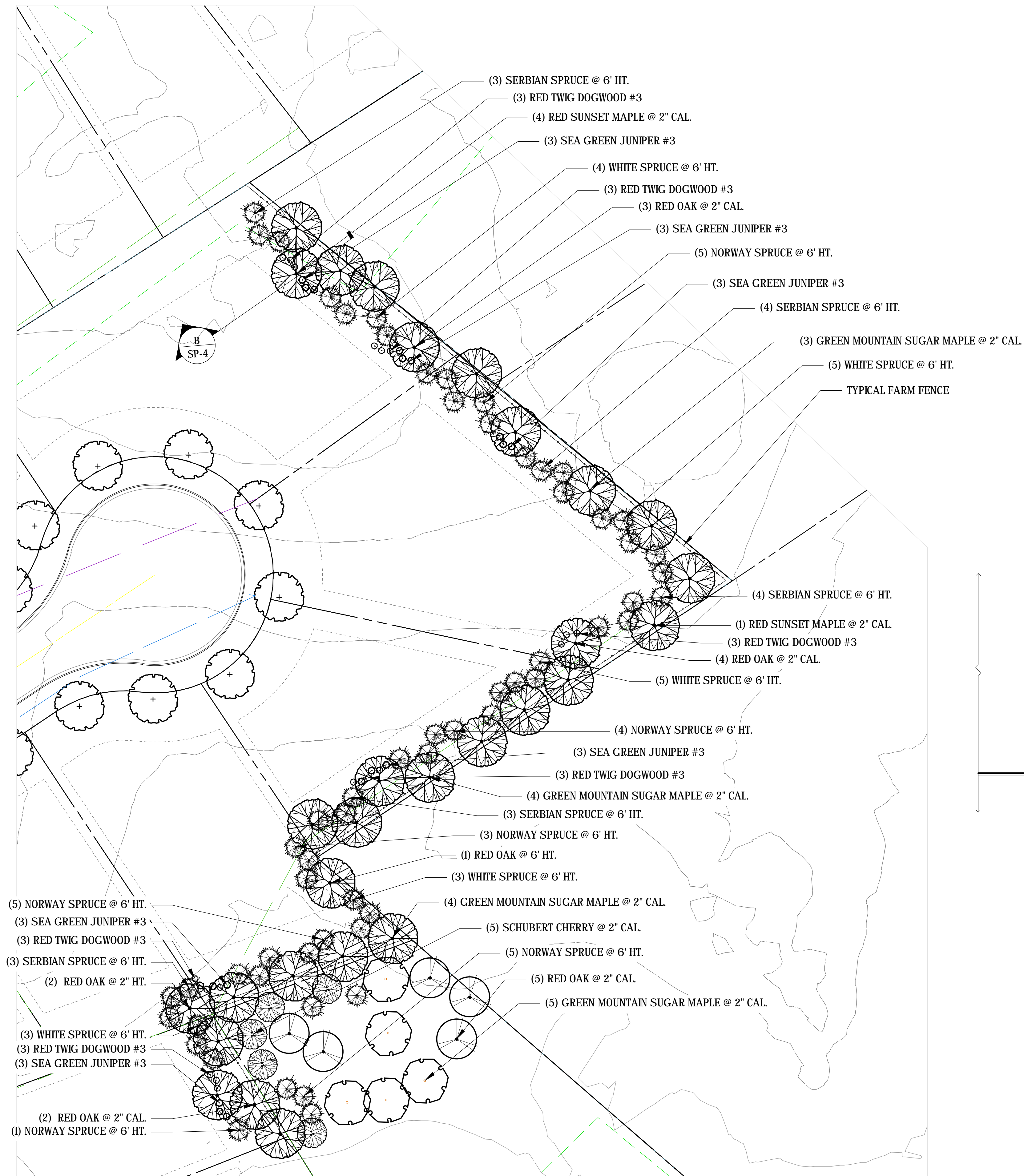
DRAWN BY:

CHECKED BY: B. THORNTON

PROJECT NUMBER:

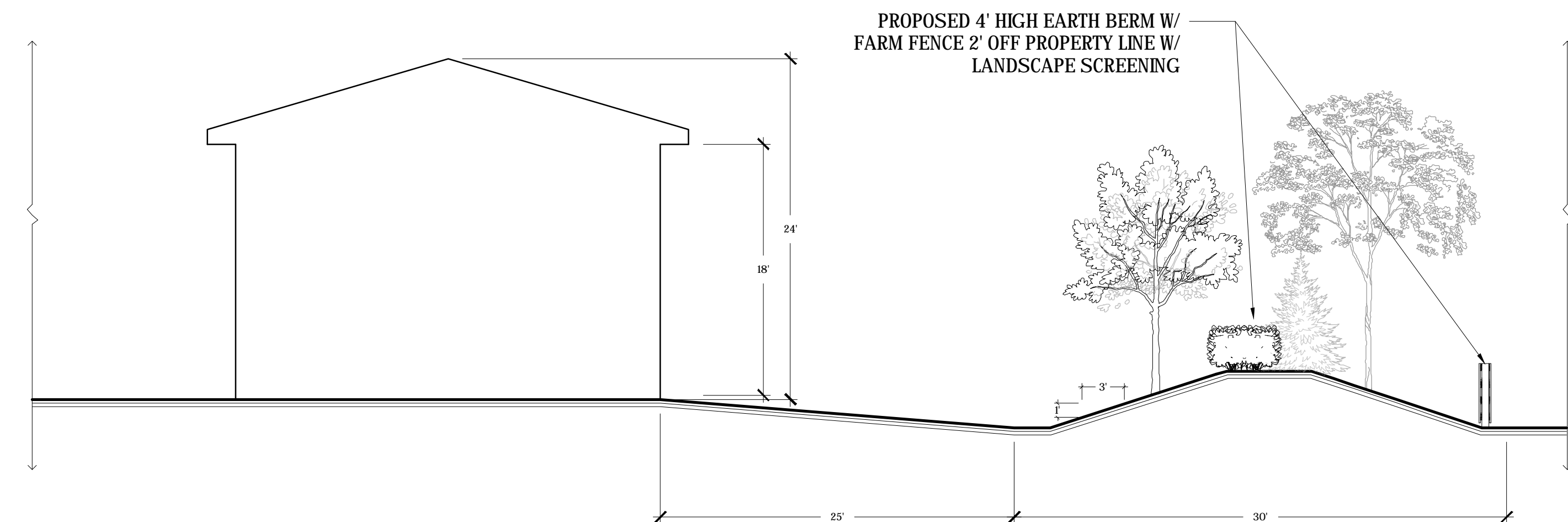
SHEET:

SP-4



BUFFER 'C' SITE TREE PLANT LIST

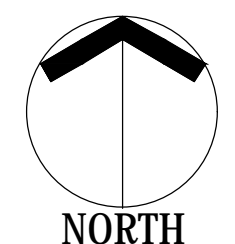
QTY.	COMMON NAME	BOTANICAL NAME	SIZE	ROOT	REMARKS
	DECIDUOUS TREES				
5	RED SUNSET MAPLE	ACER RUBRUM RED SUNSET	2.5" Cal.	B&B	
17	RED OAK	QUERCUS RUBRUM	2.5" Cal.	B&B	
16	GREEN MOUNTAIN SUGAR MAPLE	ACER SACCHARUM GREEN MOUNTAIN	2.5" Cal.	B&B	
	EVERGREEN TREES				
17	SERBIAN SPRUCE	PICEA OMORIKA	6' HT.	B&B	
20	WHITE SPRUCE	PICEA GLAUCA	6' HT.	B&B	
23	NORWAY SPRUCE	PICEA ABIES	6' HT.	B&B	
	ORNAMENTAL TREES				
5	SCHUBERT CHERRY	PRUNUS VIRGINIANA 'SCHUBERT'	2.5" Cal.	B&B	
	SHRUBS				
18	RED TWIG DOGWOOD	JUNIPERUS 'SEA GREEN'	3 GAL.	POTTED	
18	SEA GREEN JUNIPER	CORNUS ALBA 'SIBIRICA'	3 GAL.	POTTED	



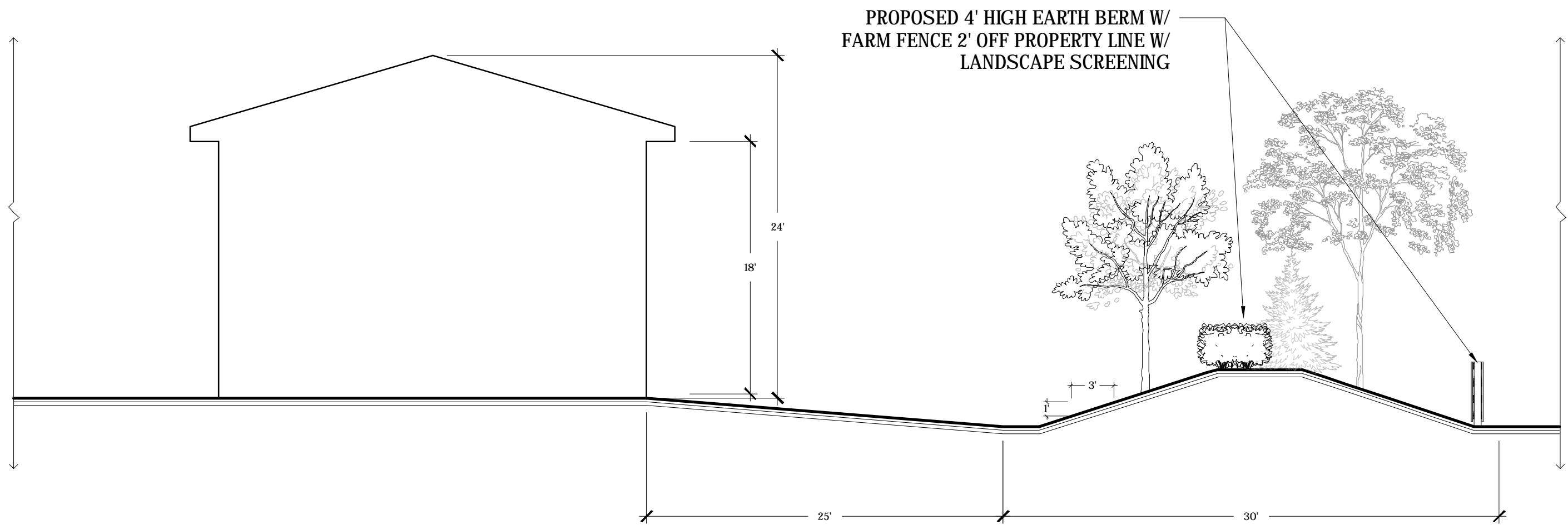
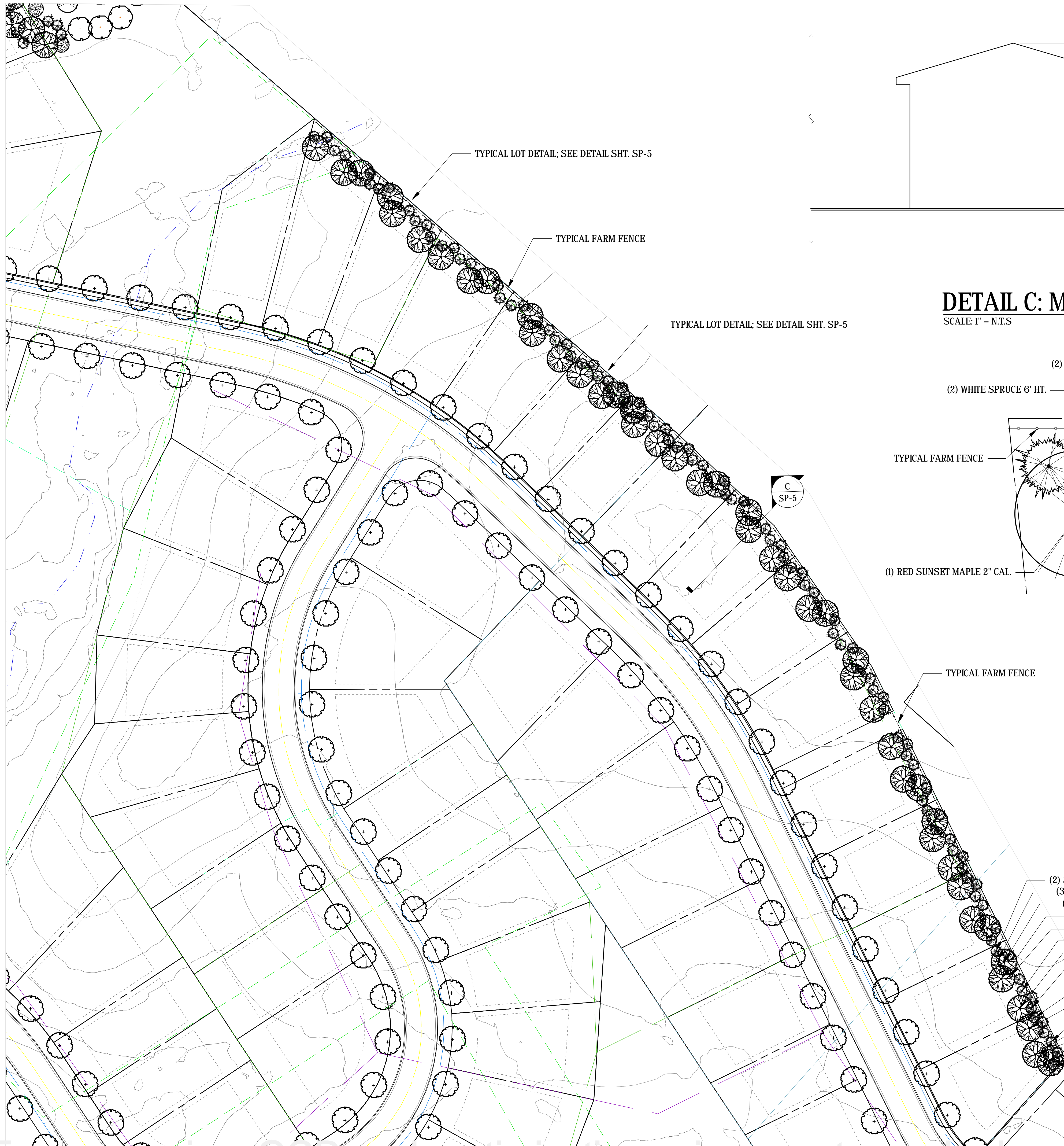
DETAIL B: MOUND CROSS SECTION SP-5
SCALE: 1" = N.T.S.

NOTE:
SEE SHEET SD-1 FOR PLANTING
GENERAL NOTES & PLANTING DETAILS.

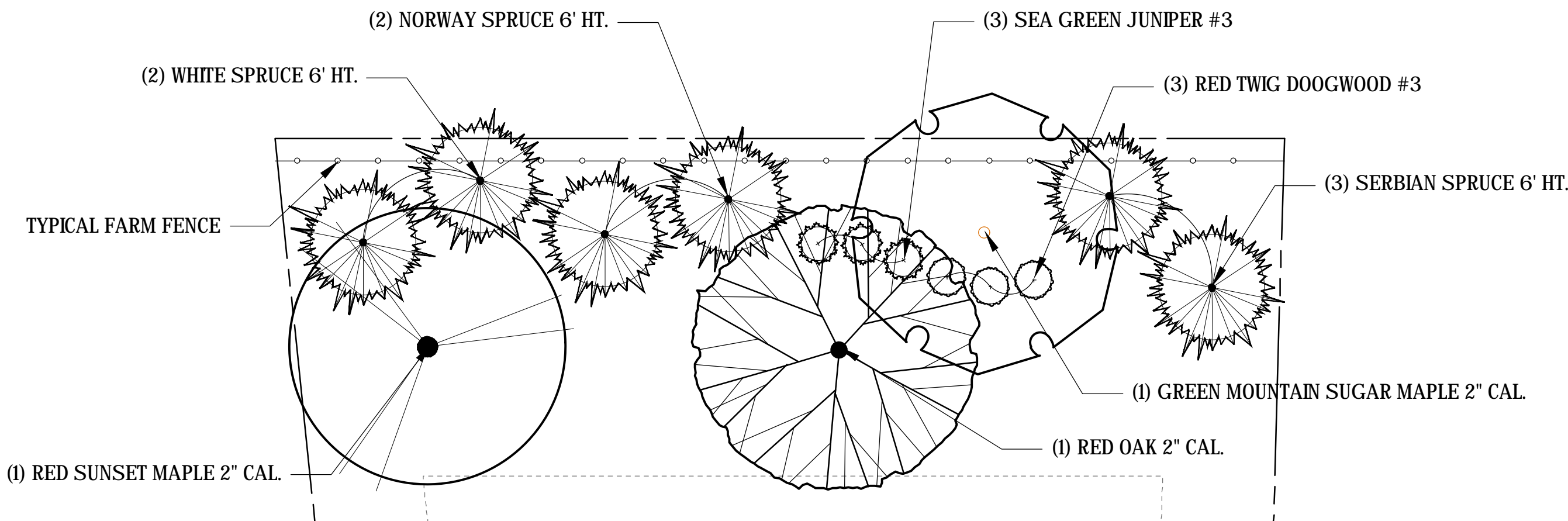
NOTE:
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FINAL DESIGN DETAILS MAY VARY.



BUFFER 'C' PLANTING PLAN



DETAIL C: MOUND CROSS SECTION SP-5
SCALE: 1" = N.T.S.



TYPICAL LOT PLANTING PLAN
SCALE: 1" = 10'-0"

BUFFER 'D' SITE TREE PLANT LIST

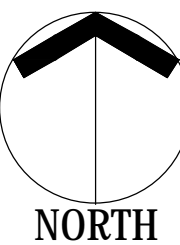
QTY.	COMMON NAME	BOTANICAL NAME	SIZE	ROOT	REMARKS
DECIDUOUS TREES					
15	RED SUNSET MAPLE	ACER RUBRUM RED SUNSET	2.5" Cal.	B&B	
15	RED OAK	QUERCUS RUBRUM	2.5" Cal.	B&B	
15	GREEN MOUNTAIN SUGAR MAPLE	ACER SACCHARUM GREEN MOUNTAIN	2.5" Cal.	B&B	
EVERGREEN TREES					
30	SERBIAN SPRUCE	PICEA OMORIKA	6' HT.	B&B	
30	WHITE SPRUCE	PICEA GLAUCA	6' HT.	B&B	
30	NORWAY SPRUCE	PICEA ABIES	6' HT.	B&B	
SHRUBS					
45	SEA GREEN JUNIPER	JUNIPERUS 'SEA GREEN'	3 GAL.	POTTED	
45	RED TWIG DOGWOOD	CORNUS ALBA 'SIBIRICA'	3 GAL.	POTTED	

- (2) SERBIAN SPRUCE @ 6' HT.
(3) RED TWIG DOGWOOD #3
(1) GREEN MOUNTAIN SUGAR MAPLE @ 2" CAL.
(1) RED OAK @ 2" CAL.
(3) SEA GREEN JUNIPER #3
(2) NORWAY SPRUCE @ 6' HT.
(1) RED SUNSET MAPLE @ 2" CAL.
(2) WHITE SPRUCE @ 6 HT.

- (2) WHITE SPRUCE @ 6 HT.
(1) RED SUNSET MAPLE @ 2" CAL.
(2) NORWAY SPRUCE @ 6' HT.
(3) SEA GREEN JUNIPER #3
(1) RED OAK @ 2" CAL.
(3) RED TWIG DOGWOOD #3
(1) GREEN MOUNTAIN SUGAR MAPLE @ 2" CAL.
(2) SERBIAN SPRUCE @ 6' HT.

NOTE:
SEE SHEET SD-1 FOR PLANTING
GENERAL NOTES & PLANTING DETAILS.

NOTE:
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BUFFER 'D' PLANTING PLAN
SCALE: 1" = 50'-0"

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PROJECT:
MITCHELL HIGHLAND
JEROME TOWNSHIP
UNION COUNTY, OH

REVISIONS:

1.8.16	B. Thornton
2.13.16	B. Thornton
4.12.16	B. Thornton
5.24.16	B. Thornton
6.6.16	B. Thornton

DATE: 06.06.16

DRAWN BY:

CHECKED BY: B. THORNTON

PROJECT NUMBER:

SHEET:

SP-6

1. CONTRACTOR TO VERIFY WITH OWNER AND UTILITY COMPANIES THE LOCATIONS OF ALL UTILITIES PRIOR TO CONSTRUCTION, TO DETERMINE, IN THE FIELD, THE ACTUAL LOCATIONS AND ELEVATIONS OF ALL EXISTING UTILITIES WHETHER SHOWN ON THE PLANS OR NOT. THE CONTRACTOR SHALL CALL UTILITY PROTECTION SERVICE 72 HOURS PRIOR TO CONSTRUCTION.

3. CONTRACTOR TO REPAIR ALL DAMAGES TO EXISTING CONDITIONS AND BEARS RESPONSIBILITY FOR SATISFACTORY PERFORMANCE.

5. BED LINE TO BE NO LESS THAN 18" AND NO MORE THAN 24" FROM OUTER EDGE OF PLANT MATERIAL BRANCHING.

7. CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE IN LAWN AREAS.

9. IN AREAS DESIGNATED "ANNUALS". LANDSCAPE CONTRACTOR TO PREPARE SOIL WITH MINIMUM 8" DEEP PLANT MIXTURE AND A MINIMUM 2" DEEP BARK MULCH FOR SUBSEQUENT PLANTING BY OWNER.

11. COORDINATE LANDSCAPE INSTALLATION WITH INSTALLATION OF UNDERGROUND SPRINKLER, SYSTEM (IF APPLICABLE).

KICHLER® LIGHTING
7711 EAST PLEASANT VALLEY RD
P.O. BOX 318010
CLEVELAND, OH 44131-8010
TOLL FREE: 1-888-659-8809
PHONE: (216) 573-1005
FAX: (866) 841-6385
www.landscapelighting.com

-

HOUSING: DIE CAST ALUMINUM OR DIE CAST BRASS WITH CLEAR TEMPERED GLASS LENS AND POLYCARBONATE MOUNTING STEM AND LOCKNUT.
WIRING: 24" OF USABLE #18-2, SPT-1-W LEADS, CABLE CONNECTOR SUPPLIED WITH FIXTURE.
LIGHT SOURCE: ILLUMINATION PROVIDED BY INTEGRATED LED CHIPS.
MOUNTING ACCESSORIES INCLUDED:
8" IN-GROUND STAKE
1/2" NPSM STEM


1. DO NOT SCALE DRAWINGS.
2. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
3. CONTRACTORS NOTE: FOR PRODUCT AND COMPANY INFORMATION VISIT www.CADdetails.com/info
REFERENCE NUMBER 470-273.

 **LED ACCENT LIGHTS**
MODEL NO. 15731/15732

SCALE: NONE



SCALE NONTE

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PROJECT: MITCHELL HIGHLAND
JEROME TOWNSHIP
UNION COUNTY, OH

1.8.16	B. Thornton
2.13.16	B. Thornton

DRAWN BY:

CHECKED BY: B. THORNTON

PROJECT NUMBER

SHEET:

SD-1



EXHIBIT G-1

15461 US Route 36 • PO Box 393 • Marysville, OH 43040-0393
(937) 642-1826 • (800) 642-1826 • Fax (937) 644-4239
www.ure.com

Your Touchstone Energy Cooperative



October 20th, 2015

Corey Theuerkauf
Development Manager- Site Development
Rockford Homes
999 Polaris Parkway Suite 200
Columbus, OH 43240

RE: Electric Service for Rose Tract

Dear Corey,

We understand that a development of 172 single family homes lots has been proposed north of proposed Mitchell Crossing subdivision along Industrial Parkway, Jerome Township. According to your print this would be situated on the Rose land tract which is in our certified electric territory. Union Rural Electric has the availability and capacity to serve electric to this subdivision. It would be our intention to serve the site at Rockford Homes request.

Please let me know if you require any additional information.

Best Regards,

Kevin

Kevin Gregory
Key Accounts Executive
Union Rural Electric Cooperative

**Columbia Gas
of Ohio**
A NiSource Company

290 W Nationwide Blvd
Columbus, OH 43215

October 20, 2015

Re: Rockford Homes – Rose Tract

Thank you for your interest in clean, efficient natural gas. This letter is to confirm that Columbia Gas, Inc. currently has facilities available along Industrial Parkway. Site inquired:

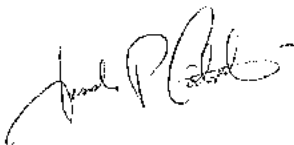
- 1) Rose Tract – Industrial Parkway and Mitchell-Dewitt Rd

This is a preliminary study only and is not a legally binding project (capital) cost commitment on behalf of Columbia. This preliminary study was based on the information that was provided by Rockford Homes. Any changes from the information submitted may change the study for the Facilities necessary to provide the service. Other factors beyond Columbia's control, include, but are not limited to upstream load requirements, and available capacity at the time an agreement is reached.

Once mechanical drawings are available, please forward them to my attention so that we may complete our feasibility study; as well as determine any costs that may be required. Please note that availability is contingent upon a cost benefit analysis. If the project is not deemed economically feasible for Columbia Gas, a deposit may be necessary

If you have any questions regarding availability, please feel free to contact me at 614.460.6354. I look forward to partnering with you on this and future projects.

Sincerely,



Joe Codispoti
New Business Development Manager
Columbia Gas of Ohio, Inc.
614-460-6354
Jcodispoti@nisource.com

EXHIBIT G-3



750 CANYON DR, STE 500
COPPELL, TX 75019

OCTOBER 22, 2015

Corey Theuerkauf
Development Manager – Land Development
999 Polaris Parkway, Suite 200
Columbus, OH 43240

Re: ROCKFORD HOMES MITCHELL-DEWITT AND INDUSTRIAL PKWY

In concern of Time Warner Cable (TWC) facilities at the property located AT MITCHELL-DEWITT RD AND INDUSTRIAL PKWY IN PLAIN CITY, OH

TWC has existing coax and/or fiber facilities near this location that may provide a possible point-of-connection for available services in the future.

Services for any Commercial or Multi-Family Parcels will be available dependent upon the right-of-entry agreement and entry routing for the respective buildings, as determined by contract. Contact our Commercial Business Class Sales department, at (866)519-1263 to facilitate a request for new commercial service, or your local MDU Sales Department for all residential services. In addition to initiating your request, they can also provide specifics regarding costs and other details associated with obtaining our services in this area at the appropriate point in time.

For future reference, please send all utility coordination, abandonments, encroachments, plat signatures, or serviceability requests, or notices of relocation to west-engineering-relo@twcable.com. Please share this information with whoever needs these services.

Sincerely,

Lisa N. Law
Date Operations Manager
West Region
Time Warner Cable
750 Canyon Drive
Coppell, TX 75019

EXHIBIT G-4



2780 Liberty Rd.
Delaware Ohio 43015

October 23, 2015

Corey Theuerkauf
Rockford Homes
999 Polaris Parkway, Suite 200
Columbus Ohio, 43240

Reference: Utility Service Request – Industrial Parkway and Mitchell-Dewitt Road

Dear Corey :

This letter is being issued to you to confirm that Frontier Communications will provide any telecommunications services required to the proposed 172 Single Family Lot parcel for Residential development located in Jerome Township in Union County, OH along Mitchell-Dewitt Road

Please provide preliminary & final construction drawings to me, Robert Chandler at 2780 Liberty Rd. Delaware Ohio 43015. If you have any questions or concerns please contact me at 740-369-0826.

Sincerely,

Robert Chandler
Robert Chandler
Network Engineer – Frontier Communications

EXHIBIT G-5



Engineering, Planning and Zoning
City Hall, 209 South Main Street
Marysville, Ohio 43040-1641
(937) 645-7350
FAX (937) 645-7351
www.marysvilleohio.org

October 22, 2015

Michael C. Reeves, PE, CFM, LEED AP
Civil & Environmental Consultants, Inc.
250 Old Wilson Bridge Road, Suite 250
Worthington, OH 43085

Subject: Rose Tract – City of Marysville Utilities
Parcels 1500220181000, 1700220190000, 17002200260000 and 1700220400000

Dear Michael,

Based on the provided exhibit, there are (or will be) downstream public utilities (i.e. gravity sanitary sewer and waterline) at an appropriate elevation and size for the proposed 188 lot residential development ("Rose Tract", Parcels 1500220181000, 1700220190000, 17002200260000 and 1700220400000) within the adjacent and future Mitchell Crossing development. These utility connections are planned where Dewitt Drive connects to this development. At this time, it is my understanding that this development will be constructed next year (2016).

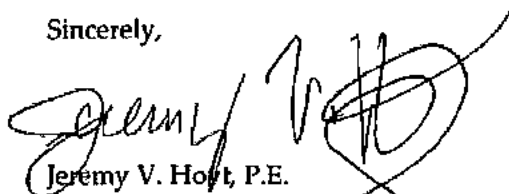
Also, our water and wastewater treatment facilities have adequate capacity to provide utility service to this development.

Due to the ongoing development within this sewershed area, additional upgrades / capacity fee surcharge will be needed for the City's downstream wastewater pump station (Pump Station #2, located on Industrial Parkway near Frazier Drive). As well, there currently is a waterline capacity fee surcharge (or construction requirement) for water system (fire flow) upgrades.

Any required utility extensions or upgrades will be the sole responsibility of the Developer. Also, all utility design standards and fees (including monthly user and one-time capacity charges) for the City's Utility System can be found on our website (www.marysvilleohio.org).

Please contact us if you need additional clarification or wish to discuss this letter in further detail.

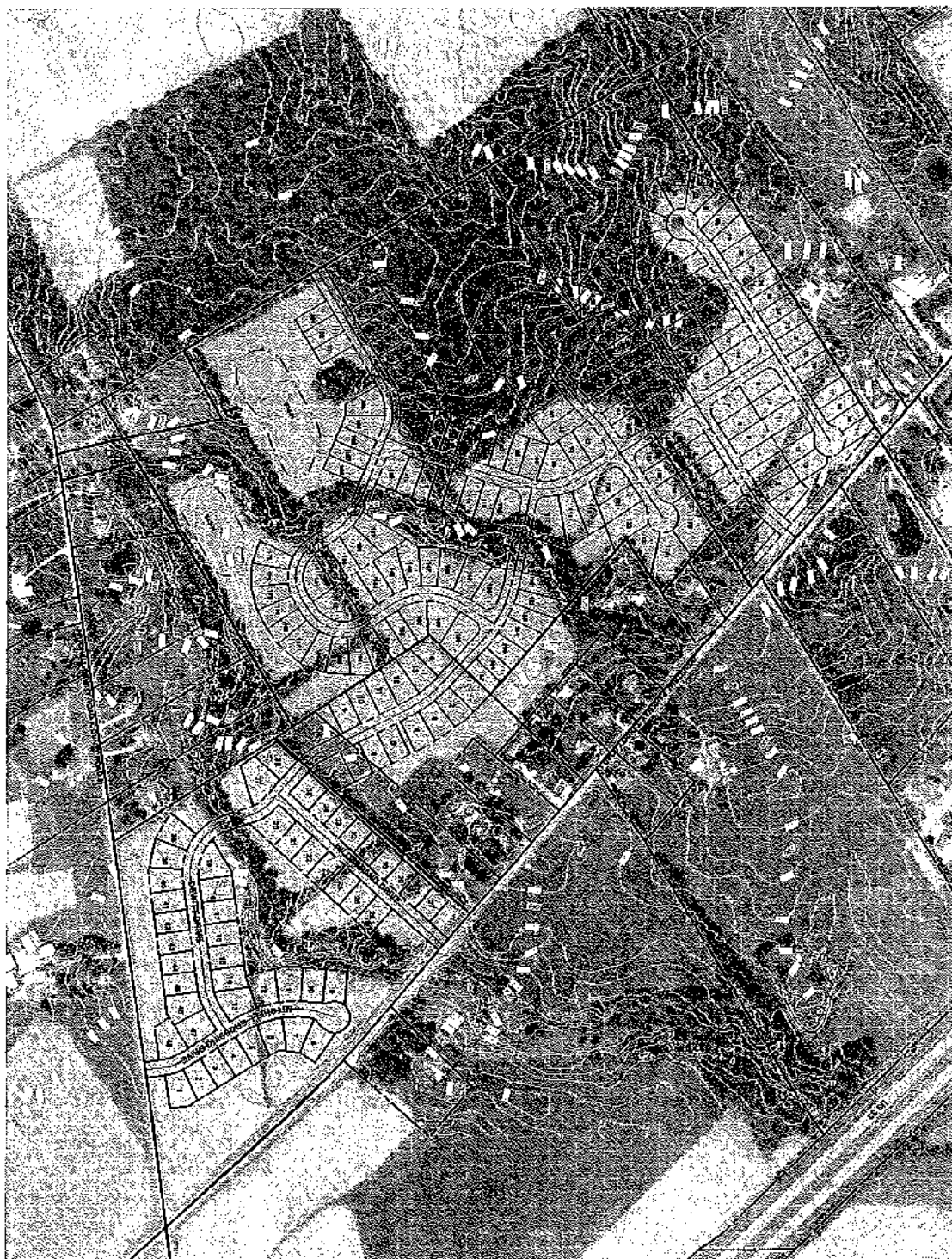
Sincerely,




Jeremy V. Hoyt, P.E.
City Engineer / Deputy Public Service Director

cc. Mike Andrako, P.E. (City of Marysville)
Scott Sheppard (City of Marysville)
Rich Felton (City of Marysville)
Bill Narducci (Union County Engineer's Office)

SITE DATA	
TOTAL ACQUANT	63.04 ACRES
NUMBER OF LOTS	172
DEEDS EXEMPT	1,888 SQU/ACRE
DWELL SQU/ACRE	3,588 ACRES
	40.0%



<div> <div>SHEET</div> <div>1</div> <div>OF</div> <div>3</div> </div>	SITE LAYOUT PLAN	<div> <div>ROCKFORD HOMES</div> <div>ROSE TRACT</div> <div>JEROME TOWNSHIP</div> <div>UNION COUNTY</div> </div>	<div>  <div> Civil & Environmental Consultants, Inc. 250 Old Wilson Bridge Road - Suite 210 - Worthington, OH 43085 614-840-6533 - 614-848-6608 www.civil.com </div> </div>	REVISION RECORD		
				ID	DATE	DESCRIPTION

JEROME TOWNSHIPDIVISION OF FIRE

SCOTT A. SKELDON, FIRE CHIEF
9689 U.S. RT. 42 NORTH
PLAIN CITY, OH 43064-8710
614-873-3706 (OFFICE)
614-873-3501 (FAX)

Corey Theuerkauf
999 Polaris Parkway, #200
Columbus, Ohio 43240

October 21, 2015

RE: Serviceability -Mitchell Highlands

Mr. Theuerkauf,

The Jerome Township Division of Fire is a full service professional fire division that maintains both Fire & Emergency Medical Services (EMS)

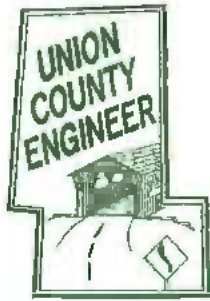
We do cover the area of Mitchell Dewitt and Industrial Parkway, also known as "**Mitchell Highlands**" and will continue to do so upon further development.

Please feel free on contacting me at the above number if you should need additional information,

In the Interest of Public Safety,

A handwritten signature in cursive script, appearing to read "Scott A. Skeldon".

Scott A Skeldon
Fire Chief



**County Engineer
Environmental Engineer
Building Department**
233 W. Sixth Street
Marysville, Ohio 43040
P 937. 645. 3018
F 937. 645. 3161
www.co.union.oh.us/engineer

Marysville Operations Facility
16400 County Home Road
Marysville, Ohio 43040
P 937. 645. 3017
F 937. 645. 3111

Richwood Outpost
190 Beatty Avenue
Richwood, Ohio 43344

Public Service with integrity

September 1, 2016

Bradley Bodenmiller
LUC Regional Planning Commission
Box 219
East Liberty, Ohio 43319

Re: Preliminary Plat Review
Mitchell Highlands Subdivision

Bradley,

We have completed our review for the above preliminary plat, received August 22, 2016. We recommend it be approved with modifications. Items listed below should be addressed in the final construction drawings.

1. All log jams, dead, diseased (including all Ash) and dying trees shall be removed from streams that will become part of the Union County Ditch Maintenance Program. This work shall be completed as early as permitting allows and prior to home construction within the development for ease of access.
2. Our office will require dedication of 30' minimum of right of way on Mitchell-Dewitt Road, along the frontage of the development. Current right of way along is 25' from the centerline.
3. The submitted traffic impact study is under review.
4. We are currently working with the City of Marysville and Union County Health Department in providing access to the proposed sewer system to the existing residences along Industrial Parkway. The plat shows proposed laterals to some of those properties. Some means of access to the sewer system for the remainder of those properties will be required.
5. All drainage easements will be reviewed in more detail during the review of the construction drawings.
6. The landscaping plan provided will be reviewed in more detail during the review of the construction drawings.
7. Detail all flood routing swales, including 100 year water surface elevation, ensuring at least 1' of freeboard between the 100 year water surface and the limits of the drainage easement.
8. The stormwater management report will be reviewed by our office during the review of the construction drawings.
9. A Ditch Petition will need to be prepared and executed between developer and County prior to approval of the construction drawings.
10. Provide detailed construction drawings to private utility providers.

Jeff Stauch, PE/PS
County Engineer | Environmental Engineer

Mary A. Sampsel, PE
Assistant County Engineer | Chief Building Official

In accordance with Subdivision Regulations of Union County, additional information is required from the developer prior to final plat approvals. It is the responsibility of the developer to become familiar with the regulations and file requisite information within the time frames outlined in the regulations. Should you have any questions, feel free to contact me at (937) 645-3122.

Sincerely,



Bill Narducci, PE
Engineering Manager
Union County Engineer

Cc: Luke Sutton, Union County Engineer's Office (via email)
Jeremy Burrey, Union SWCD (via email)



Engineering, Planning and Zoning
City Hall, 209 South Main Street
Marysville, Ohio 43040-1641
(937) 645-7350
FAX (937) 645-7351
www.marysvilleohio.org

September 1, 2016

Bradley J. Bodenmiller
LUC Regional Planning Commission
9676 East Foundry
East Liberty, OH 43319

**Subject: Mitchell Highlands
Preliminary Plat Comment Letter #1**

The City of Marysville has reviewed the proposed water and wastewater systems for Mitchell Highlands recommends approving the Preliminary Plat upon addressing the following comments as part of the final engineering process.

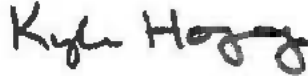
General Comments:

1. Please confirm the name of this development (Mitchell Highlands vs Mitchell Highland) as there are inconsistencies between the preliminary plat and landscaping plan.
2. Please define and label all utility easements.
3. Please include language allowing sanitary sewer / lateral installation and maintenance (performed by both public and private entities) within the proposed Reserve "G", Reserve "E", and Reserve "C".
4. Provide a means to access (i.e. wider easement with a more stable base) the proposed sewer between Lots 136 & 137, Lots 143 & 144, and Lots 158 & 159.
5. Per previous correspondence, provide a means (i.e. easement, lateral, sewer, etc.) to obtain sanitary service for all existing properties adjacent to this development.
 - a. The current sewer extension between Lots 136 and 137 does not appear to provide adequate space for the Madry and McDannald properties to connect.
 - b. For future development purposes, provide a public sewer between Lots 25 & 26 to allow the Adler/Cotter property to obtain sewer service.
6. Please address the following comments in the final construction plans:
 - a. General
 - i. Extend the utility easements on both sides of the road to the property line at the western limit of Highlands Avenue.
 - b. Sanitary Sewer
 - i. Maximum sanitary sewer manhole spacing is four hundred (400) feet. It appears several manholes can be eliminated by complying with our allowable spacing.
 - ii. Provide the sanitary sewer vertical design along the western portion of Highlands Avenue to ensure gravity flow.
 - c. Water
 - i. Provide valves on each run of all tees and crosses.
 - ii. Provide a valve prior to all dead end hydrants.

Mitchell Highlands
Preliminary Plat Comment Letter #1
September 1, 2016

Please contact us if you need additional clarification or wish to discuss these comments further.

Sincerely,

A handwritten signature in black ink that reads "Kyle Hoyng". The signature is written in a cursive, slightly slanted style.

Kyle Hoyng, P.E.
Utility Engineer

cc: Jeremy Hoyt, P.E. (City of Marysville), Mike Andrako, P.E. (City of Marysville),
Scott Sheppeard (City of Marysville), Rich Felton (City of Marysville)



Jerome Township
Union County, Ohio

9777 Industrial Parkway
Plain City, Ohio 43064
Office (614) 873-4480
Fax (614) 873-8664

Jerome Township Zoning Office

August 31, 2016

Bradley J. Bodenmiller
LUC Regional Planning Commission
9676 E. Foundry
East Liberty, Ohio 43319

RE: Mitchell Highlands – Preliminary Plat

Dear Brad,

I have reviewed the Preliminary Plat for Mitchell Highlands as forwarded by LUC on August 22, 2016. Based on that review the plan, layout, and lots as shown appear to meet the requirements of the zoning as approved by the township.

As a reminder, the applicant will still need to proceed with Final Development Plan approval from Jerome Township. However, since a fair amount of engineering is required to ensure that the Final Development Plan will not change substantially, I can see no reason from the township's perspective why the application for Preliminary Plat should not move forward into the final engineering stages. It is our recommendation though that the applicant secure approval of the Final Development Plan from the township prior to submitting for Final Plat once it is clear that the engineering works.

As always, my review is limited to the zoning related items only and the township defers to the expertise of the Union County Engineers office in regards to all traffic and engineering related items.

Respectfully,

Gary Smith
Jerome Township Zoning Officer

Brad Bodenmiller

From: Andrew.Hurst@dot.ohio.gov
Sent: Thursday, September 1, 2016 3:06 PM
To: Brad Bodenmiller
Subject: RE: Mitchell Highlands Preliminary Plat

Follow Up Flag: Follow up
Flag Status: Flagged

We have no comments on any of these plats.

From: Brad Bodenmiller [mailto:bradbodenmiller@lucplanning.com]
Sent: Tuesday, August 30, 2016 9:06 AM
To: bnarducci@co.union.oh.us; Letitia Rayl <lrayl@co.union.oh.us>; Aaron Smith (asmith.uswcd@gmail.com) <asmith.uswcd@gmail.com>; Jim Cogar (jim.cogar@uchd.net) <jim.cogar@uchd.net>; Jeremy Hoyt <jhoyt@marysvilleohio.org>; jerometownship@aol.com; jeromezclerk@aol.com; Gary Smith (jeromeinspect@aol.com) <jeromeinspect@aol.com>; Slack, Thomas <Thomas.Slack@dot.ohio.gov>; Kevin Gregory <k.gregory@ure.com>; Ronald Rockenbaugh <r.rockenbaugh@ure.com>
Cc: Luke Sutton <lsutton@co.union.oh.us>; Jeremy Burrey <jburrey.uswcd@gmail.com>; Kyle Hoyng <khoyng@marysvilleohio.org>; Hurst, Andrew <Andrew.Hurst@dot.ohio.gov>; Dave Gulden <davegulden@lucplanning.com>; Reeves, Michael <mreeves@cecinc.com>; Corey Theuerkauf <CTheuerkauf@rockfordhomes.net>
Subject: Mitchell Highlands Preliminary Plat

All,

This email is a reminder for reviewing agencies and a notice of meeting change for reviewing agencies and applicants/owners.

Reminder:

Reviewing agencies, please have any comments regarding **Mitchell Highlands – Preliminary Plat** by end of the day this Thursday, September 1.

Meeting change:

The Zoning & Subdivision Committee meeting was rescheduled for **Tuesday, September 6, 2016, at 1:30 PM.**

The Executive Committee meeting will still be held **Thursday, September 8, 2016, at 1:15 PM.**

Bradley J. Bodenmiller

Planner II | LUC Regional Planning Commission


P.O. Box 219 | 9676 E. Foundry | East Liberty, Ohio 43319

P: (937) 666-3431 | F: (937) 666-6203

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www.ure.com

Your Touchstone Energy® Cooperative 

September 1, 2016

Bradley Bodenmiller
LUC Regional Planning Commission
9676 E. Foundry St.
East Liberty, OH 43319

RE: UREC comments for Mitchell Highlands – Preliminary Plat

Brad,

Noted comments per paper drawings received 08/22/16. Drawing set of 12 sheets issued Preliminary Plat for Mitchell Highlands, Dated August 17, 2016:

- 1) Sheet 1 of 12 – C000 – Cover Sheet
 - a) Number of Lots: 164
 - b) Front Setback: 25 FT from edge of R/W
 - c) Side Setback: 5 FT per side typically, with 10 FT each side for lots 13-24, 92-94 and 127-138
 - d) Rear Setback: 30 FT
 - e) Sections: 1 - 6
- 2) Sheet 2 of 12 – C100 – Existing Conditions
 - f) Developer to install creek/stream/wetland crossing conduits (size and quantity TBD) (directional bore if applicable) 10 feet beyond creek/stream/wetland protection easements (when applicable).
- 3) Sheet 3 of 12 – C200 – Site Plan
 - g) Based on the locations of trees or mounding URE request easements along the front lots on both sides of the streets.
 - h) URE require 30 feet electric easement onto development along Industrial Pkwy (CR1) adjacent to proposed Road R-O-W for existing 3 phase overhead electric facilities relocation. Reference Reserve A and F.
- 4) Sheet 4 of 12 – C201 – Site Plan
 - i) Based on the locations of trees or mounding URE request easements along the front lots on both sides of the streets.
- 5) Sheet 5 of 12 – C300 – Utility Plan
 - j) URE require 30 feet electric easement onto development along Industrial Pkwy (CR1) adjacent to proposed Road R-O-W for existing 3 phase overhead electric facilities relocation. Reference Reserve A and F.
 - k) Based on the locations of trees or mounding URE request easements along the front lots on both sides of the streets.
 - l) URE electric services are from front lot.

- m) Noted URE easements need to have widths defined and any areas seem to stop, require continuous easements. Request easement information for all utilities using easements outside road/street right of way.
 - n) URE easement requirements are 20 feet for underground primary and secondary facilities. Actual location of electrical facilities on lots can be located within a 10 feet easement if adjacent property has additional easements or right of way for ingress and egress totaling a minimum of 20 feet. Consider clarifying easement area between utilities.
 - o) All easement areas must be continuous for electric facilities.
 - p) Typically phone and or cable or fiber will go joint use with URE trenching.
 - q) Include road crossing conduits at the end of project sections for continuous electric facilities.
- 6) Sheet 6 of 12 – C301 – Utility Plan
- r) Based on the locations of trees or mounding URE request easements along the front lots on both sides of the streets.
 - s) URE electric services are from front lot.
 - t) Noted URE easements need to have widths defined and any areas seem to stop, require continuous easements. Request easement information for all utilities using easements outside road/street right of way. Consider clarifying easement area between utilities.
 - u) URE easement requirements are 20 feet for underground primary and secondary facilities. Actual location of electrical facilities on lots can be located within a 10 feet easement if adjacent property has additional easements or right of way for ingress and egress totaling a minimum of 20 feet. Consider clarifying easement area between utilities.
 - v) All easement areas must be continuous for electric facilities.
 - w) Typically phone and or cable or fiber will go joint use with URE trenching.
 - x) Include road crossing conduits at the end of project sections for continuous electric facilities.
 - y) Easements must match existing easement in Mitchell Crossing at Dewitt Road.
- 7) Sheet 7 of 12 – C400 – Pre-Developed Tributary Area
- z) No comments
- 8) Sheet 8 of 12 – C401 – Pre-Developed Tributary Area
- aa) Developer to install creek/stream/wetland crossing conduits (size and quantity TBD) (directional bore if applicable) 10 feet beyond creek/stream/wetland protection easements (when applicable).
 - bb) Noted for Windsor Curve and Dewitt Roads
- 9) Sheet 9 of 12 – C600 – Street Profiles
- cc) No comments
- 10) Sheet 10 of 12 – C601 – Street Profiles
- dd) No comments
- 11) Sheet 11 of 12 – C602 – Street Profiles
- ee) No comments

12) Sheet 12 of 12 – C603 – Street Profiles

ff) No comments

General comments for Site Landscape Plan drawing set: Vegetation management will be performed per URE's Terms and Conditions for Supplying Electric Service.

Do not put easement area over building setbacks, adjacent to is acceptable.

Utility Easement for URE electric facilities could possibly be joint use for phone, cable or other private communication entities (fiber).

Street crossing and adjacent property paths to be determined when facilities layout is completed.

Still need to work with developer to complete UREC electrical facility layout.

Request updated drawings ASAP for facilities layout.

Regards,

Ron Rockenbaugh

Manager of Engineering Services

Union Rural Electric Cooperative, Inc.

PO Box 393

15461 US Route 36

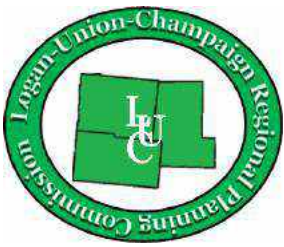
Marysville, Ohio 43040

Direct: (937) 645-9241



Staff Report – Millcreek Township Zoning Amendment

Applicant:	Millcreek Township Zoning Commission c/o Phil Honsey, Township Zoning Inspector PO Box 157 Ostrander, OH 43061
Request:	<p>The Zoning Commission received an application to rezone 50 acres of a single parcel from U-1 Farm Residential District to EQ Excavation and Quarry District. The parcel is listed below:</p> <ul style="list-style-type: none">• 2500130230000 <p>Total acreage</p> <ul style="list-style-type: none">• 50 acres of the parcel (only a portion) <p>Existing use</p> <ul style="list-style-type: none">• Agriculture <p>Proposed use</p> <ul style="list-style-type: none">• Limestone extraction
Location:	Millcreek Township is in Union County. The parcel fronts Jerome Road and US Hwy 42 and the 50 acres in the proposal is south of the existing affected area.
Staff Analysis:	<p>This proposed rezoning would permit the expansion of an existing quarry operation owned by Shelly Materials. The expansion would be a size of 50 acres.</p> <p>Land Use: Comprehensive Plan</p> <p>Millcreek has a comprehensive plan, dated 2005 and supplemented in 2010. The existing condition analysis acknowledges the quarry operation (2005 Comp Plan, pp. 18) and the importance of manufacturing/mineral extraction in the township (pp. 35). In the Plan's recommendations, it also acknowledges the significant amount of acreage owned by Shelly Materials for eventual expansion of quarry operations and recommends discouragement of further residential development within a mile of the site (pp. 36). (Note: A northern portion of Jerome Village would potentially be within this distance. The majority of that are is planned as commercial.) Some recommendations of the plan were to:</p>



Staff Report – Millcreek Township Zoning Amendment

- “Retain a long term perspective for upscale or recreational re-use of the quarry site. In the short term, re-zone it for special uses, with only the continuation of the existing operation to be permitted as of right” (pp. 29).
- “So long as the company continues efforts to be a good neighbor to the community, they should be embraced, but given wide berth from encroachment of residential development. No additional residential development should occur within at least a mile of the operations [because they are intense, including night operation and blasting].”
- “Long term options for reuse of the site will be defined by the radical change in the original landscape, the large pit, and whether or not the pit will hold water and at what depth” (pp. 35).

Union County has a comprehensive plan, which also recommends discouragement of residential land uses near existing quarries and quarry expansion areas (Union Co Comp Plan, pp. 86).

None of these plan documents recommend limiting the expansion of the existing quarry; the plans recommend that residential development be discouraged near existing quarries. This concept is key to this recommendation.

Zoning Resolution

The EQ District is a zoning district specifically for excavation and quarrying. The general purpose of the district is to rezone piecemeal in 50 acre sections, protect water resources, control nuisances, provide for damage protection from blasting, and provide for site reclamation. After reviewing the EQ District, LUC staff had the following comments:

- Additional information about the area proposed to be rezoned should be required. A legal description or even use of monuments would be helpful in determining the boundaries of the 50 acres. Not having more specific locational information may result in unintended/unforeseen consequences.
- A site reclamation plan and very limited topographic plan were provided. Because this is an active site, the topographic information is very limited, but there is additional topographic detail found within the



Staff Report – Millcreek Township Zoning Amendment

	<p>reclamation plan itself. The Zoning Commission and Township Trustees should request a copy of the performance bond and make sure those plans and the bond are still “adequate and in the best interest of the township” (Resolution, Section 6870).</p> <p>Vicinity Zoning & Uses Nearby uses are generally very low density and agriculture.</p> <p>Although the Zoning Map does not reflect it, the land adjacent and north of the area proposed to be rezoned is zoned EQ District. Per the Zoning Inspector, that rezoning was approved in 2008. (Without more specific locational information, it is difficult to map the area approved in 2008.)</p> <p>Public Hearing Timeline LUC staff works to educate townships regarding ORC 519.12, which requires the public hearing to be held within 20-40 days after the date of filing of an application. LUC staff recommended to the township that a public hearing should occur during that time, but could be continued in order to comply with ORC 519.12.</p> <p>The township via ORC 309.09 utilized legal advice through the Union County Prosecutor’s Office. To accommodate meeting agendas and timing with LUC’s recommendation, Millcreek Township created a waiver with the Union County Prosecutor’s Office and applicant on the timing of the public hearing. The waiver was included with the application.</p>
Staff Recommendations:	<p>Staff recommends APPROVAL with modification of the proposed zoning amendment based on the 2005 and 2010 Millcreek Township Development & Growth Plan, Union County Comprehensive Plan, the EQ District Purpose & Intent, and the Prosecutor’s review. The modifications include:</p> <ul style="list-style-type: none">○ Additional information about the area proposed to be rezoned.○ A copy of the performance bond from the applicant to be considered in addition with the site reclamation plan and topographic plan by the Zoning Commission and Board of Trustees.



Logan-Union-Champaign
regional planning commission

Staff Report – Millcreek Township Zoning Amendment

Z&S Committee Recommendations:	
---	--

For Consideration by LUC Regional Planning Commission Executive Committee on
03-10-2016



August 10, 2016

Brad Bodenmiller
LUC Regional Planning Commission
9676 E. Foundry St.
P.O. Box 219
East Liberty, OH 43319

Sent via e-mail. Original to follow in US Mail.

Dear Brad:

Per previous phone conversations and emails between you, the Assistant County Prosecutor, and the applicant, attached is your checklist and supplementary information for Millcreek Township Zoning Map Amendment ZC-2016-001 (Shelly Materials, Inc.), which was filed with the Township on August 2, 2016, and transmitted via e-mail to you to the RPC on August 3, 2016 and full size plans, etc. sent by US Mail.

Attached is a copy of a waiver from Shelly Materials, Inc. regarding their right to a timely hearing under the ORC, in order to facilitate LUC-RPC meeting agenda, which was previously sent to you, but I have sent it again, for your convenience.

Regarding your checklist:

- See the previously submitted application form, which contains most of the information you have requested on the checklist.
- The date of the Millcreek Township Zoning Commission Public Hearing will be on September 20, 2016, at 7:00 p.m.
- I will serve as the contact between the LUC RPC and the Township. (937) 644-3449.
- Kevin Cooperrider (see application form) is the contact for the applicant.
- You have previously been sent a copy of the entire zoning text associated with the rezoning. I believe the entire code is necessary for your review, not just the EQ District, but let me know if you need me to copy for you pages 35 to 39 (EQ District.)

- The acreage under consideration for the rezoning (zoning map amendment) is located completely interior to Shelly Materials, Inc. land holdings.
- I have enclosed a list of the names and addresses of property owners near the Shelly property, as provided by the applicant.
- All of the surrounding property is zoned U1, except for the frontage along the Jerome and US 42 frontage (see enclosed Millcreek Township Zoning Map.)
- You will note the supporting documentation previously sent that includes the full plan size air photo with proposed zoning overlayed, the 11'x17' landscaping plan, the proposed long term restoration plan, and the text comments on the application form regarding compliance with blasting and other requirements.
- I have included copies of the maps of the last rezonings (map amendments) adjacent to this proposed rezoning approved by the Township in 2008, which are not shown on the current Millcreek Township Zoning Map.

Please let me and the applicant know well in advance of your agenda deadline for the September LUC PRC meeting if you need additional information, or would like to discuss any land use and zoning issues regarding the proposal, as guided by the adopted and current regional and local comprehensive plans.

We look forward to your professional planning recommendation from the regional perspective.

Thanks!

Sincerely,



Phil Honsey
Zoning Administrator

cc Assistant Prosecutor
Shelly Materials, Inc.
Millcreek Twp. Zoning Chair
Millcreek Twp. Trustees



Logan-Union-Champaign regional planning commission

Director: Dave Gulden

Zoning Parcel Amendment Checklist

Date: 8/10/16 Township: Millersburg
Amendment Title: ZC 2016-001

Notice: Incomplete Amendment requests will not be processed by our office. LUC Regional Planning Commission will return them to the requestor, stating the reason the amendment was not accepted.

Each Zoning Parcel Amendment change must be received in our office along with a cover letter, explaining the **proposed zone change (s)**. All items listed below must be **received no later than 10 days** before the next scheduled LUC Regional Planning Commission Executive Board Meeting (which is the **second Thursday of every month**). It is **recommended** that a person who is **able** to provide further information on the amendment attend the Zoning and Subdivision Committee meeting to answer any additional questions that may arise.

Required Item:	Completed by Requestor	Received by LUC
Cover Letter & Checklist	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Date of Request (stated in cover letter)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Description of Zoning Parcel Amendment Change(s)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Date of Public Hearing (stated in cover letter)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Township point of contact and contact information for zoning amendment (stated in cover letter)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Parcel Number(s)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Copy of Completed Zoning Amendment Application	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Applicant's Name and contact information	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Current Zoning	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Proposed Zoning	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Current Land Use	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Proposed Land Use	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Acreage	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Copy of Zoning Text associated with proposed district(s)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Contiguous and adjoining Parcel information, including Zoning District(s)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Any other supporting documentation submitted by applicant	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Non-LUC Member Fee, If applicable	<input type="checkbox"/>	<input type="checkbox"/>

Additionally, after final adoption regarding this zoning parcel amendment, please provide LUC with a letter stating the results of the Trustees vote, along with a copy of the adopted parcel change (s).

Please see reverse side for a timeline of the Township Zoning Amendment Process, per ORC 519.12

9676 E. Foundry St, PO Box 219
East Liberty, Ohio 43319

• Phone: 937-666-3431 • Fax: 937-666-6203
• Email: luc-rpc@lucplanning.com • Web: www.lucplanning.com



August 5, 2016

RE: Millcreek Township Zoning Map Amendment Request #ZC 2016-001, Public Hearing Schedule

Per our conversations, Millcreek Township recognizes that the law/zoning resolution provides that it should hold a hearing on your application within 20 to 40 days after you filed it. The law and zoning resolution also require that the zoning commission consider the comments of the regional planning commission before taking action on your application. Because of calendar constraints, the regional planning commission will not have its comments on your rezoning application back to the Millcreek zoning commission within the 20 to 40 days hearing "window."

Millcreek zoning commission will meet its obligations under the law to both hold a hearing within 20 to 40 days and not act on your application until it has the regional planning commission. However, doing so will require two hearings on your application. If you are willing to waive the requirement for Millcreek zoning commission to have a hearing within 20 to 40 days after filing, and agree that the hearing on your application can be scheduled after regional planning gives its comments on your application, a single hearing may be sufficient. In that case, Millcreek zoning commission will schedule your application for hearing on its regularly scheduled meeting, Tuesday, September 20, 2016 at 7 p.m. If that is acceptable, please indicate so by signing below.

Kevin Cooperrider

Shelly Materials

1771 Harmon Ave.

Columbus, OH 443123

8/8/2016

Date

Thanks,

Phil Honsey

Zoning Administrator

Cc Zoning Commission Chair
Assistant Union County Prosecutor
Millcreek Township Trustees

List of Names and Addresses of ALL Properties Surrounding Parcel 2500130230000

- | | |
|-----------------------------------|---|
| 1. JR Touchstone, LTD. | 13275 US 42 Plain City, OH 43064 |
| 2. Conklin Dairy Farm, INC. | 12939 US 42 Plain City, OH 43064 |
| 3. Millcreek Heritage Farms, LLC. | Harriott Rd.
Mailing Address: 8086 Queen Palm LN. APT. 337 Fort Myers, FL 33966-6445 |
| 4. Hughes, Anita & Kristopher | 12605 US 42 Plain City, OH 43064 |
| 5. Class, David & Sandra | 12533 US 42 Plain City, OH 43064 |
| 6. Bouic, Frank & Barbara | 9009 Watkins Rd. Ostrander, OH 43061 |
| 7. Thompson, Dwight & Beulah | 13660 Jerome Rd. Ostrander, OH 43061 |

- Zoning**
- U-1 Township Highway
 - R-1 County Highway
 - B-2 US Highway
 - M-2 Railroad
- Roads**
- Township Highway
 - County Highway
 - US Highway
 - Railroad

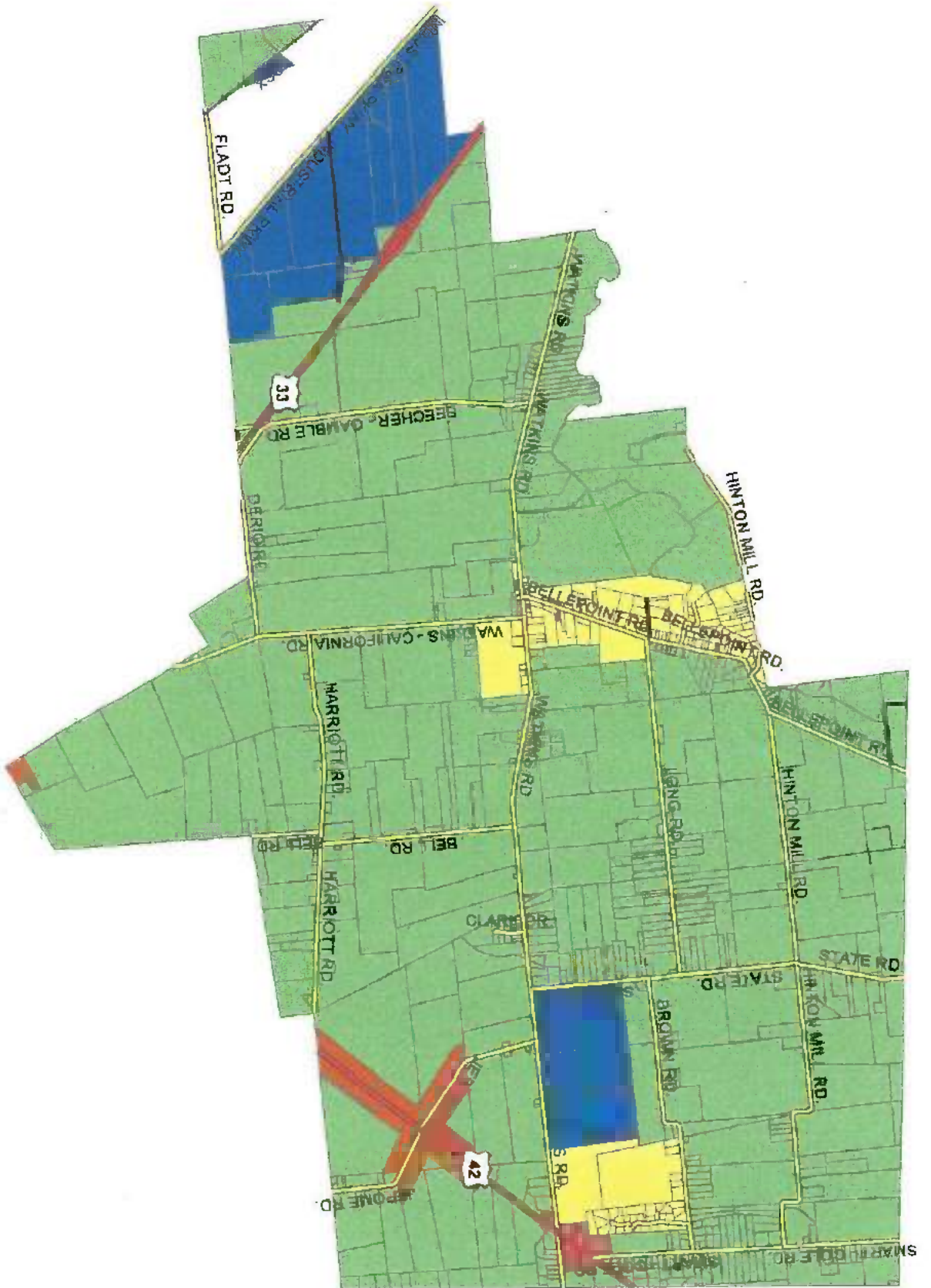
Millcreek Township Union County

0 0.2 0.4 0.6 1.2
Miles

Based on Official
Zoning map
Date:
Created on September, 2004
Revised:



6716 Fairway St
PO Box 210
East Liberty, OH 43013
Phone (614) 680-3437
Fax (614) 680-3203
Email: linc@linc-engineering.com



Approved 2008

Za77-001

PROPOSED 37
ACRES TO BE
ZONED "EQ"

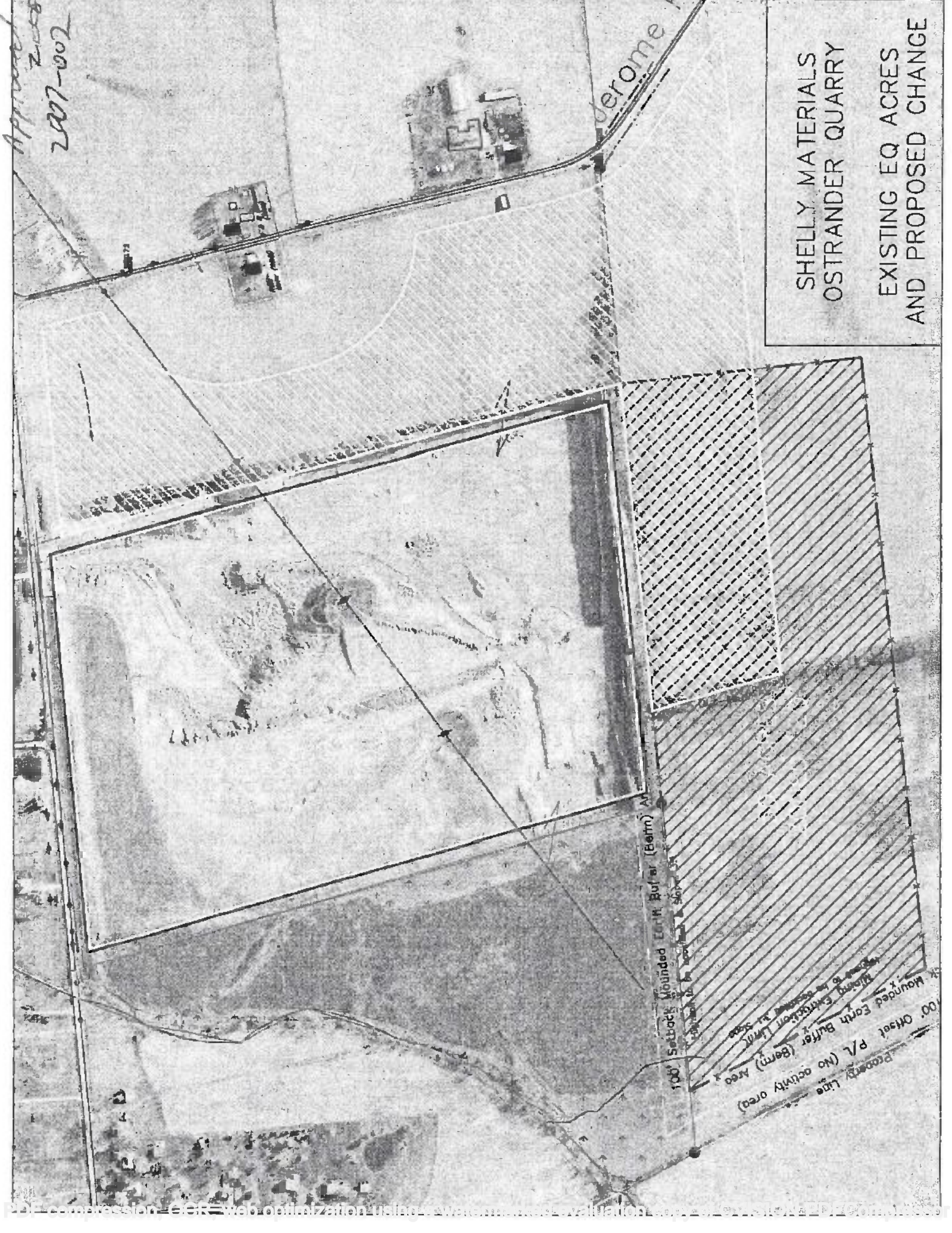
SHELLY MATERIALS
OSTRANDER QUARRY
EXISTING EQ ACRES
AND PROPOSED CHANGE

CONVERT 1.10 TO
BE ZONED BACK TO
EQ

Property Line
P/L (No activity area)
100' Offset
Mounded Earth Buffer (80m) Med
Dipping Elevation 31
100' Mounded Earth Buffer (80m) Med
Dipping Elevation 31

Approved
2/28/08
2007-002

SHELLY MATERIALS
OSTRANDER QUARRY
EXISTING EQ ACRES
AND PROPOSED CHANGE





August 5, 2016

RE: Millcreek Township Zoning Map Amendment Request #ZC 2016-001, Public Hearing Schedule

Per our conversations, Millcreek Township recognizes that the law/zoning resolution provides that it should hold a hearing on your application within 20 to 40 days after you filed it. The law and zoning resolution also require that the zoning commission consider the comments of the regional planning commission before taking action on your application. Because of calendar constraints, the regional planning commission will not have its comments on your rezoning application back to the Millcreek zoning commission within the 20 to 40 days hearing "window."

Millcreek zoning commission will meet its obligations under the law to both hold a hearing within 20 to 40 days and not act on your application until it has the regional planning commission. However, doing so will require two hearings on your application. If you are willing to waive the requirement for Millcreek zoning commission to have a hearing within 20 to 40 days after filing, and agree that the hearing on your application can be scheduled after regional planning gives its comments on your application, a single hearing may be sufficient. In that case, Millcreek zoning commission will schedule your application for hearing on its regularly scheduled meeting, Tuesday, September 20, 2016 at 7 p.m. If that is acceptable, please indicate so by signing below.

Kevin Cooperrider
Shelly Materials
1771 Harmon Ave.
Columbus, OH 43123

8/8/2016

Date

Thanks,

Phil Honsey
Zoning Administrator

Cc Zoning Commission Chair
Assistant Union County Prosecutor
Millcreek Township Trustees

ZONING MAP AMENDMENT APPLICATION

MILLCREEK TOWNSHIP ZONING (937) 644-3449
P.O. Box 157, OSTRANDER, OH 43061
ZONING@WWW.MILLCREEKTPW.OHIO

copy

ZC CASE No.: ZC 2016-001

EFFECTIVE: 09-24-15

PROPERTY OWNER(S): SHELLY MATERIALS, INC.

MAILING ADDRESS: 1771 HARMON AVE. COLUMBUS, OHIO 43223

DEVELOPER/CONTRACTOR: SHELLY MATERIALS, INC.

PHONE: 614-437-2345

ADDRESS: 1771 HARMON AVE. COLUMBUS, OHIO 43223

EMAIL: KCOOPERRIDER@SHELLYCO.COM

PRIMARY CONTACT: KEVIN COOPERRIDER

PHONE: 614-437-2343

ADDRESS: 1771 HARMON AVE. COLUMBUS, OHIO 43223

EMAIL: KCOOPERRIDER@SHELLYCO.COM

PROPERTY ADDRESS: 8328 WATKINS RD. OSTRANDER, OHIO 43061

PARCEL NUMBER(S): 2500130230000

ACREAGE: 50 ACRES NUMBER OF PROPOSED LOTS (BUILDABLE LOTS): N/A PROPOSED OPEN SPACE: N/A ACRES

SUBDIVISION NAME (IF APPLICABLE): N/A LOT NUMBER(S): N/A LOT SIZE: N/A

EXISTING ZONING DISTRICT(S): U1

PRESENT USE(S): AGRICULTURE

PROPOSED ZONING DISTRICT(S): EQ

PROPOSED USE(S): LIMESTONE EXTRACTION. ALL STORM WATER DRAINAGE WILL BE DIRECTED TOWARDS THE OPERATION. ALL MONITORING WELLS WILL CONTINUE TO BE MONITORED MONTHLY WITH RESULTS BEING SUBMITTED TO THE ZONING ADMINISTRATOR MONTHLY. BLASTING SCHEDULES WILL BE SUBMITTED TO THE ZONING ADMINISTRATOR MONTHLY. DUST WILL BE SUPPRESSED BY A WHEEL WASH SYSTEM AND WATERED HAUL ROADS AT A NEED TO BE BASIS. ALL NEW QUARRYING/EXCAVATION AREAS WILL BE GUARDED BY MANICURED SOUND/SITE BARRIERS WITH WARNING SIGNS POSTED. ALL NEW AND OLD QUARRYING/EXCAVATION AREAS WILL BE RECLAIMED TO STATE OF OHIO GUIDELINES.

BY SIGNING THIS APPLICATION ON THE LINE BELOW, I HEREBY CERTIFY THAT ALL INFORMATION CONTAINED HEREIN IS TRUE AND ACCURATE. I ALSO AGREE TO BE BOUND BY PROVISIONS OF THE ZONING RESOLUTION OF MILLCREEK TOWNSHIP, AS WELL AS ACKNOWLEDGE THE FOLLOWING:

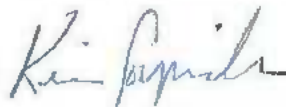
☒ I REQUEST TO INDUCE THE AFOREMENTIONED AMENDMENT TO THE MILLCREEK TOWNSHIP ZONING MAP.

☒ I HAVE ATTACHED OR ENCLOSED WITH THIS APPLICATION TEN (10) COPIES OF ALL MATERIALS WHICH ARE TO BE CONSIDERED FOR APPROVAL WITH THIS APPLICATION AND ONE DIGITAL COPY (PDF FORMAT), ADDRESSING EXISTING FEATURES, A VICINITY MAP, A DEVELOPMENT PLAN, A LANDSCAPE PLAN, A SIGNAGE PLAN, DRAINAGE, SEWER AND WATER SERVICE FEASIBILITY PLANS, A TRAFFIC STUDY AND OTHER INFORMATION REQUIRED IN ACCORDANCE WITH THE APPLICATION PROCEDURES AND/OR TO PROVE COMPLIANCE WITH OTHER SECTIONS OF THE ZONING RESOLUTION.

☒ I HAVE ATTACHED OR ENCLOSED A LIST OF NAMES AND ADDRESSES OF ALL PROPERTY OWNERS WITHIN, CONTIGUOUS TO OR ACROSS THE STREET FROM, AND OTHERS THAT MAY HAVE A SUBSTANTIAL INTEREST IN THE CASE, OF THE PROPERTY(S) FOR WHICH THIS APPLICATION IS SUBMITTED. ALSO, PROVIDED IS A SET OF ADDRESSED AND STAMPED PLAIN WHITE BUSINESS SIZE ENVELOPES FOR EACH NAME ON THIS LIST. UPDATED ENVELOPES WILL BE REQUIRED PRIOR TO THE TRUSTEE'S HEARING.

☒ I HAVE SUBMITTED APPLICABLE FEES, PER THE CURRENT MILLCREEK TOWNSHIP ZONING FEE SCHEDULE AND ACKNOWLEDGE THAT ADDITIONAL FEES WILL BE DUE FOR SUBSEQUENT PUBLIC HEARINGS IF I SO CHOOSE TO TABLE OR WITHDRAW THIS APPLICATION.

SIGNATURE OF OWNER(S)



KEVIN COOPERRIDER

PROPERTY MGR

OWNER(S) NAME PRINTED OR TYPED

8/1/2016

DATE OF APPLICATION

INCOMPLETE APPLICATION FORMS WILL NOT BE PROCESSED

DO NOT WRITE BELOW THIS LINE - FOR OFFICE USE ONLY

DATE RECEIVED:

8/2/16

COMPLETE APPLICATION:

☒ YES

☐ NO

RECEIVED BY:

Phil Henson, ZA
PH

TYPE OF PAYMENT:

☐ CASH

☒ CHECK NO.

64-1028
611

AMOUNT:

5,800

STAFF COMPLETING REVIEW:

RPC HEARING DATE:

ACTION:

☐ APPROVED

☐ DENIED

/ ZC HEARING DATE:

ACTION:

☐ APPROVED

☐ DENIED

NOTES:

TRUSTEE HEARING DATE:

ACTION:

☐ APPROVED

☐ DENIED

OHIO DEPARTMENT OF NATURAL RESOURCES
Division of Mineral Resources Management

☐ NEWAPPLICATION

☒ RENEWAL APPLICATION

**Surface Industrial Mineral Mining Permit Application
Cover Sheet**

To Be Completed and Submitted by the Applicant

I, RAYMOND J. BEACH, GEOLOGIST, on behalf of SHELLY MATERIALS, INC.
do hereby submit a Surface Industrial Mineral Mining Permit Application including all required
attachments as indicated on page 2 of the application cover sheet. All information and data
provided in this application, maps and attachments thereto are true and correct to the best of my
knowledge. Comments made or questions about this application are to be directed to me, at the
address and phone listed below:

Signed: Raymond J. Beach

Address: 4378 MAHONING AVENUE, P. O. BOX 4620

City, State, Zip: YOUNGSTOWN, OHIO 44515

Phone: 330-792-2271

Fax: 330-792-2271

Email: rjb0601@aol.com

RECEIVED

JAN 16 2008

DIVISION OF MINERAL
RESOURCES MANAGEMENT

RECEIVED

DEC 19 2007

DIVISION OF MINERAL
RESOURCES MANAGEMENT

OPERATOR

OHIO DEPARTMENT OF NATURAL RESOURCES
Division of Mineral Resources Management

Surface Industrial Mineral Mining Permit Application

FOR DIVISION USE ONLY:

Date Received: JAN. 16, 2008
Application No: IM-0236-3
Region: WEST
Permit Number: IM-0236

APPLICANT Information

1. Name of Applicant: SHELLY MATERIALS, INC.

Mailing Address: P. O. BOX 266

City: THORNVILLE, State: OHIO Zip Code: 43076

Business Telephone: 740.246.1154 Fax Number: 740.246.3154 E-mail: swilson@shellyco.com

Federal Tax ID#

2. Business Structure:

☐ Sole Proprietorship ☐ Partnership ☒ Corporation ☐ Other:

3. List the names of owners, partners, all corporate officers, directors or other persons who have a right to control or in fact control the management of the applicant or the selection of officers, directors or managers of the applicant (If additional persons are to be shown, please list on a separate sheet).

Name: DANIEL J. MONTGOMERY

Title: PRESIDENT

Address: 80 PARK DRIVE, P. O. BOX 266

City: THORNVILLE, State: OHIO Zip: 43076

Name: DOUGLAS RADABAUGH

Title: CFO

Address: 80 PARK DRIVE, P. O. BOX 266

City: THORNVILLE, State: OHIO Zip: 43076

Name: JOHN J. POWERS

Title: VICE PRESIDENT

Address: 80 PARK DRIVE, P. O. BOX 266

City: THORNVILLE, State: OHIO Zip: 43076

Name: TY NOFZIGER

Title: VICE PRESIDENT

Address: P. O. BOX 3100

City: FINDLAY State: OHIO Zip: 45840

This application is hereby ☒ approved, ☐ disapproved by the Chief, Division of Mineral Resources Management.

Date: JANUARY 17, 2008

Signed: [Signature]

Chief, Division of Mineral Resources Management

D. Seal intercepted underground mines.

NA

GROUNDWATER MODELING Information

☒ If Renewal, mark "X" and skip to question 26.

25. Will you be pumping and discharging water to facilitate mining?

☐ Yes, ☐ No If "yes," submit groundwater modeling attachment(s) as outlined in the Operator's Guidelines. Section 1514.02(A)(16) of the Revised Code requires that an applicant submit a compilation of data in a form that is suitable to conduct ground water modeling to establish a projected cone of depression.

RECLAMATION PLAN & SCHEDULE

26. For each mining area, specifically identify the future intended land use and fully describe the sequence of steps that will be used to prepare the land for its future intended use. Also describe steps that will be taken to achieve soil stability, prevent landslides, erosion and sedimentation. Be specific in addressing the use of overburden, backfilling, grading, terracing, contouring, degree of final slopes and any other related activity.

The future intended land use for both previously indicated mining areas will be the same and consist of leaving the final highwalls for containment of the water in the proposed two (2) impoundments (possibly backfilling some highwalls), constructing berms above the final highwalls for safety purposes with slopes of 3:1 or less, grading all other areas above the final highwalls that were disturbed by mining to 3:1 slopes also, re-soiling and seeding these same areas with grasses and legumes for pasture purposes. Mulching and diversion ditches will be applied/installed if necessary in order to prevent landslides, erosion and sedimentation.....and achieve soil stability.

27. Identify and describe the anticipated timeframe between the completion of mining in an area and the completion of all grading and planting.

A. Will grading, re-soiling and planting be completed within one year following the completion of mining in an area? ☐ Yes, ☒ No If "no," describe the reason for requesting additional time.

THE DESIGNATED MINING AREAS (#1 & #2) ARE TOO LARGE FOR COMPLETION OF THE BACKFILLING OF SOME OF THE HIGHWALLS. GRADING ALL DISTURBED AREAS & RE-SOILING & PLANTING THESE AREAS TO COMPLETION WITHIN ONE (1) YEAR AFTER COMPLETION OF MINING. HOWEVER, THE AFOREMENTIONED RECLAMATION SHOULD BE COMPLETED WITHIN TWO (2) YEARS AFTER COMPLETION OF MINING IN THE DESIGNATED AREAS UNLESS WEATHER CONDITIONS DELAY PROCEDURES EVEN FURTHER.

B. Will permanent planting be completed immediately following any required grading and re-soiling of an area affected, or during the next growing season following re-soiling?

☒ Immediately following grading and re-soiling

☐ During next growing season

If "during next growing season," describe the reason for requesting additional time.

C. Will permanent vegetation be established and maintained for two (2) growing seasons following planting? ☒ Yes, ☐ No If "no," describe the reason for requesting additional time. NA

- D. Will ALL reclamation requirements be completed within three years following the completion of mining in an area? ☒ Yes, ☐ No If "no," describe the reason for requesting additional time.

28. Will permanent impoundments be left following mining and reclamation? ☒ Yes, ☐ No If ((yes," complete the table below, including information for all proposed permanent impoundments. Add additional sheets if necessary.

	Impoundment #1	Impoundment #2	Impoundment #3
Estimated elevation of high water mark in ft/msl	940' msl ¹	950' msl	
Estimated Surface Area	160 ACRES	60 ACRES	
Estimated Average Depth	70'	80'	
Estimated Maximum Depth	100'	95'	
Is the Impoundment Designed to Discharge?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> No
Primary Water Source: Ground or Surface Water	GROUNDWATER	GROUNDWATER	

¹ For EACH impoundment designed to discharge water into a stream or other drainage area, the applicant MUST complete a **Pond/impoundment Design**. Also, impoundments designed to discharge may require NPDES permits from the Ohio Environmental Protection Agency. The issuance of a surface mining permit does NOT exempt operators from obtaining all other necessary state and federal permits.

29. Describe all measures that you will take to prevent contamination of water in each of the impoundments described above.

SURFACE WATER RESULTING FROM MINING WHICH CONTAINS SUBSTANCES IN AMOUNTS OR CONCENTRATIONS THAT ARE HARMFUL TO PERSONS, AQUATIC LIFE, ETC. WILL BE PREVENTED FROM FLOWING INTO THE IMPOUNDMENTS. FREQUENT INSPECTIONS OF ON-SITE EQUIPMENT & ANY FUEL TANKS WILL BE MADE SO THAT LEAKS OR ACCIDENTAL SPILLS WILL BE PREVENTED FROM ENTERING THE IMPOUNDMENTS.

30. A. What measures will you take upon completion of mining and reclamation to restrict access where access is not required by the intended future use of the impoundment?
"DANGER/NO TRESPASSING" SIGNS WILL BE POSTED AT FREQUENT INTERVALS COMPLETELY AROUND THE IMPOUNDMENTS. WHERE DETERMINED NECESSARY, EARTHEN BERMS & FENCING WILL BE USED TO RESTRICT ACCESS TO THE IMPOUNDMENTS.
 B. What measures will be taken to provide for safe and adequate egress from the impoundment?

SLOPES OF THE BERM OR OVERBURDEN DOWN TO THE TOP OF BEDROCK OR HIGHWALL WILL BE CONSTRUCTED & MAINTAINED AT 3:1 OR LESS TO FACILITATE EGRESS FROM THE IMPOUNDMENTS...OR INGRESS. AN EXISTING RAMP NEAR THE SOUTHWEST CORNER OF MINING AREA #1 WILL BE MAINTAINED AT 3:1 FOR ACCESS IN & OUT OF THE PIT AREA.

31. Will highwalls be included in the final land form? ☒ Yes, ☐ No If "yes," applicants must provide the following information.

- A. Estimated proposed height of final highwall (in feet):

90' TO 105'

- B. If an impoundment is the proposed final land form, what will be the maximum height of exposed highwall above the high water mark of the impoundment?

20'

- C. Describe in detail, the specific practices that will be employed to stabilize all remaining highwalls. Include information about the site-specific geological formation.

Blasting will be reduced when approaching the final highwall(s) so fracturing of same will be kept to a minimum. Any loose/fractured rock occurring on the final highwall(s) face(s) will be removed. Blasting procedures will be adjusted by pre-splitting holes two (2) to three(3) feet apart when approaching the final highwall which should result in a smooth and safe highwall.

- D. What provisions will be made to provide for public safety and to restrict access to highwalls from above and provide egress from the pit area?

BERM(S) WILL CONSTRUCTED ABOVE THE FINAL HIGHWALL(S) & FENCING WILL BE INSTALLED IF NECESSARY TO RESTRICT ACCESS TO THE HIGHWALL(S) AS APPROACHED FROM ABOVE. THE EXISTING RAMP AT THE SOUTHWEST CORNER OF THE MINING AREA #1 WILL BE MAINTAINED AT 3:1 IN ORDER TO PROVIDE EGRESS FROM THE PIT AREA.....OR INGRESS INTO SAME.

RESOILING/REPLANTING PLAN

32. What material(s) will be used for resoiling upon completion of mining?

Check All That Will Be Used	Material	Average Depth on Permit Area	Depth to be Redistributed for Reclamation
<input checked="" type="checkbox"/>	TOPSOIL	TWO (2) FEET	COMBINATION OF SIX (6) INCHES TOP & SUBSOIL
<input checked="" type="checkbox"/>	SUBSOIL	EIGHT (8) FEET	COMBINATION OF SIX (6) INCHES TOP & SUBSOIL
<input type="checkbox"/>	SUBSTITUTE* <i>Specify below</i>	NA	NA

*If sufficient quantities of topsoil and subsoil do not exist for reclamation, specify what substitute resoiling material will be utilized to insure successful reclamation of the site? (Identify stratum or mixture to be utilized and include evidence that the substitute resoiling material will support vegetation capable of self-regeneration and plant succession, including a standard soil test analysis.)

NA: SUFFICIENT QUANTITIES OF TOP & SUBSOIL EXISTS WITHIN THE PERMIT AREA FOR RECLAMATION PURPOSES.

33. Describe the plan for redistribution of topsoil and/or subsoil on all graded areas. Be specific.

THE TOP & SUBSOIL WILL BE REMOVED, STORED & REDISTRIBUTED WITH THE DOZERS & HIGHLIFTS. THE SOILS WILL BE STORED IN THE FORM OF BERMS ALONG THE PERIMETER OF THE PERMIT (& SEEDED WITH FAST GROWING ANNUAL GRAINS/GRASSES) FOR PREVENTION OF EROSION, SEDIMENTATION & CONTAMINATION. AT LEAST 6" OF A COMBINATION OF TOP/SUBSOIL WILL BE REDISTRIBUTED OVER ALL GRADED AREAS & AGAIN SEEDED IMMEDIATELY WITH FAST GROWING ANNUAL GRAINS/GRASSES.

34. Describe how the seedbed will be prepared, planted and protected. (Include- equipment, lime and fertilizer to be used per soil test results, moisture retention and erosion control methods to be employed.)

THE TOPSOIL WILL BE DISCED/HARROWED IF NECESSARY. LIME AND FERTILIZER WILL BE ADDED IN AMOUNTS AS DETERMINED BY SOIL TESTS. MULCHING/DIVERSION DITCHES WILL BE APPLIED/BUILT IF NECESSARY IN ORDER TO CONTROL EROSION AND SEDIMENTATION, AND ENHANCE MOISTURE RETENTION.

35. Identify the species and the amount of grasses, legumes and nurse crops that will be planted to vegetate areas affected by the surface mining operation:

RECLAMATION PLANTING LIST

GRASSES (specify a minimum of 2 species)	Pounds Per Acre to be Planted
KENTUCKY 31 PESCUE	30 #/AC.
PERENNIAL RYE GRASS	25 #/AC.
LEGUMES (specify a minimum of 2 species)	Pounds Per Acre to be Planted
RED CLOVER	6 #/AC.
ALFALFA	8 #/AC.
NURSE CROPS (fast growing species to establish quick cover)	Bushels/Pounds Per Acre to be Planted
OATS	64 #/AC.
TREES (list species)	Seedlings Per Acre to be Planted
NONE.	NA
OTHER (Agricultural crops, Wildlife Species, etc.)	Seeding/Planting Rate
NONE.	NA

Signature Page and Statement of Accuracy

ALL INFORMATION AND DATA PROVIDED IN THIS APPLICATION, ANY APPLICABLE EXHIBITS AND ATTACHMENTS THERETO ARE TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE.

Signed on this 14th day of December, 2007

Signed: John Powers (RJB)

Printed Name and Title: JOHN POWERS, EXECUTIVE VICE PRESIDENT

Submit three (3) copies of any new surface mining permit application with at least one containing all necessary original signatures to:

Ohio Department of Natural Resources
Division of Mineral Resources Management
Permitting Section
2045 Morse Road, Building H-3
Columbus, OH 43229-6693

New permit applications forwarded directly by the applicant to the DMRM regional office(s) will result in a delay in the review and processing of the application.

Renewal permit applications should be submitted in triplicate to the appropriate regional office.

MA-2

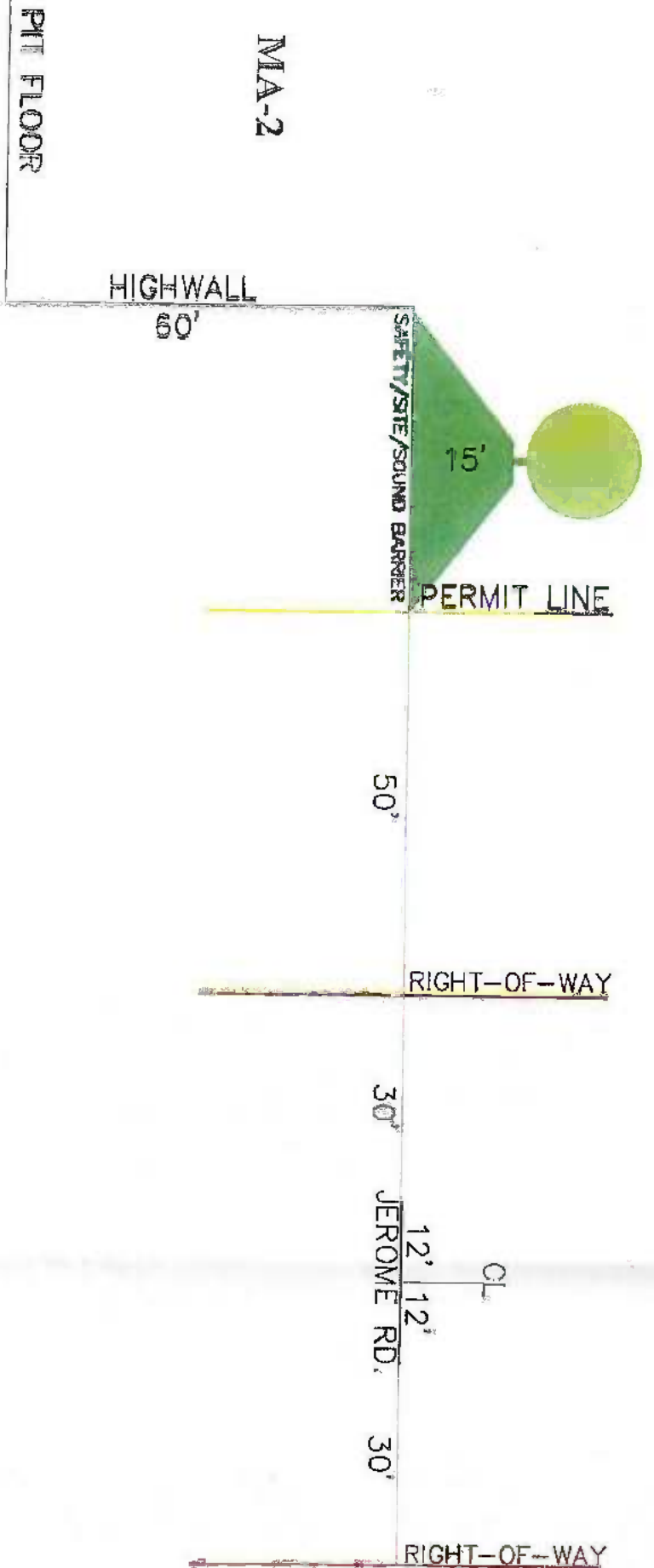
Proposed
Mill Creek
Twp 2016
7.3 AC.

Shelly Materials Inc.
(S&M)

2004

Proposed Mill Creek Twp 2016
Section (655) Mining Lot area
42.7 AC

Shelly Materials Inc.
(S&M)



Notes:

- All Safety/Site/Sound Barriers Will Have Manicured Grass Within A Reasonable Time Frame Of Barrier Completion.
- Safety/Site/Sound Barriers Will Have Flowering Trees Planted Every 50' On Center, On Top Portion Of Barrier.
- Safety Signs Will Be Placed Every 400' On Center, On ALL Safety/Site/Sound Barriers.

Red Grass
 plantation.
 Trees Planted
 10, 0m ALL

RIGHT-OF-WAY

30'

JEROME RD.

30'

RIGHT-OF-WAY

50'

PERMIT LINE

SAFETY/SITE/SOUND BARRIER

15'

60'

HIGHWALL

MA-3

PIT FLOOR

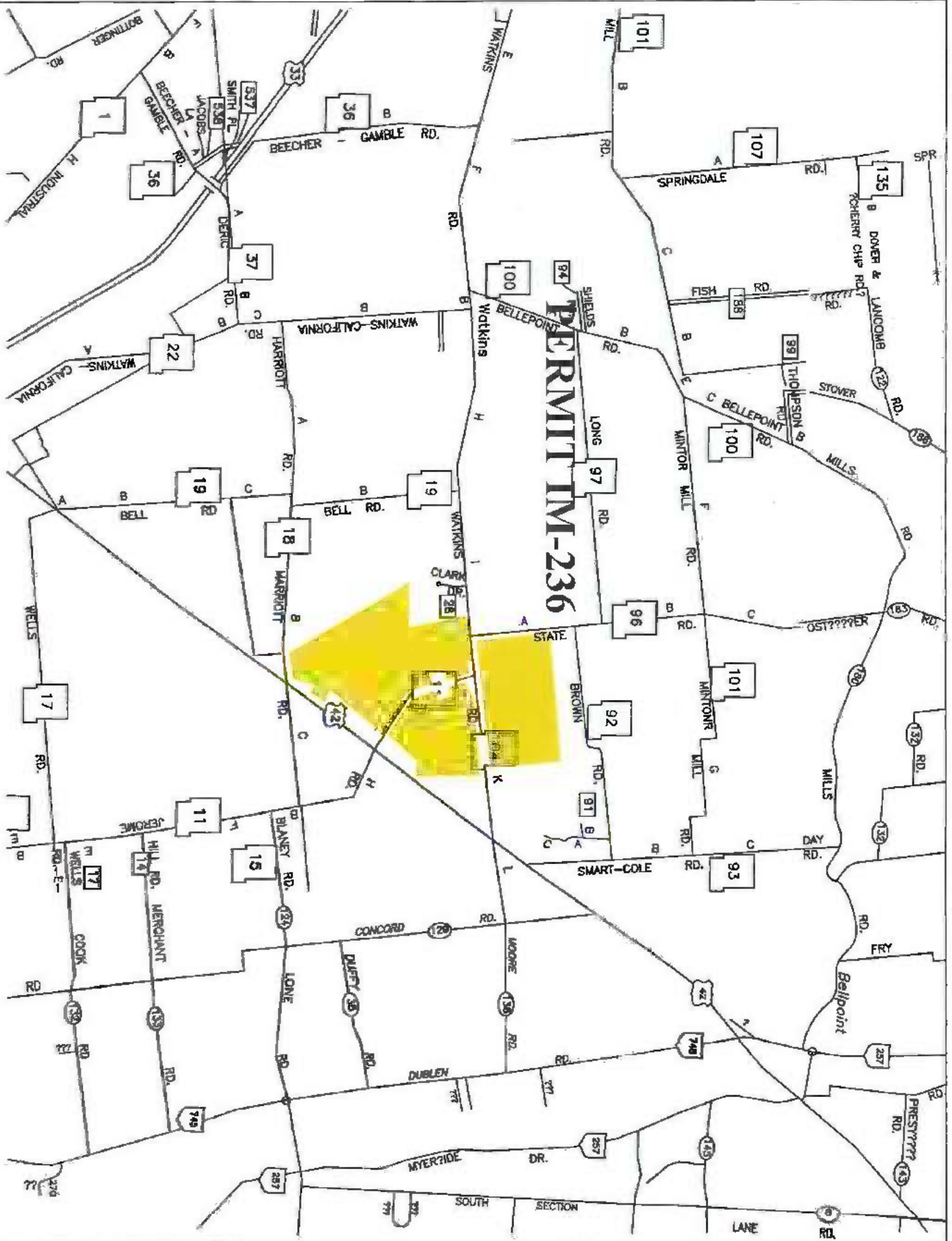
LANDSCAPE P.L.A

SHELLY MATERIALS, INC.
 OSTRANDER OPERATIO

SCALE DATE DRAWN
 N/A 6/1/2011

SHELLY MATERIALS, INC. VICINITY MAP

SCALE: 1" = 1 mile. QUADRANGE: Shownee Mills, Ohio: V. M. S.: 2998 & 3005; (T-SN, R-20W) U.T.M. ZONE: 44S4000N, 312600E, TOWNSHIP: Millcreek, COUNTY: Union, STATE: Ohio





**SHELLY MATERIALS, INC.
OSTRANDER QUARRY
PROPOSED LONG TERM PLAN**



Zoning & Subdivision Committee
Tuesday, September 6, 2016

The Zoning and Subdivision Committee met in regular session on Tuesday, September 6, 2016 at 1:32 pm at the LUC East Liberty Office. Zoning & Subdivision Committee Members were in attendance as follows: Brad Bodenmiller, Tyler Bumbalough, Wes Dodds, Charles Hall, Chad Flowers, Dave Gulden, Heather Martin, Steve McCall, Bill Narducci, Vince Papsidero, Tom Scheiderer, and Andy Yoder. Absent members include: Scott Coleman and Jeff Stauch.

Guests included: Justin Wollenberg, Terrain Evolution; Corey Theuerkanf, Rockford Homes, Inc; Joel West, PULTE Homes; Mark Smith, CEC; Tom Tolbory, Homewood Corp; Jeremy Burrey, Union Soil & Water; Kevin Cooperrider, Shelly Materials, Inc.

Wes Dodds chaired the Zoning & Subdivision Committee Meeting.

Andy Yoder moved a motion to approve the minutes from the July 14, 2016 meeting as written and Charles Hall seconded. All in favor.

1. Review of Jerome Village VN-4, Phase 1 Final Plat (Union County) – Staff Report by Brad Bodenmiller
 - Bill Narducci – The bond has been approved by the Commissioners; the comments from the Map manager are pending
 - Justin Wollenberg – We have them addressed but you haven't received them yet
 - Bill Narducci – The language on the easement, I'm going to get Thayne's opinion on the obligation of the county to replace obstruction in drainage easement areas. Technically, I'm not comfortable issuing an approval until all those items are taken care of but I'm fairly confident that they will be completed by Thursday.
 - Charles Hall – How soon do you need to see those change?
 - Bill Narducci – The earlier the better but because they're so minor, I'm fairly confident that we'll see them by Thursday morning.
 - Justin Wollenberg – If I need to table this, is this something I can request at the Executive Committee?
 - Dave Gulden – I think you can request it on Thursday.
 - Wes Dodds – This committee is not taking action, just making a recommendation so you could request the tabling at the Executive meeting.
 - Charles Hall moved a motion to recommend approval of the Jerome Village VN-4, Phase 1 Final Plat with the stipulation that by the Executive



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Director: Dave Gulden, AICP

Committee all changes can be verified and Steve McCall seconded. All in favor.

2. Review of Jerome Village GPN-5, The Courtyards at Jerome Village, Phase 1 Amended Final Plat (Union County)– Staff Report by Brad Bodenmiller
 - Charles Hall moved a motion to recommend approval of the Jerome Village GPN-5, The Courtyards at Jerome Village, Phase 1 Amended Final Plat with the stipulation that all corrections can be verified by the Executive Committee meeting and Tyler Bumbalough seconded. All in favor.
3. Review of New California Phase 1 Final Plat (Union County)– Staff Report by Brad Bodenmiller
 - Steve McCall – Have we seen the other phases?
 - Bill Narducci – Yes, in the preliminary plat it shows the layout of the whole development.
 - Wes Dodds – Was this bond in the same state as the previously discussed application?
 - Vince Papsidero – Do you expect the bond approved by Thursday?
 - Bill Narducci – Yes, we do.
 - Bill Narducci moved a motion to recommend approval of the New California Phase 1 Final Plat contingent on the approval of the letter of credit and the minor comments being addressed prior to the Executive Committee meeting and Steve McCall seconded. All in favor.
4. Review of Woodbine Village Section 2, Phase 2 Amended Preliminary Plat (Union County) – Staff Report by Brad Bodenmiller
 - Bill Narducci – It may be wise to leave Lot 127 as an unplatted lot and maybe in the future they can add a lot. I think it's a bad idea and poor planning to add a pump station 30 feet in front of someone's home. We can't regulate someone wanting to buy that lot but we've ran into other issues with this subdivision, and we receive calls from people who are buying these lots.
 - Charles Hall – How does that affect lot 126?
 - Bill Narducci – It's in the vicinity.
 - Joel West – Lot 127, we have challenges given the location of the lot station; we are contemplating ways to mitigate that for potential sales; we would install some type of fencing and screens; we could increase the depth of the lot and push that house deeper in the lot to provide additional screening; we can have further discussions on that and propose something different; all 5 lots are allowed by zoning so we wouldn't want to preclude this lot if a potential customer is interested in it. The pump station is to be moved if the land to the east develops.

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- Charles Hall – When problem arise, they come to us, they don't go to the builder; it gets them out of the picture and the builder is the one who has created the problem.
 - Bill Narducci – Knowing the history of this development, we're getting a lot of complains after people have bought the lots; I see this as coming back to bite somebody and it's going to be our office because everyone assumes we're responsible for these. I'm in favor of leaving it available to be developed, certainly the developer has agreements on how many can be built; I don't want to take away their ability to do it, I just think the timing of it needs to be thought about with a little more care.
- Joel West – In December, the original layout included a cul-de-sac with lots that surrounded the cul-de-sac so the lift station was expected to be in the rear of the yard. The township found that we had too many lots so we had to come back and pulled this section out until we reached a deal with the township. For that lift station to move, an unplatted lot that we can't currently sell that may not have anything happen to that lift station.
- Dave Gulden – Joel what could we work through after the preliminary?
 - Joel West – Part of this is governed by our landscape plan and what we're proposing to do to address the visual of the lift station; if there's any supporting documentation that we can provide; language that we can include either on the final plat or along with the homeowner's potential contract. Would there need to be anything on the final plat specifically calling out this issue?
- Charles Hall – Is that sitting along the driveway?
 - Joel West – The tank is not; the electrical transfer is along the driveway.
- Charles Hall – How far from the driveway is that?
 - Joel West – The driveway is drawn on there, not to scale but it's 16 feet.
 - Charles Hall – Does that have any impact on driving out of the driveway and having a blocked view. Is there an obstruction?
 - Joel West – That's a stub street.
 - Charles Hall – How long will that be a stub street? So there's an obstruction? There's a problem leaving the driveway?
 - Tyler Bumbalough – Is that lift station already there?
 - Joel Wes – Yes.
 - Vince Papsidero – How tall is the lift station?
 - Joel West – The road is graded up so it can cross the wetlands on the east, so it's probably a couple feet above the

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- rest of the grade. But we don't know what's happening with the other property.
- Steve McCall asked for further explanation of the plat.
 - Bill Narducci – From my perspective, I don't want to overstep our bounds and what we can do; we can allow this, do we rely on the market to determine if it's a buildable lot or do we put our foot down? Can we put our foot down? This seems to be a zoning concern for the township.
 - Wes Dodds provided the information on what the subdivision regulations read regarding lots.
- Charles Hall – If that developed on the other side, the lift station would be moved? And at whose cost?
 - Bill Narducci – In theory, at the developer's cost, it will be moved.
 - Charles Hall – This starts to develop; how soon does that get moved?
 - Bill Narducci – It would have to get moved as part of the installation infrastructure.
 - Charles Hall - The streets could be in by then. Then before anything else happens it has to be moved and decommissioned. This would be the responsibility of the developer on the other side.
 - Charles Hall - I don't like it. But I agree with Bill, the market is going to decide who wants to buy it, I would definitely want to see something in the recommendation about landscaping to cover it up.
 - Charles Hall moved a motion to recommend approval of the Woodbine Village Section 2, Phase 2 Amended Preliminary Plat including all comments from the staff report incorporated into the Construction Drawings and Final Plat and including that the developer should develop some type of landscaping or screening to the full height of the lift station and Bill Narducci seconded. All in favor.
5. Charles Hall advised all developers that there is no reason for items to be missing, or still needed by the time it comes to this meeting and that in the future, if all items are not provided at the time of submission, approval will be more difficult to receive.
6. Review of Mitchell Highlands Preliminary Plat (Union County)– Staff Report by Brad Bodenmiller
- Chad Flowers – Are they required to have sidewalks?
 - Brad Bodenmiller – It's something the township required in the zoning.

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- Bill Narducci moved a motion to recommend approval of the Mitchell Highlands Preliminary Plat with the condition that all comments be incorporated into the Construction Drawings and the Final Plat and Steve McCall seconded. All in favor.
- 7. Review of Millcreek Township (Union County) Parcel Amendment – Staff Report by Brad Bodenmiller
 - Bill Narducci – This is a rezoning of the two marked parcels?
 - Brad Bodenmiller – It's a portion of one parcel—50 acres.
 - Tyler Bumbalough – What prevents them from rezoning the entire thing at once?
 - Brad Bodenmiller –The way the zoning is phrased required it to be done in sections.
 - Charles Hall provided information on the land and where a roadway has been built underground to prevent the trucks traveling on the roadway.
 - Wes Dodds – Is there an existing house?
 - Brad Bodenmiller – Shelly owns it, I believe.
 - Kevin Cooperrider – There is a residence nearby, they own a half acre; the rest is owned by Shelly Materials.
 - Steve McCall – Your concern is not knowing where that 50 acres is at?
 - Brad Bodenmiller – Yes, I think it makes it difficult for the Zoning Inspector to determine where the zoning district ends.
 - Kevin Cooperrider – That is something we can provide.
 - Bill Narducci – This designates the property to be mined; is there a setback from Jerome Road in any of that language or is it just the property to the center line?
 - Kevin Cooperrider – We have a mining permit through ODNR and there's zoning setbacks as well; there is a 500-foot setback that we cannot mine unless we have the written permission; from the county's right of way there is a 50-foot setback.
 - Brad Bodenmiller – Expanding the quarry area would encompass a greater area, but the comprehensive plans state the residential development should not be approved within those bounds.
 - Dave Gulden – The township's plan takes into account that the quarry was there first and allows them to mine within one mile of residential.
 - Justin Wollenberg – I believe we are within one mile of that.
 - Charles Hall – when you cross the road, how long has it been?
 - Kevin Cooperrider – Probably 2000 or 2002; probably 10 acres a year.
 - Charles Hall – If you're zoning 50 acres, how long will that take you?
 - Kevin Cooperrider – 5 to 7 years depending on the market.
 - Andy Yoder- Does Jerome Township have anything in their comprehensive plan about the quarry?

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- Brad Bodenmiller – I don't remember it mentioning anything about the quarry.
- Wes Dodds – The way I read Millcreek's Comprehensive Plan is they discourage residential development; not discourage the quarry.
- Charles Hall moved a motion to recommend approval of the Millcreek Parcel Amendment with a recommendation for the Trustees to reach out to adjacent townships and Bill Narducci seconded. All in favor.

The Zoning and Subdivision Committee adjourned at 2:54 pm with Steve McCall moving the motion to adjourn and Andy Yoder seconded. All in favor.

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